

26 LAWRENCE STREET

BOSTON, MA 02116

TWENTY SIX LAW, LLC.

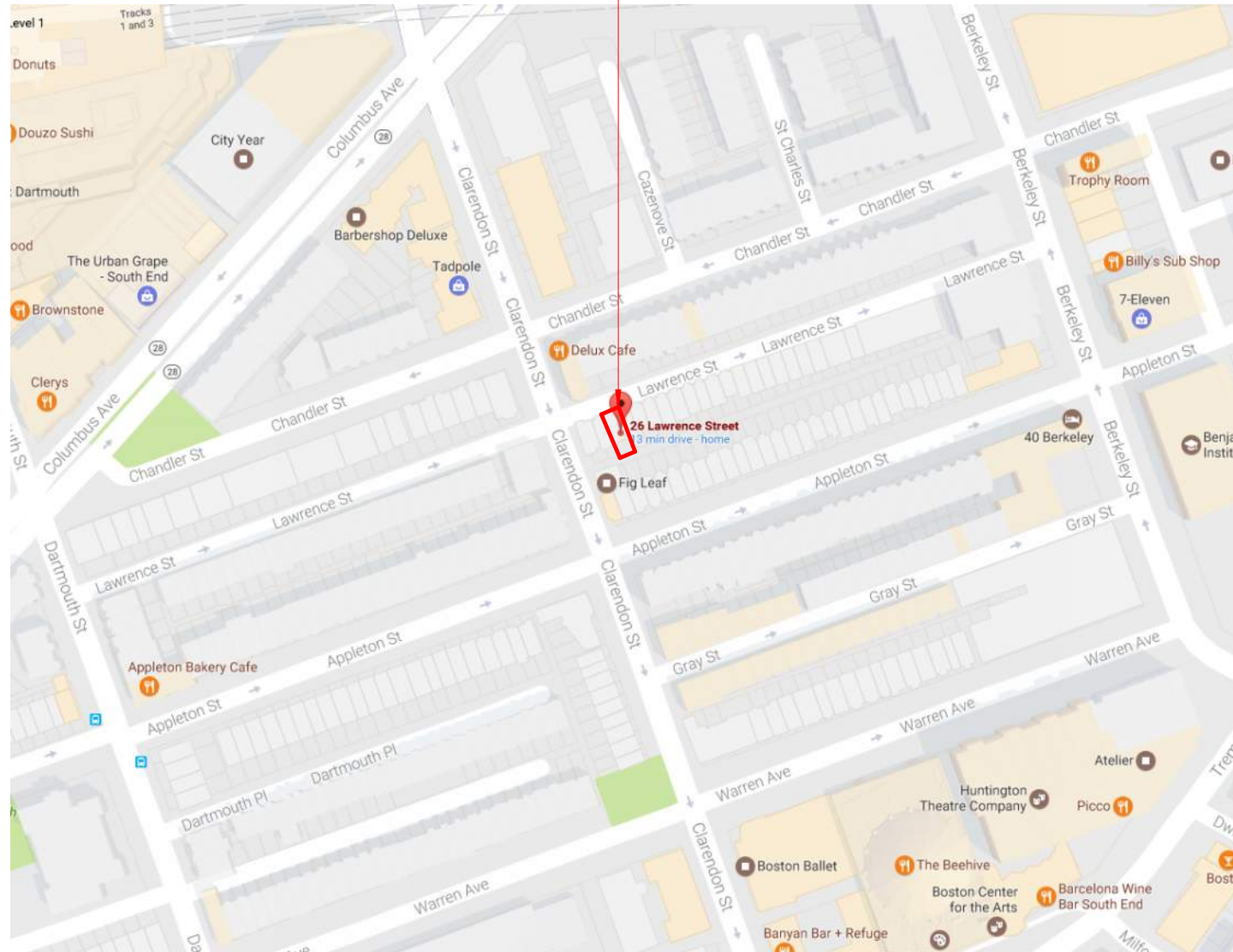
SELDC

JUNE 13, 2017



