

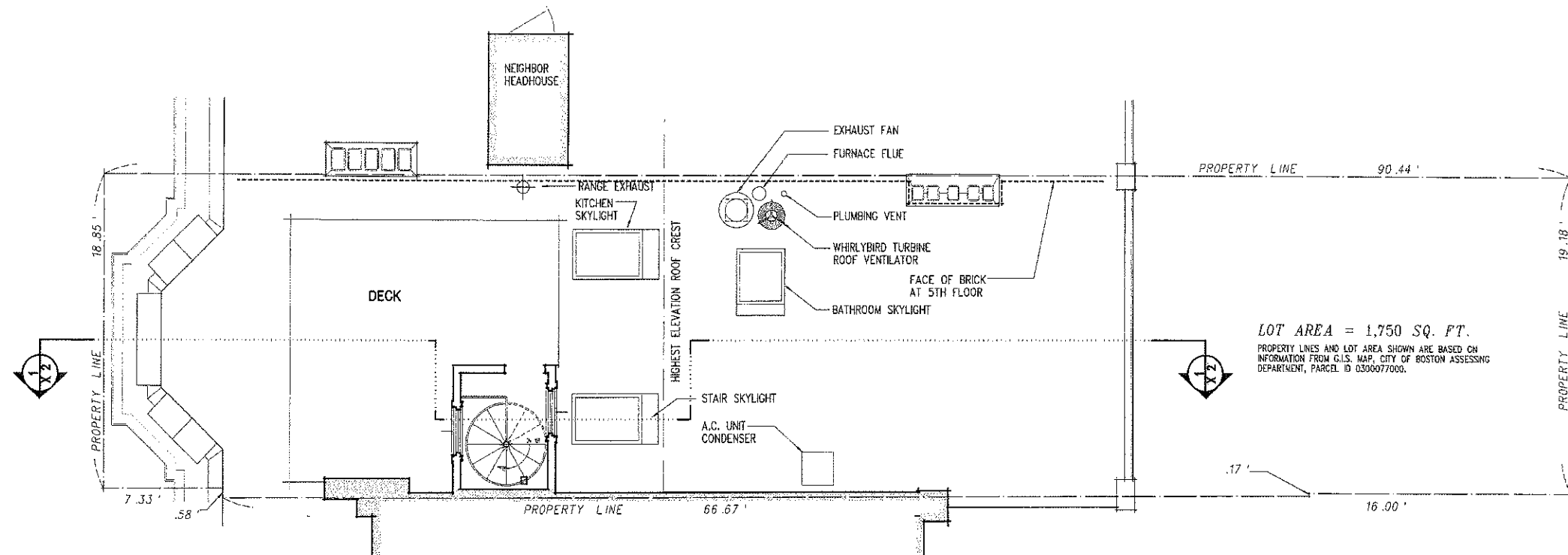
1750 SF Lot

Existing: 7480 SF

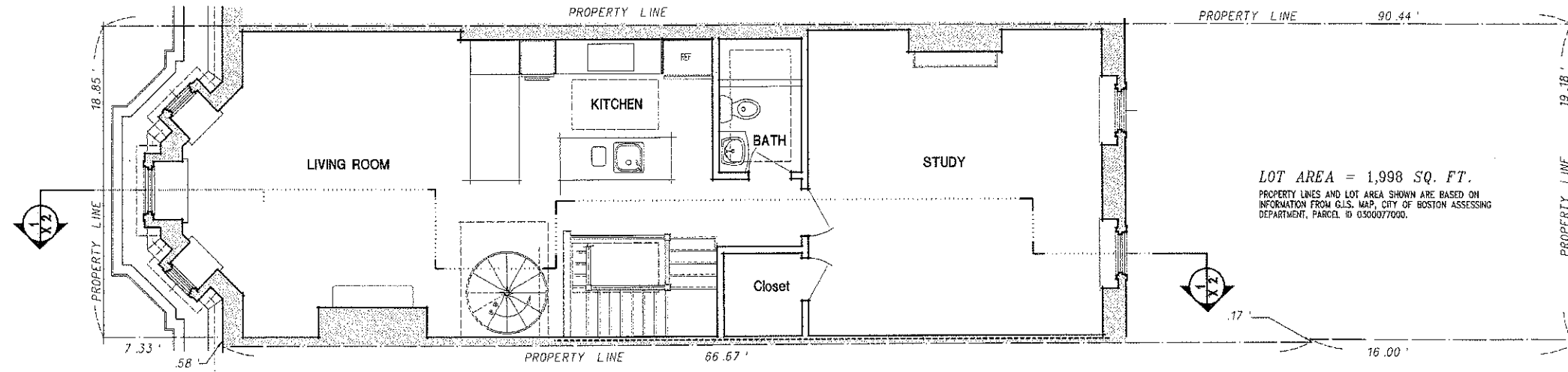
4.27 FAR

Proposed: 386 SF ADDED

4.49 FAR



1
X 1
ROOF PLAN
SCALE: 1/4" = 1' 0"



2
X 1
SECOND LEVEL
SCALE: 1/4" = 1' 0"

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LOT AREA = 1,750 SQ. FT.
PROPERTY LINES AND LOT AREA SHOWN ARE BASED ON INFORMATION FROM G.L.S. MAP, CITY OF BOSTON ASSESSING DEPARTMENT, PARCEL ID 0300077000.

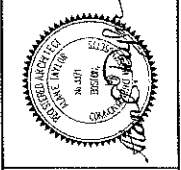
LOT AREA = 1,998 SQ. FT.
PROPERTY LINES AND LOT AREA SHOWN ARE BASED ON INFORMATION FROM G.L.S. MAP, CITY OF BOSTON ASSESSING DEPARTMENT, PARCEL ID 0300077000.



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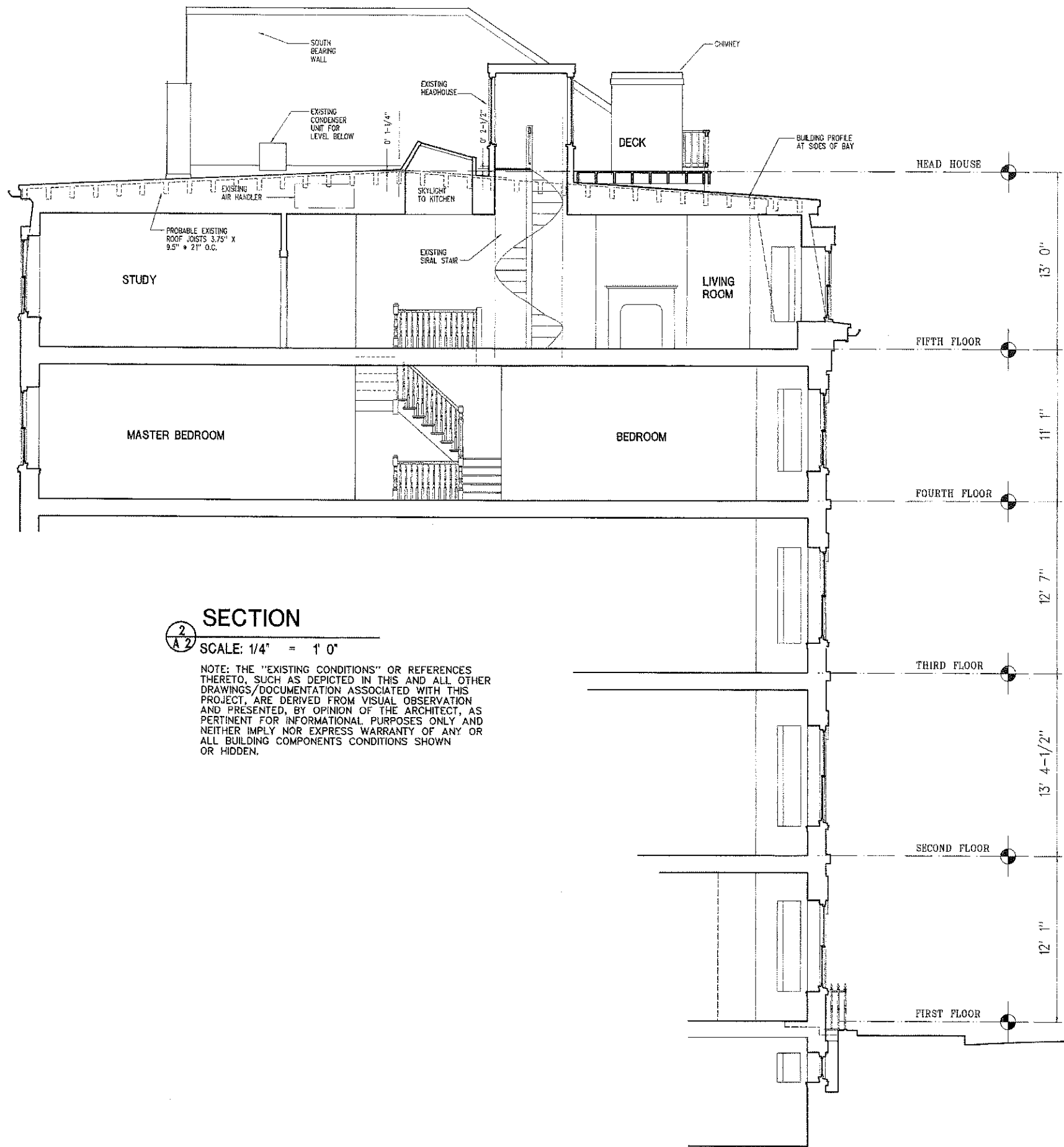


EXISTING SECOND LEVEL ROOF PLAN

REVISION	DATE	NUMBER

20 JUNE 2016
PERMIT

XI
DATE: 20 JUNE 2016
PROJECT #1320



SECTION
 2
 A 2
 SCALE: 1/4" = 1' 0"

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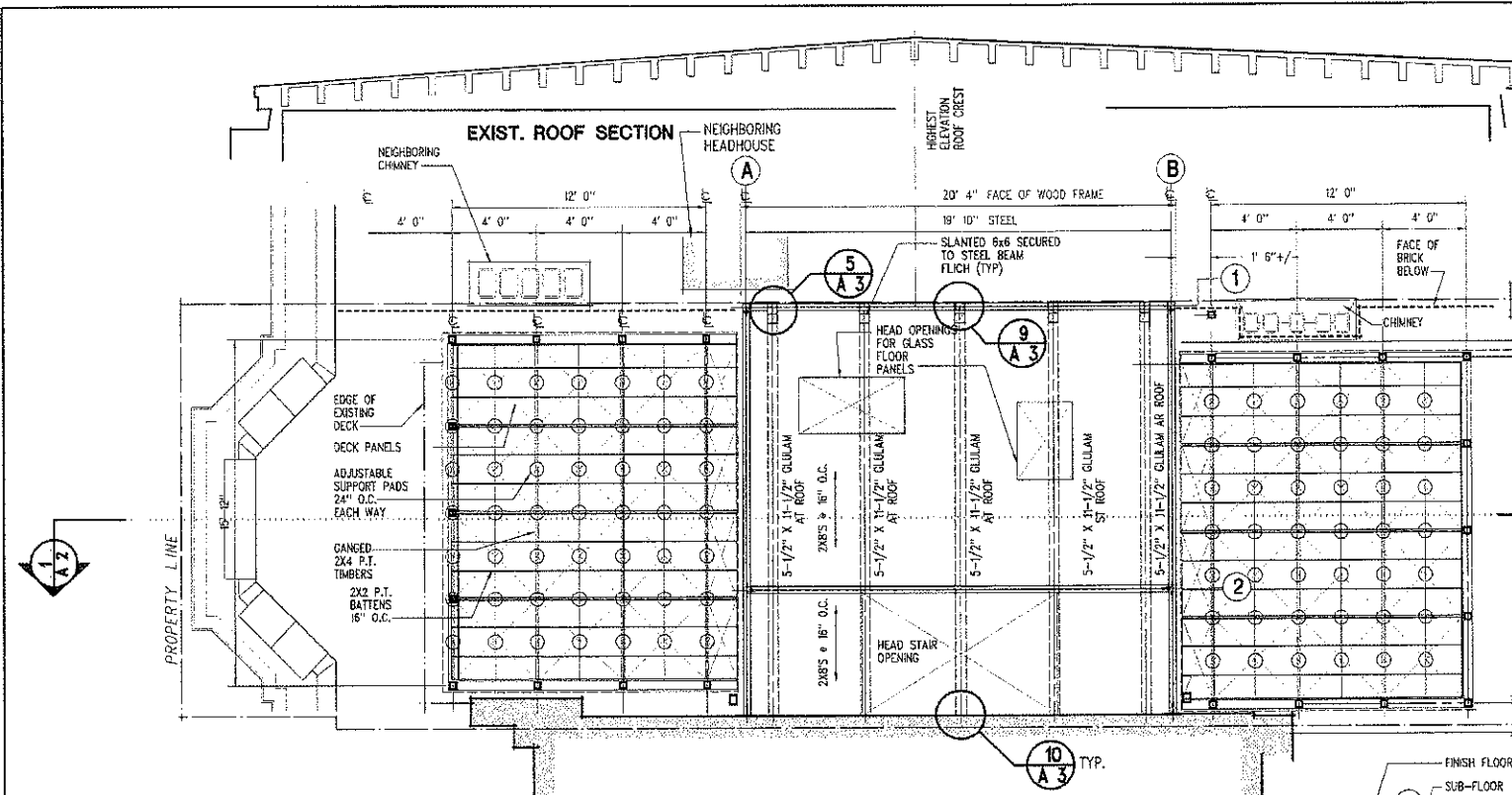
EXISTING CONDITIONS: BUILDING & STREET SECTION

REVISION	DATE	NUMBER

X2
 DATE: 20 JUNE 2016
 PROJECT #1320

20 JUNE 2016
PERMIT

HANCOCK STREET



STRUCTURAL STEEL

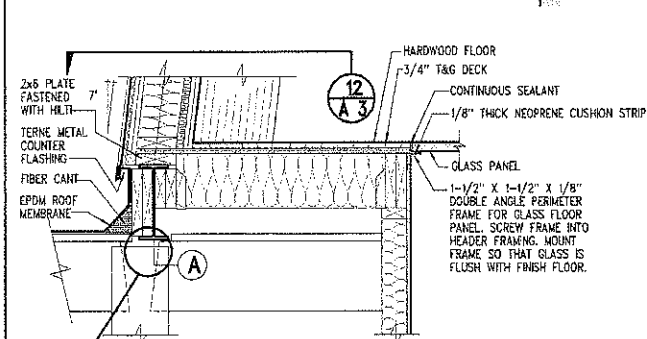
1. ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED WITH THE AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
2. ANCHOR BOLTS SHALL CONFORM TO ASTM A307.
3. ALL STRUCTURAL STEEL SHALL BE THOROUGHLY CLEANED (SSPC-SP3) AND RECEIVE ONE COAT OF SHOP-APPLIED PRIMER.
4. ALL STRUCTURAL STEEL SHAPES AND PLATES SHALL CONFORM TO ASTM A56. ALL TUBULAR STEEL COLUMNS SHALL CONFORM TO ASTM A500, YIELD STRENGTH = 45 KSI.

DECK CONSTRUCTION

1. DECK SYSTEM IS DESIGNED ON THE PRINCIPLE OF ADJUSTABLE SUPPORT PADS FOR TRUSS DECKING SIMILAR TO WALLBARN SUPPORT SYSTEMS DESIGNED TO BEAR DIRECTLY ON EPDM ROOFING TO DISTRIBUTE LOADS, ALLOW DRAINAGE, TO KEEP WOOD OUT OF STANDING WATER AND ADJUST TO ROOF SLOPES AND ACCOMMODATE SHALLOW DEPTHS BETWEEN TOP OF ROOFING AND TOP OF DECKING.
2. DECKING TO BE ASSEMBLED IN FOUR FOOT SQUARE SECTIONS TO ALLOW ROOF ACCESS FOR MAINTENANCE AND REPAIRS.
3. BEFORE INSTALLATION INSPECT EXISTING ROOF CONDITIONS AND MAKE ALL NECESSARY REPAIRS TO BRING ROOF UP TO ACCEPTABLE CONDITION TO RECEIVE DECK INSTALLATION.
4. PROVIDE ALL REQUIRED COMPONENTS AND ACCESSORIES FOR A COMPLETE AND PROPER OPERATING SYSTEM.
5. DECK PLANKS TO BE OF WOOD SPECIES AND FINISH AS CHOSEN BY OWNER. PLANKS TO BE INSTALLED WITH 1/2" SPACING AND BLIND FASTENING.

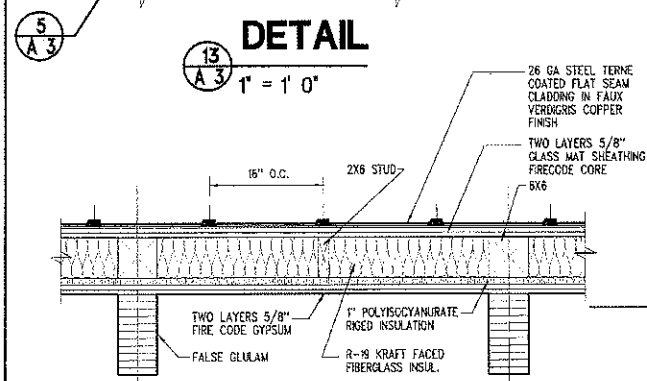
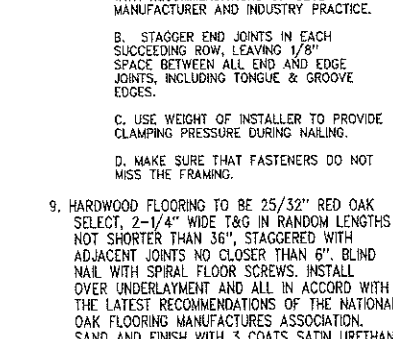
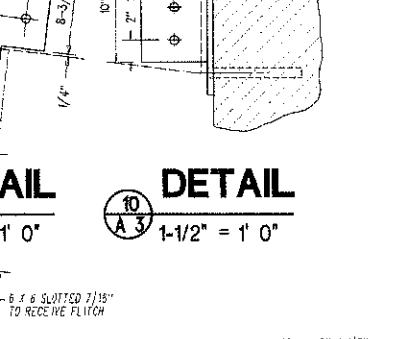
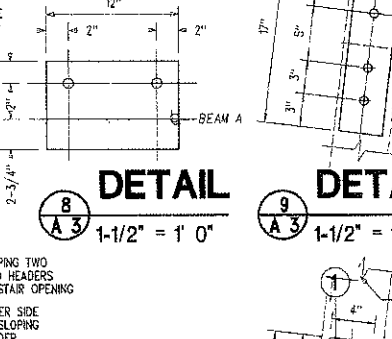
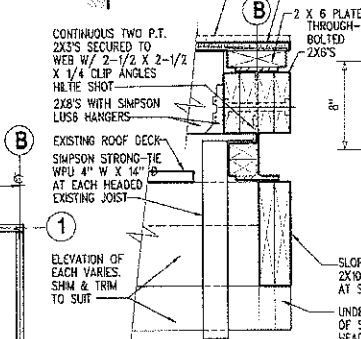
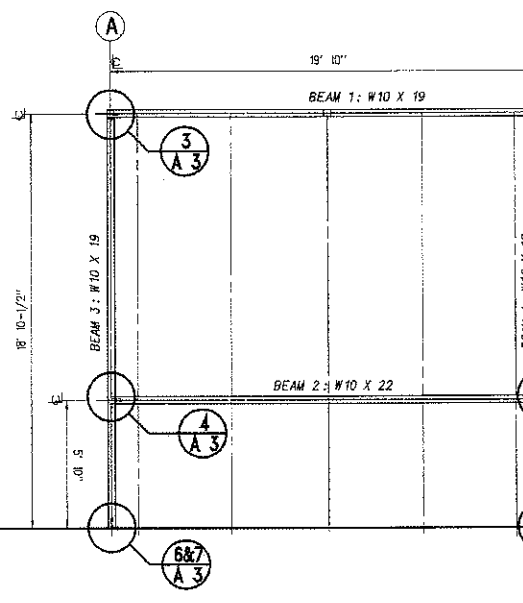
CONVENTIONAL WOOD FRAMING

1. ALL SAWN LUMBER FRAMING MEMBERS SHALL BE SPRUCE-PINE-FIR & AS NOTED ON FRAMING PLANS NO. 2 GRADE OR BETTER. WALL STUDS, SILLS AND PLATES - STUD GRADE; SOLID WOOD POSTS - NO. 1 GRADE; BRIDGES, BLOCK AND HALERS - STUD GRADE.
- UNLESS OTHERWISE NOTED, ALL FASTENING SHALL BE IN ACCORD WITH TABLES 2304.9.1, PAGES 620 & 621 OF THE IBC 2009 BUILDING CODE.
- WOOD SILLS BENEATH ALL INTERIOR AND EXTERIOR BEARING WALL AND ALL MEMBERS EXPOSED TO WEATHER OR MOISTURE SHALL BE PRESERVED WITH PRESERVATIVE IN ACCORD WITH THE AMERICAN WOOD PRESERVERS ASSOCIATION STANDARD C1.
- FRAMING MEMBERS SHALL NOT BE NOTCHED, CUT OR ALTERED IN THE FIELD WITHOUT THE SPECIFIC ACCEPTANCE OF THE ARCHITECT.
- ALL METAL CONNECTORS FOR WOOD CONSTRUCTION SHALL BE HOT DIPPED GALVANIZED METAL SHAPES AS MANUFACTURED BY SIMPSON STRONG TIE COMPANY, INC. AND BE ATTACHED BY THE GENERAL CONTRACTOR AS PER THE MANUFACTURER'S SPECIFICATIONS.
- EXTERIOR SHEATHING SHALL BE 5/8" SIMILAR TO GYPSUM GLASS MAT FIRECODE CORE.
- ALL ROOF SHEATHING SHALL BE 5/8" APA RATED PLYWOOD SHEATHING 32/16. USE EXPOSURE 1 PANELS. APPLY PANELS WITH THE FACE GRAIN PERPENDICULAR TO THE RAFTERS AND CONTINUOUS OVER TWO OR MORE SPANS. INSTALL PANEL CLIPS ALONG PANEL ENDS BETWEEN EACH RAFTER. ATTACH PANELS WITH GLUE AND 6d COMMON NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORTS. ALLOW 1/8" SPACE SEPARATION BETWEEN ALL EDGE. ALL END AND EDGE JOINTS.
- ALL FLOOR SHEATHING SHALL BE 3/4 INCHES APA RATED "STURDI-FLOOR" 24" O.C. TONGUE & GROOVE EXCEPT WHERE NOTED. USE EXPOSURE 1 PANELS. APPLY PANELS WITH THE FACE GRAIN PERPENDICULAR TO THE JOISTS OR TRUSSES AND CONTINUOUS ONE, TWO OR MORE SPANS. ATTACH PANELS BY GLUE-NAILING AS FOLLOWS:
 - A. SPREAD GLUE IN ACCORDANCE WITH RECOMMENDATIONS OF GLUE MANUFACTURER AND INDUSTRY PRACTICE.
 - B. STAGGER END JOINTS IN EACH SUCCEEDING ROW, LEAVING 1/8" SPACE BETWEEN ALL END AND EDGE JOINTS, INCLUDING TONGUE & GROOVE EDGES.
 - C. USE WEIGHT OF INSTALLER TO PROVIDE CLAMPING PRESSURE DURING NAILING.
 - D. MAKE SURE THAT FASTENERS DO NOT MISS THE FRAMING.
- HARDWOOD FLOORING TO BE 25/32" RED OAK SELECT, 2-1/4" WIDE T&G IN RANDOM LENGTHS NOT SHORTER THAN 36", STAGGERED WITH ADJACENT JOINTS NO CLOSER THAN 6". BLIND NAIL WITH SPIRAL FLOOR SCREWS. INSTALL OVER UNDERLAYMENT AND ALL IN ACCORD WITH THE LATEST RECOMMENDATIONS OF THE NATIONAL OAK FLOORING MANUFACTURERS ASSOCIATION. SAND AND FINISH WITH 3 COATS SATIN URETHANE.



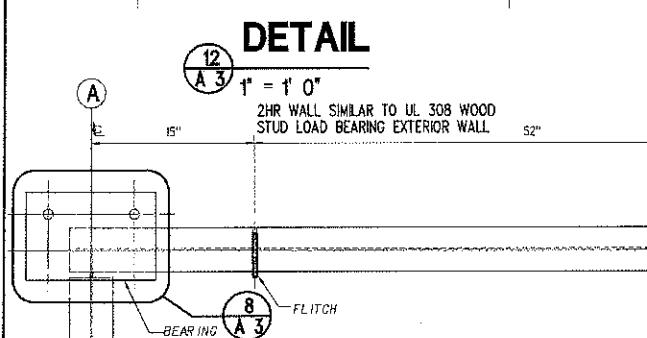
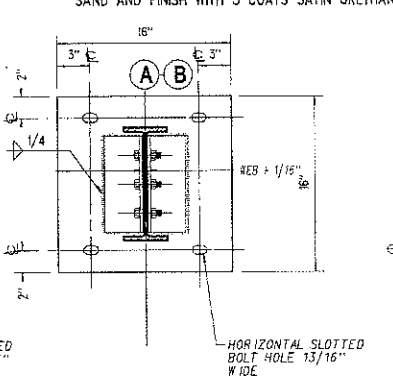
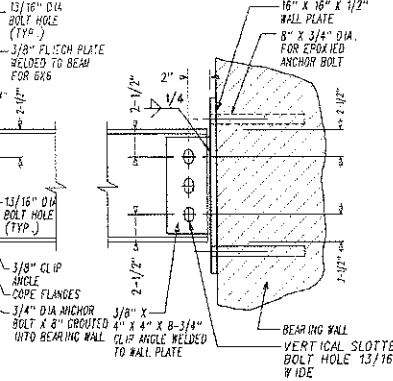
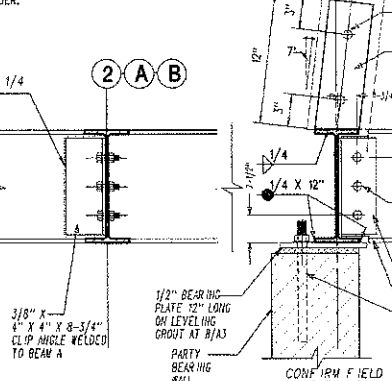
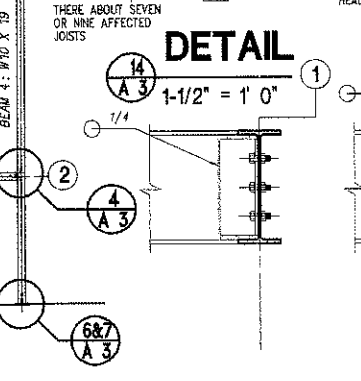
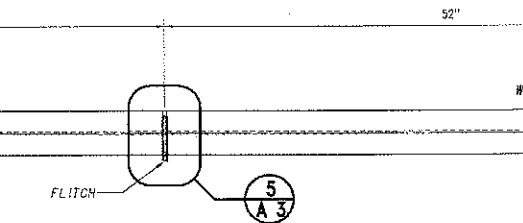
WOOD FRAMING PLAN

SCALE: 1/4" = 1' 0"



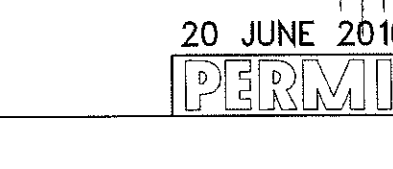
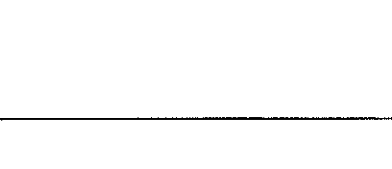
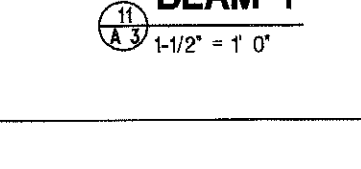
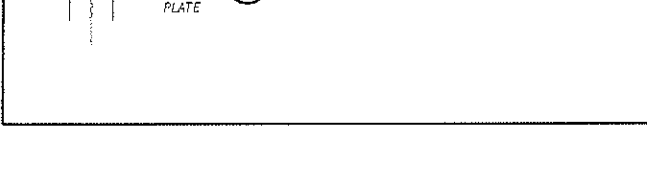
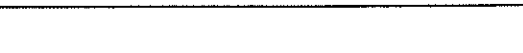
STEEL FRAMING PLAN

SCALE: 1/4" = 1' 0"



BEAM 1

SCALE: 1/2" = 1' 0"



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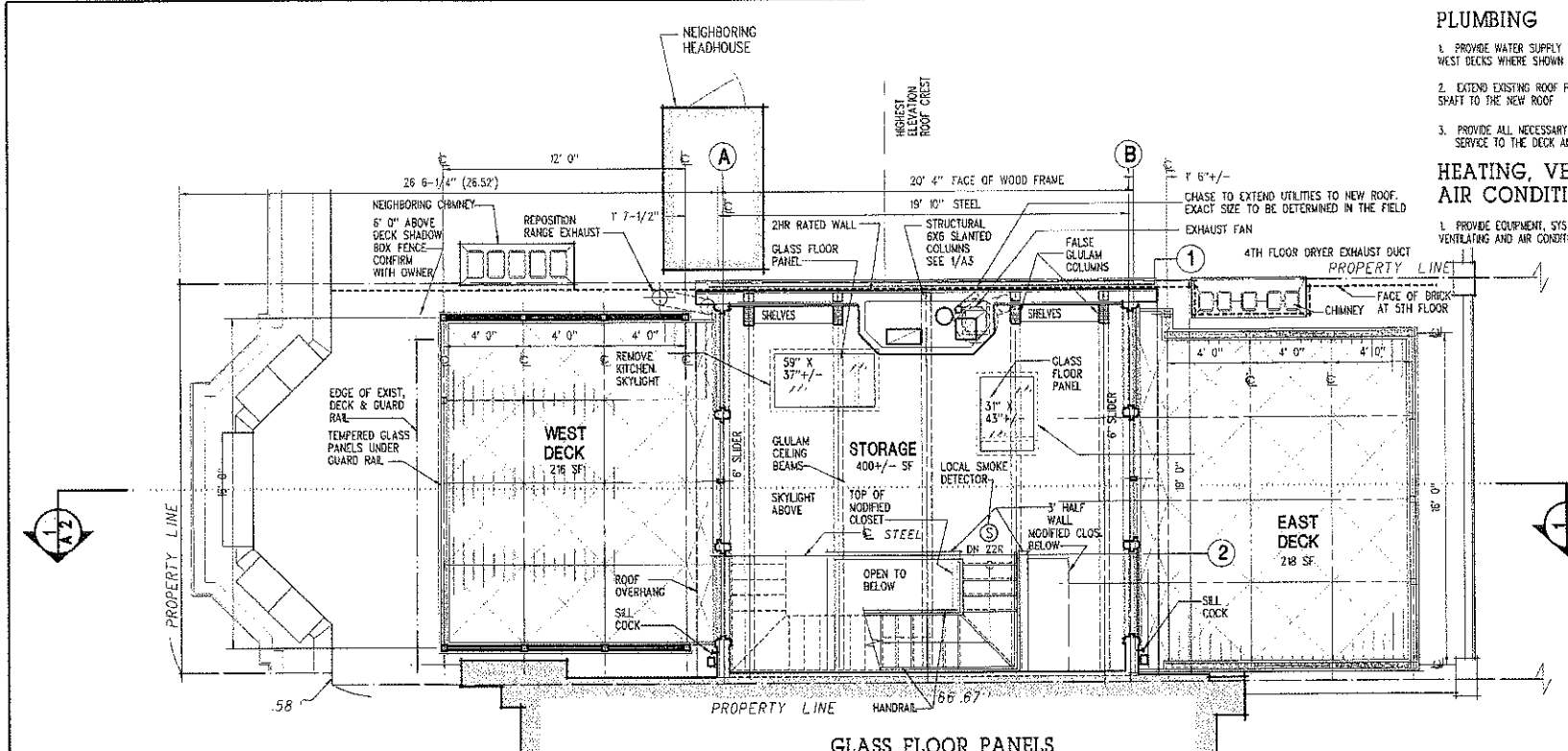
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FRAMING PLANS

REVISION	DATE	NUMBER
1	20 JUNE 2016	3

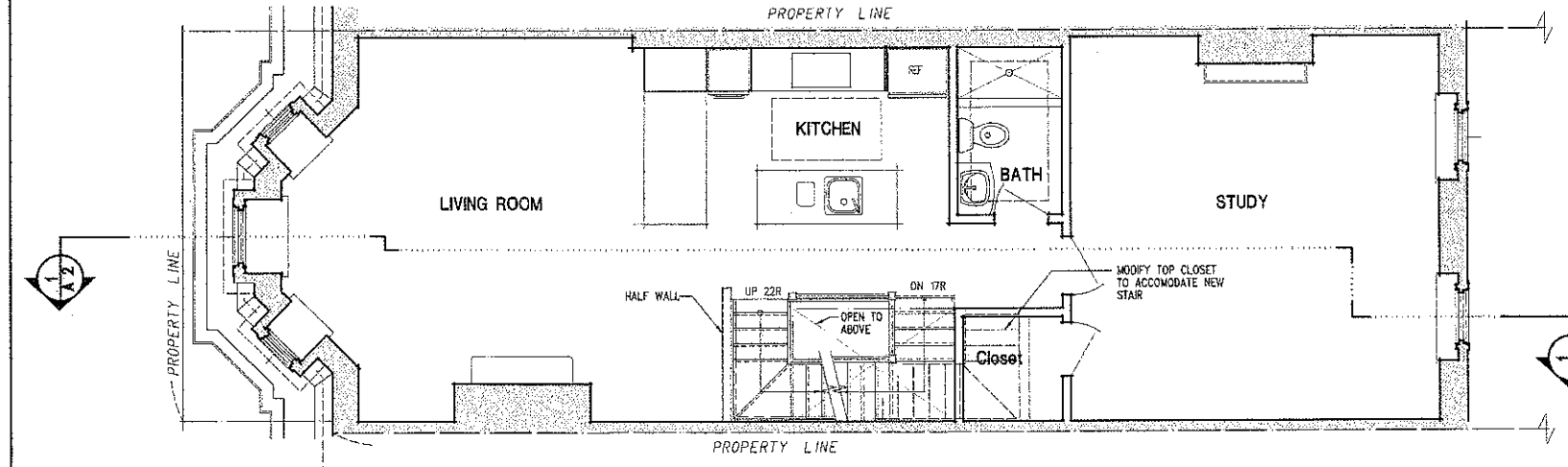
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1 **ROOF/FLOOR PLAN**
SCALE: 1/4" = 1' 0"

- GLASS FLOOR PANELS**
- GLASS FLOOR PANELS TO BE SIMILAR TO AS MANUFACTURED BY ARCHITECTURAL GLASS FLOORING & CAST GLASS.
 - PANELS TO BE "SERVO CAST TEXTURE" CLEAR OR LOW IRON, NONOPTICALLY POLISHED INCLUDING ALL EDGES, SLIP-RESISTANT METTING 1/8" 420 TEST-5/8" THICK, THREE LAYERS LAMINATED GLASS, 20 LBS/SF
 - INSTALL GLASS FLOOR PANELS TO SET IN STEEL PERIMETER FRAMES WITH WELDED CORNERS AND PRE-DRILLED TO RECEIVE FASTENERS. FASTEN WITH #12 FLAT HEAD STEEL SCREWS 6" O.C.
 - SIZES SHOWN ARE APPROXIMATE. CONFIRM EXACT DIMENSIONS IN THE FIELD.



2 **SECOND LEVEL**
SCALE: 1/4" = 1' 0"

GENERAL SCOPE OF WORK

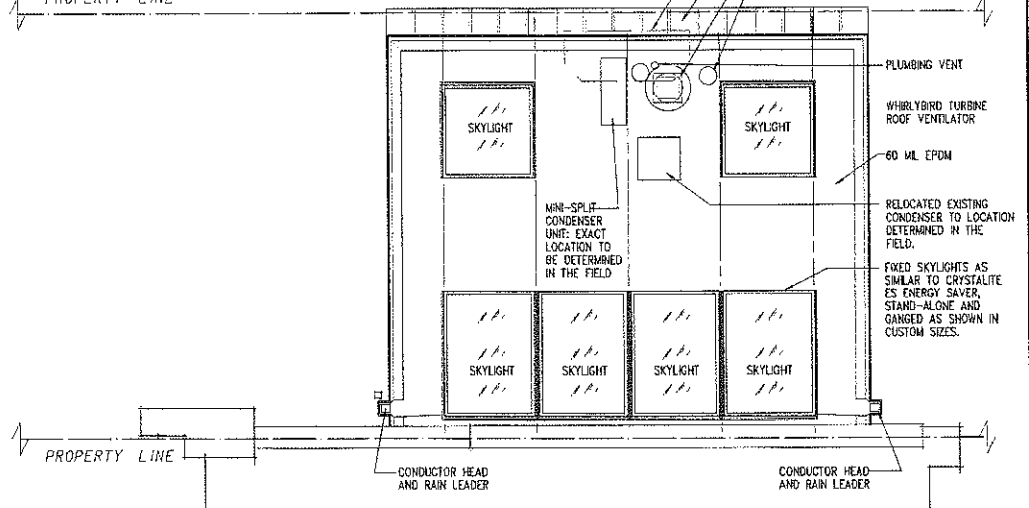
- GENERAL SCOPE OF WORK INCLUDES DEMOLITION OF A NEW STAIR ACCESS TO REPLACE THE EXISTING SPIRAL STAIR; NEW HEADHOUSE STORAGE ROOM OF APPROXIMATELY 400 SQUARE FEET; REPLACEMENT AND EXPANSION OF WEST DECK AND NEW EAST DECK
- EXTERIOR WALLS: NORTH WALL IN US08 TWO HOUR, TWO LAYERS 5/8" GYPSUM GLASS MAT SHEATHING FIRE CORE CORE, R-19 KRAFT-FACED FIBERGLASS INSULATION 2X6 WOOD STUDS AT 16" O.C., 1" POLYSTYRENE FOAM-FACED R-6.5, TWO LAYERS 5/8" TYPE 1 GYPSUM BOARD BOARD WITH TAPED SEAMS, TAPED AND COMPOUNDED, TOTAL THERMAL ASSEMBLY = R-25.5.
- EAST AND WEST GLAZING WALLS SIMILAR TO WESTERN WINDOW SYSTEMS WITH THERMO-BRAKE, DOUBLE PANE, LOW-E ALUMINUM FRAME WITH U-0.42.
- FLOOR STRUCTURE IS STEEL FRAME SPANNING BETWEEN BEARING PARTY WALLS WITH WOOD FRAME INFL. SUPER STRUCTURE WOOD POST AND STUD WALLS, GLULAM ROOF BEAMS AND WOOD PLANK ROOF DECK.

CODES & STANDARDS

- APPLICABLE CODES INCLUDE
 - INTERNATIONAL BUILDING CODE (IBC), 2009, FOR MULTI-FAMILY (3 OR MORE DWELLINGS AS AMENDED BY CMR 780, EIGHTH EDITION,
 - INTERNATIONAL ENERGY CONSERVATION CODE, (IECC) 2009
 - MASSACHUSETTS STATE PLUMBING CODE 248CMR
 - NATIONAL ELECTRIC CODE NFPA 70-2014
 - MASSACHUSETTS STATE ELECTRIC CODE 527 CMR, CHAPTER 12
 - CITY OF BOSTON, MA, ZONING BYLAWS APPENDIX 115 AA 780 CMR "STRETCH ENERGY CODE."
 - OTHER CODES AS PRESCRIBED BY AGENCIES HAVING JURISDICTION OVER THIS PROJECT.
- DESIGN LOADS FOR STORAGE AREA IS 40LBS/SF LIVE LOAD & 10LB DEAD LOAD; DEFLECTION NOT EXCEED 1/360 OF CLEAR SPAN FOR JOISTS, WHEN INCORPORATED. ROOF LIVE LOAD 30LB, GROUND SNOW LOAD, 0LB, DEAD, MAX. DEFLECTION L/160, DECK LIVE LOAD 40PSF, DEAD LOAD 10PSF, TABE 1607.127.

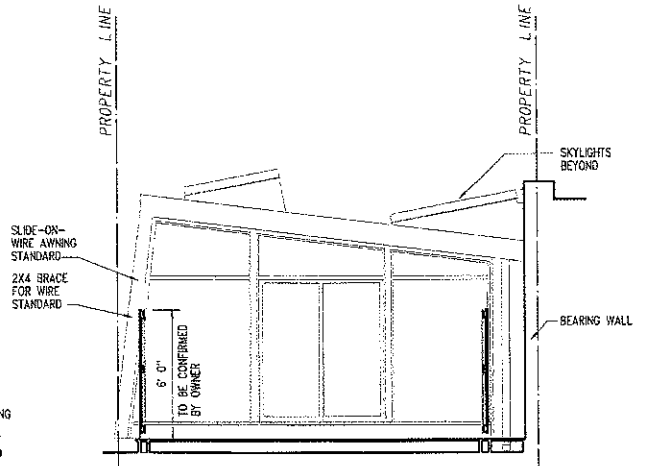
- PLUMBING**
- PROVIDE WATER SUPPLY TO SILL COCKS TO EAST AND WEST DECKS WHERE SHOWN WITH FREEZE-PROOF SILL COCKS.
 - EXTEND EXISTING ROOF PLUMBING VENT THROUGH UTILITY SHAFT TO THE NEW ROOF
 - PROVIDE ALL NECESSARY ACCESSORIES FOR THE WATER SERVICE TO THE DECK AND ATTENDANT TO HVAC.
- HEATING, VENTILATING & AIR CONDITIONING**
- PROVIDE EQUIPMENT, SYSTEMS, AND CONTROLS FOR HEATING, VENTILATING AND AIR CONDITIONING TWO-STAGE INB-SPLIT.

- ELECTRICAL**
- PROVIDE ELECTRICAL SYSTEMS FOR THE FOLLOWING: POWER, LIGHTING, INTERIOR AND EXTERIOR, SMOKE DETECTOR, HVAC.
 - MODIFY, RELOCATE AND EXTEND EXISTING SERVICE TO ACCOMMODATE NEW WORK. PROVIDE SUB-PANEL AS REQUIRED IN LOCATION APPROVED BY OWNER.
 - REVIEW WITH OWNER PREFERRED LOCATIONS OF LIGHT SWITCHES, CONVENIENCE OUTLETS, DATA WIRING, ETC.
 - INSTALL LIGHTING FIXTURES PROVIDED BY OWNER.



3 **HEADHOUSE ROOF PLAN**
SCALE: 1/4" = 1' 0"

LEGEND



4 **WEST ELEV. OF FENCES**
SCALE: 1/4" = 1' 0"

- GENERAL REQUIREMENTS**
- PERMITS: APPLY AND PAY FOR BUILDING PERMITS, OTHER PERMITS AND UTILITY COMPANY BACKCHARGES REQUIRED TO PERFORM THE WORK. SUBMIT COPIES TO THE ARCHITECT.
 - DRAWINGS AND SPECIFICATION NOTES ARE INTENDED TO PROVIDE THE BASIS FOR THE PROPER COMPLETION OF THE PROJECT SUITABLE FOR THE INTENDED USE OF THE OWNER.
 - ITEMS NOT EXPRESSLY SET FORTH BUT WHICH ARE REASONABLY IMPLIED OR NECESSARY FOR THE PROPER PERFORMANCE OF THIS WORK SHALL BE INCLUDED.
 - COORDINATE THE WORK OF ALL TRADES AND VENDORS.
 - VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS.
 - CUTTING & PATCHING:
 - PROVIDE CUTTING AND PATCHING WORK TO PROPERLY COMPLETE THE PROJECT
 - DO NOT REMOVE OR ALTER STRUCTURAL COMPONENTS WITHOUT WRITTEN APPROVAL.
 - PATCH WITH MATERIALS AND METHODS TO PRODUCE PATCH WHICH IS NOT VISIBLE FROM A DISTANCE OF FIVE FEET.
 - CUT WITH TOOLS APPROPRIATE FOR MATERIALS TO BE CUT.
 - DO NOT CUT AND PATCH IN A MANNER THAT WOULD RESULT IN A FAILURE OF THE WORK TO PERFORM AS INTENDED, DECREASE FIRE, ACCIDENTAL, ENERGY PERFORMANCE, OPERATIONAL LIFE OR SAFETY FACTORS.
 - FIELD ENGINEERING:
 - VERIFY AND LOCATE UTILITIES, EXISTING FACILITIES AND EQUIPMENT
 - SURVEY AND LAYOUT IMPROVEMENTS, UTILITIES, STRUCTURES AND COMPONENTS.
 - PROVIDE TEMPORARY PROTECTION FOR ADJACENT AREAS TO PREVENT CONTAMINATION BY CONSTRUCTION DUST AND DEBRIS.
 - SUPERIMPOSE NO LOADING OF STAGED CONSTRUCTION EQUIPMENT OR MATERIALS ON THE EXISTING ROOF STRUCTURE OR IMPAIR THE ROOFING MEMBRANE.
 - MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
 - THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE JOB SITE. THE CONTRACTOR SHALL IMMEDIATELY ISOLATE THE AFFECTED AREAS IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING DEMOLITION. NOTIFY OWNER FOR FURTHER INSTRUCTION BEFORE PROCEEDING WITH OTHER WORK.
 - SCHEDULE ALL SERVICE SHUT-DOWNS WITH THE OWNER, NOTIFY OWNER A MINIMUM TIME OF THREE DAYS AHEAD OF PLANNED SHUTDOWN WITH APPROXIMATE DURATION OF INTERRUPTION AND ONE HOUR BEFORE ACTUAL SHUT DOWN.
 - UPON COMPLETION OF DEMOLITION, CLEAN THE ENTIRE DEMOLITION AREA TO A TIDY, UNIFORM CONDITION REMOVING ALL DEBRIS, DUST PARTITIONS AND ASSOCIATED MATERIALS USED DURING THE DEMOLITION. CLEAN TO A "BROOM CLEAN" CONDITION ALL AREAS AFFECTED BY DEMOLITION INCLUDING, BUT NOT LIMITED TO, ADJACENT OCCUPIED AREAS AND AREAS NOT WITHIN THE SCOPE OF DEMOLITION.
 - TAKE ALL MEANS PRACTICABLE TO KEEP THE KITCHEN CEILING INTACT THROUGH ITS ALTERATION.

SELECTIVE DEMOLITION

- WHEN DEMOLITION TAKES PLACE, SHOULD ANY WORK AFFECT THE INTEGRITY OF THE STRUCTURE, WORK MUST STOP IMMEDIATELY. NOTIFY THE ARCHITECT.
- CONTRACTOR SHALL OBTAIN ALL PERMITS AND APPROVALS FROM THE CITY OF BOSTON AND ANY OTHER AGENCY HAVING JURISDICTION OVER DEMOLITION AND DISPOSAL.
- PROCURE THE NECESSARY DUMPSTER FROM A RECOGNIZED, NEUTRAL, SCAVENGER SERVICE IN BUSINESS FOR NOT LESS THAN FIVE YEARS. IF STAGING A DUMPSTER IS UNFEASIBLE REMOVE DAILY DEMOLISHED MATERIALS FROM THE SITE.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO MAINTAIN FIRE PROTECTED ACCESS OF ALL TENANTS IN THE BUILDING, THROUGH AND AROUND AREAS INVOLVED.

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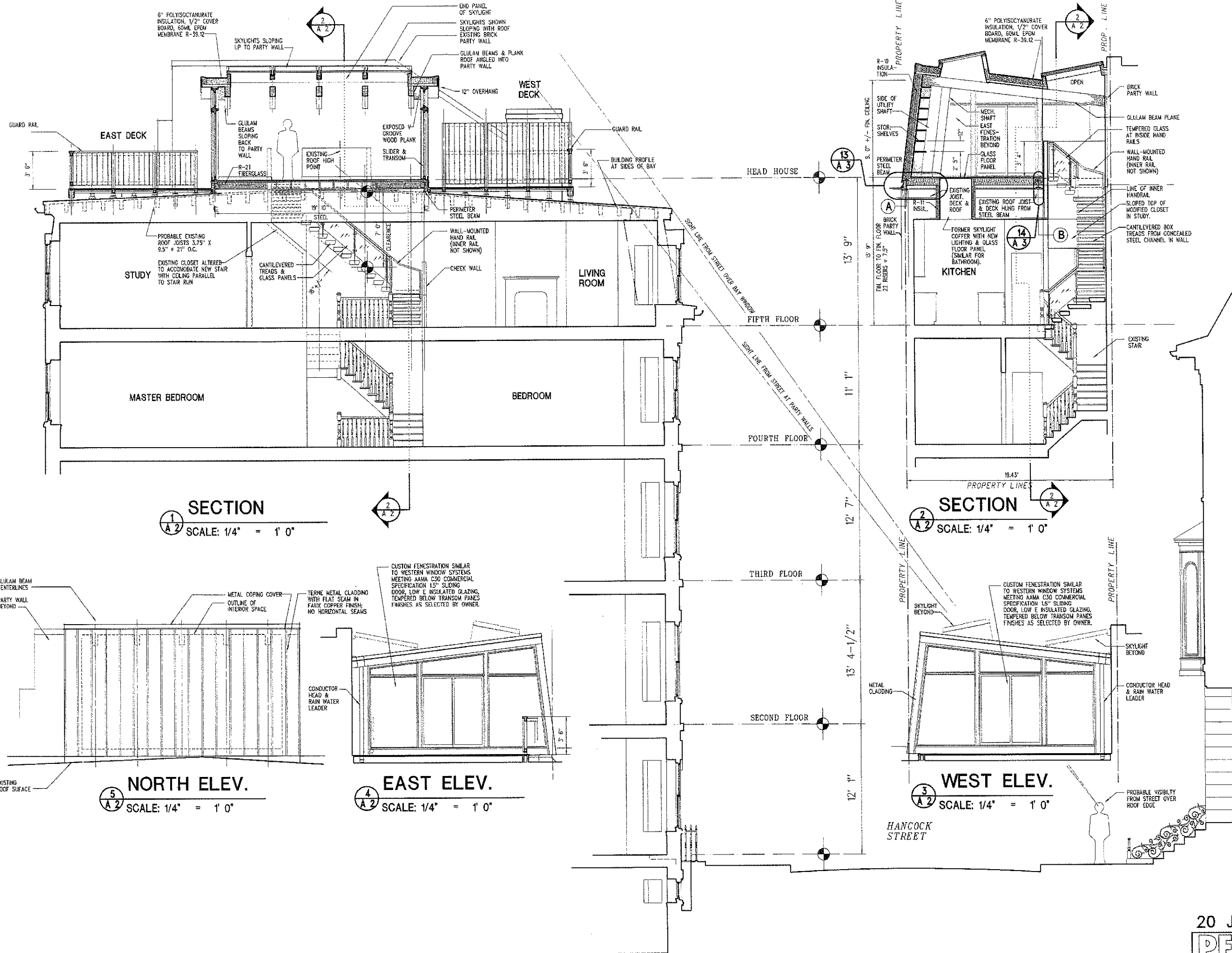
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SECOND LEVEL PLANS & ROOF PLANS

DATE: 20 JUNE 2016
PROJECT: #13.2.0
REVISION: _____

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SECTIONS & ELEVATIONS

REVISION	DATE	NUMBER

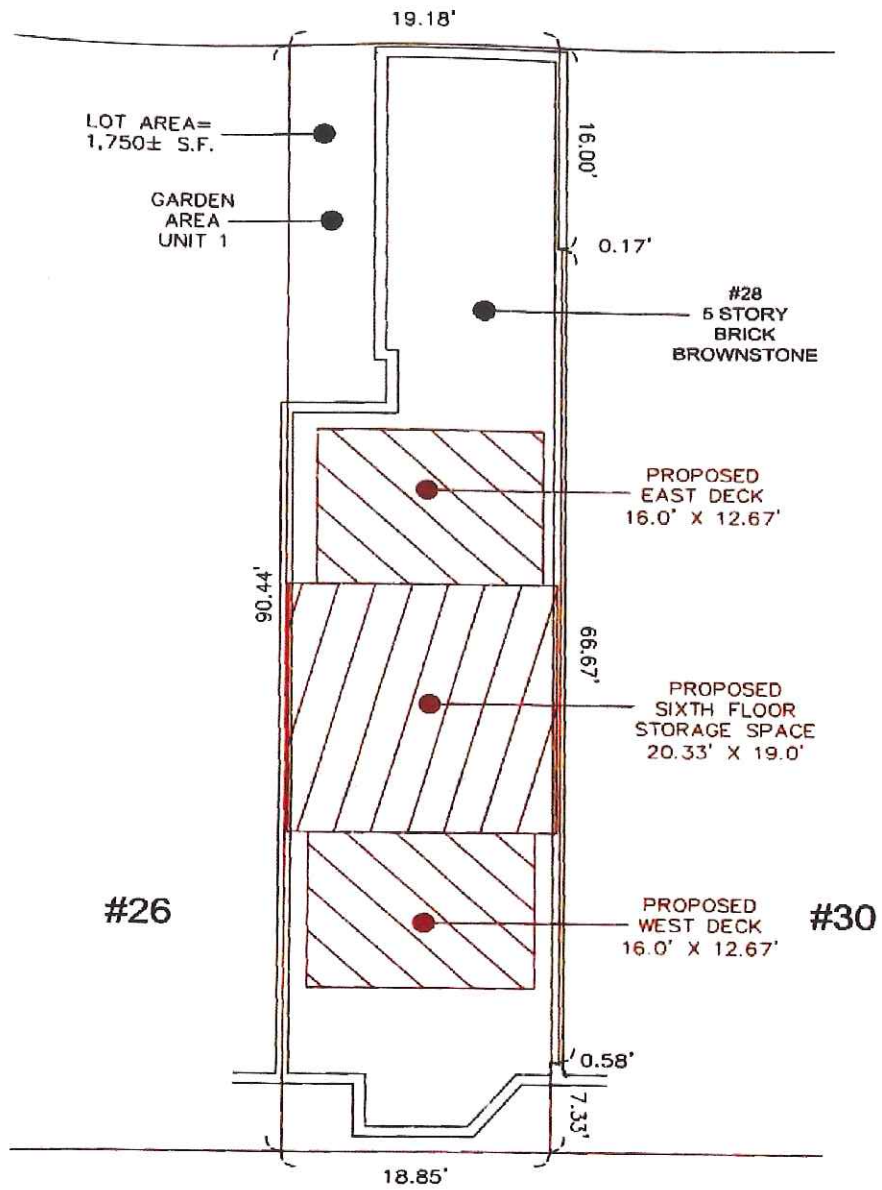
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DATE: 20 JUNE 2016
 PROJECT # 13.2.0

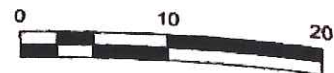
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RIDGEWAY LANE



HANCOCK STREET

NOTE:
LOT LAYOUT IS TAKEN FROM
MASTER DEED PLAN RECORDED
IN BOOK 9232 PAGE 304
SUFFOLK REGISTRY OF DEEDS



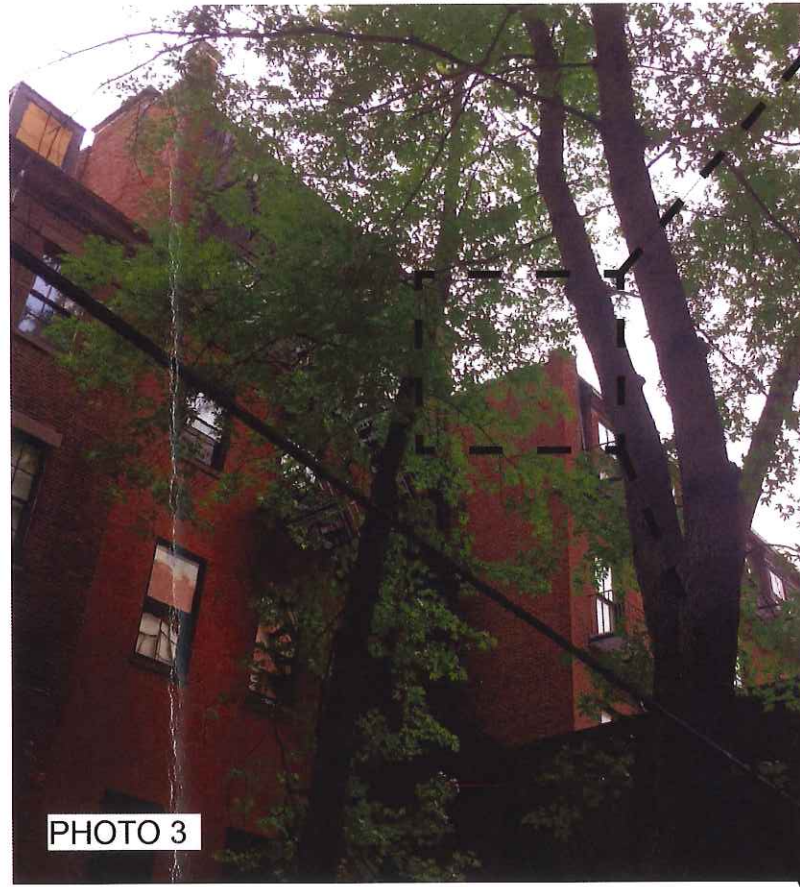
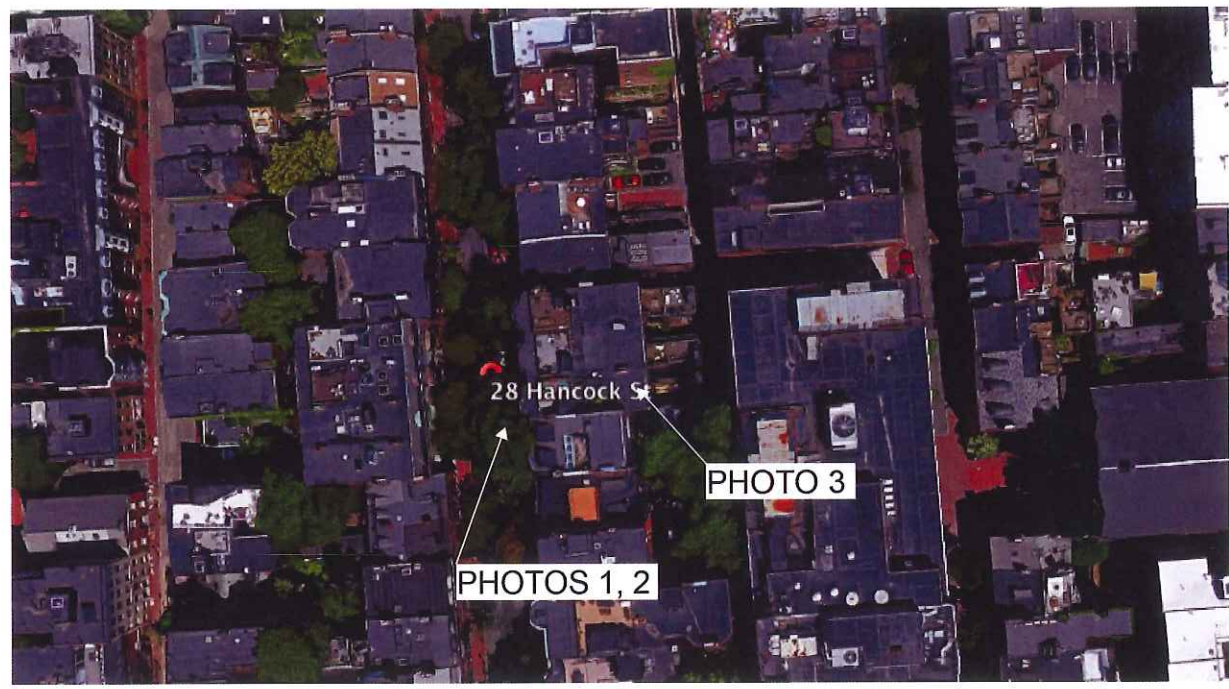
31 HAYWARD STREET UNIT 3-G
FRANKLIN, MA 02038 508-541-0048



PLAN SHOWING PROPOSED DECKS
28 HANCOCK STREET
BOSTON, MA SUFFOLK COUNTY

SCALE: 1:10	DATE: 4/21/2016	REVISED: 7/6/2016	DRAWN BY: WMN	CHECKED BY: D.O.
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Dennis O'Brien P.L.S.

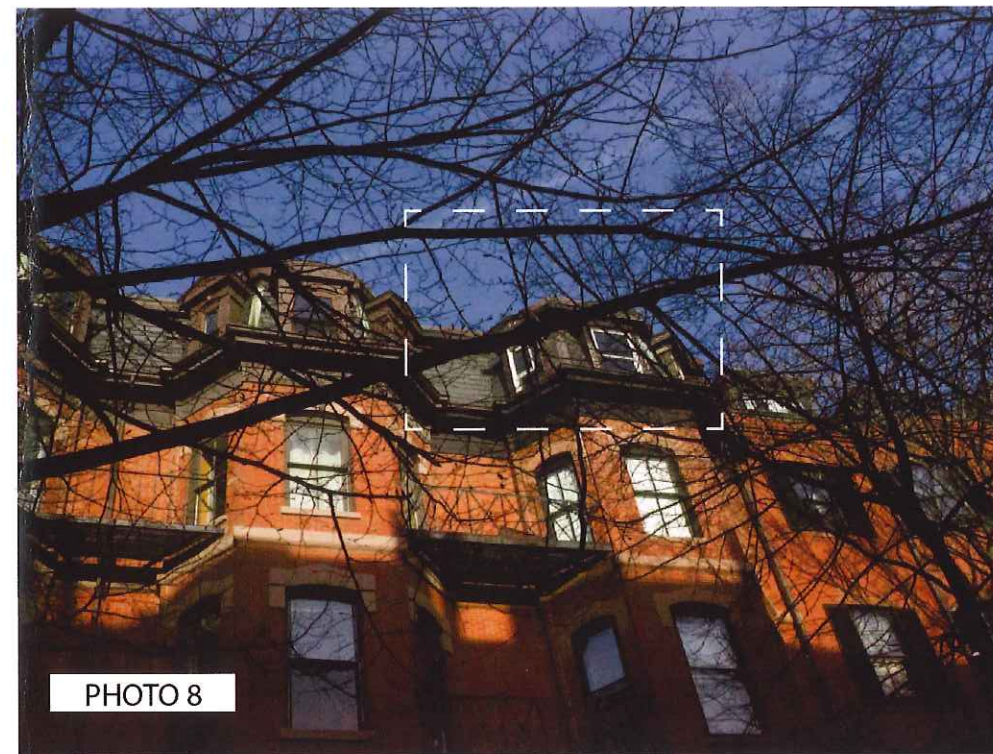
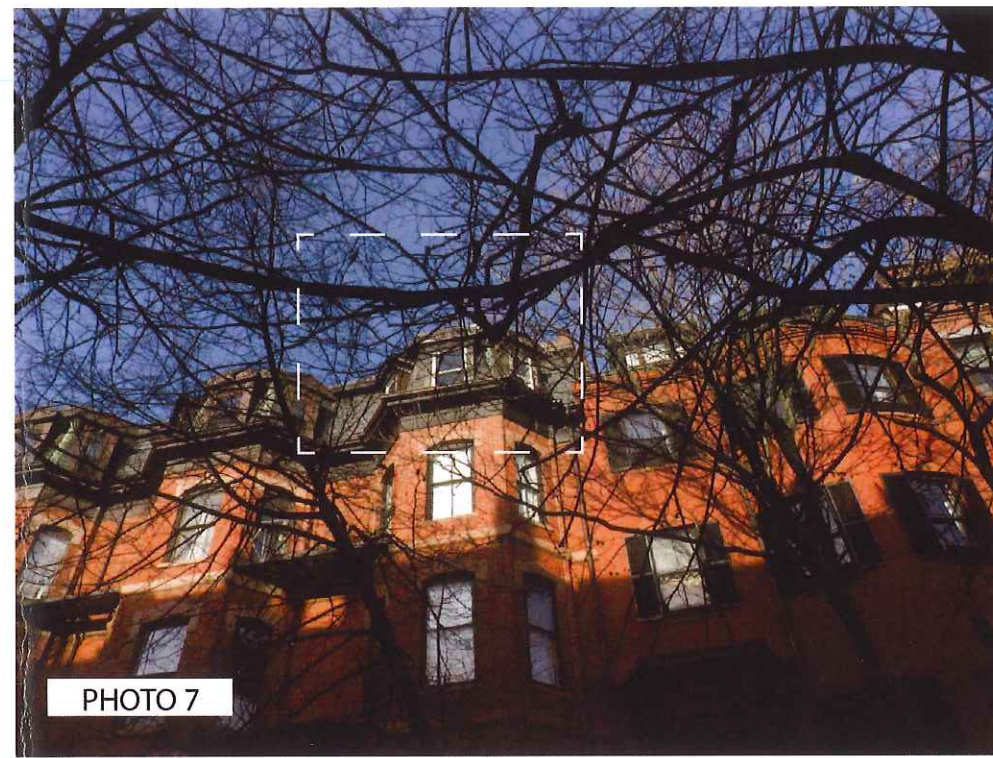


STREET VIEW
PHOTOS

28 Hancock ST 03 Boston MA 02114

10/5/2016

TALL GUY WOODWORKING

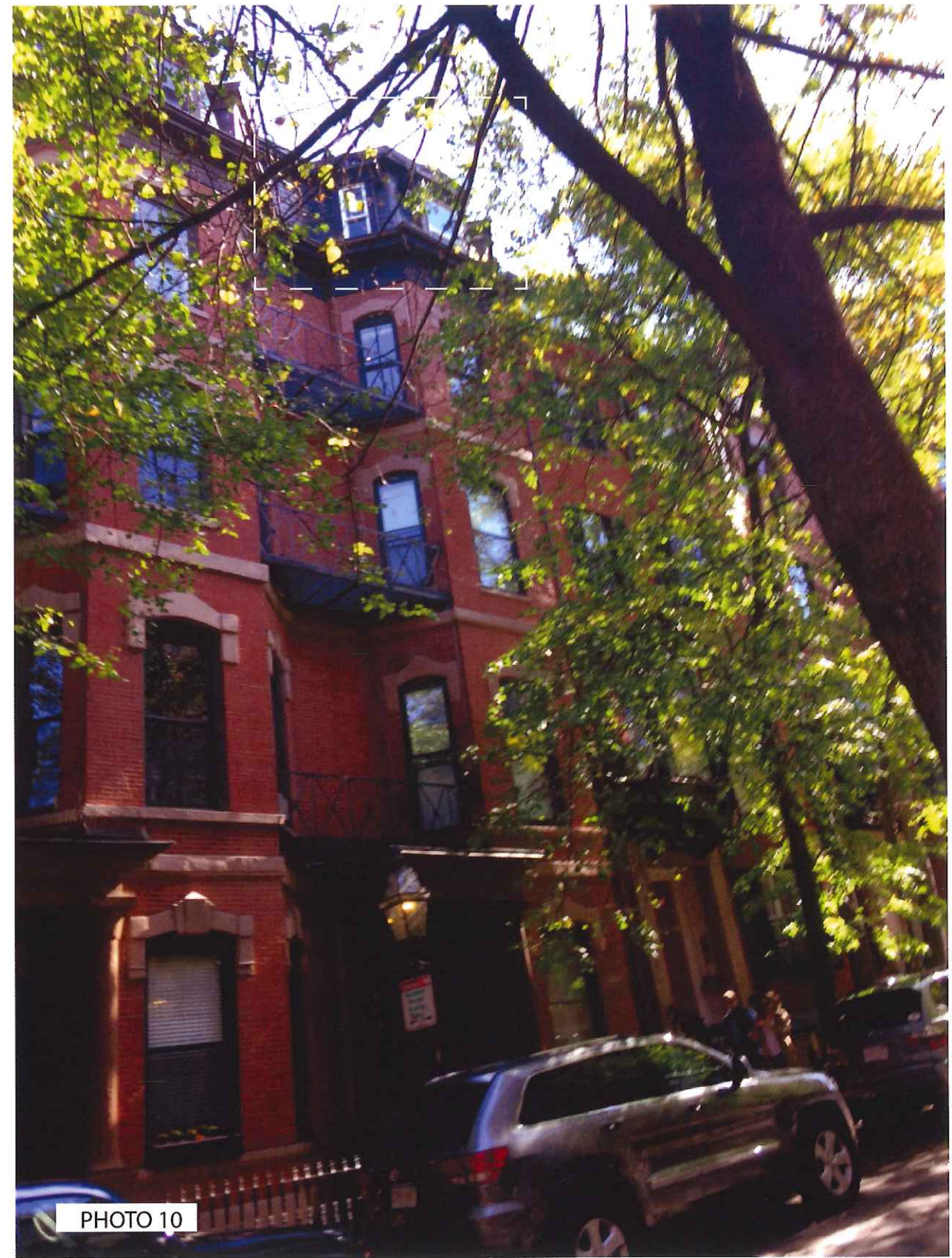


FRONT PHOTOS
FROM HANCOCK ST (1)

28 Hancock ST 03 Boston MA 02114

10/5/2016

TALL GUY WOODWORKING

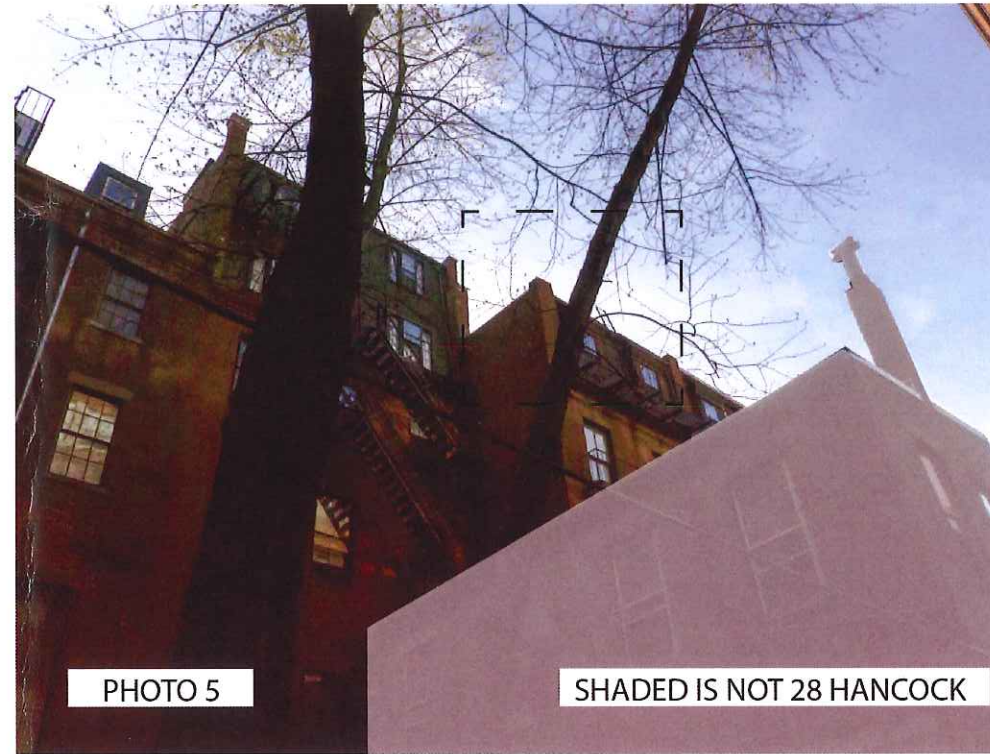
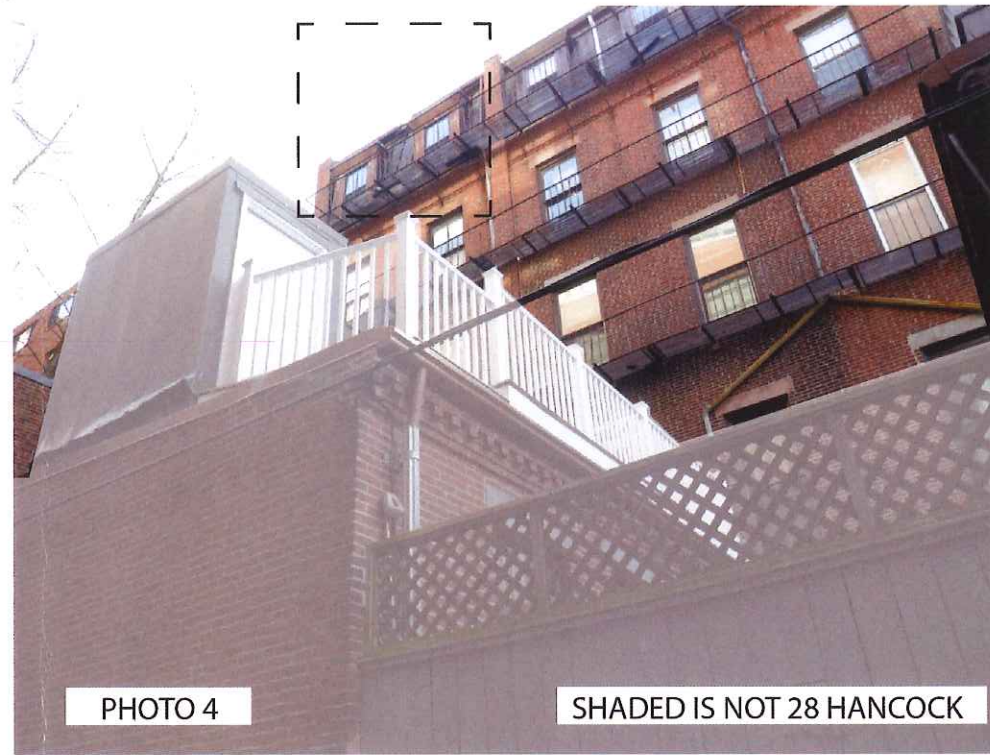


FRONT PHOTOS
FROM HANCOCK ST (2)

28 Hancock ST 03 Boston MA 02114

10/5/2016

TALL GUY WOODWORKING



REAR PHOTOS
FROM RIDGEWAY LANE

28 Hancock ST 03 Boston MA 02114

10/5/2016

TALL GUY WOODWORKING



PHOTO 11: EAST VIEW 1



PHOTO 13: EAST VIEW 2



PHOTO 12: WEST VIEW



PHOTO 14: SOUTH VIEW

ROOF CONDITION PHOTOS

28 Hancock ST 03 Boston MA 02114

10/5/2016

TALL GUY WOODWORKING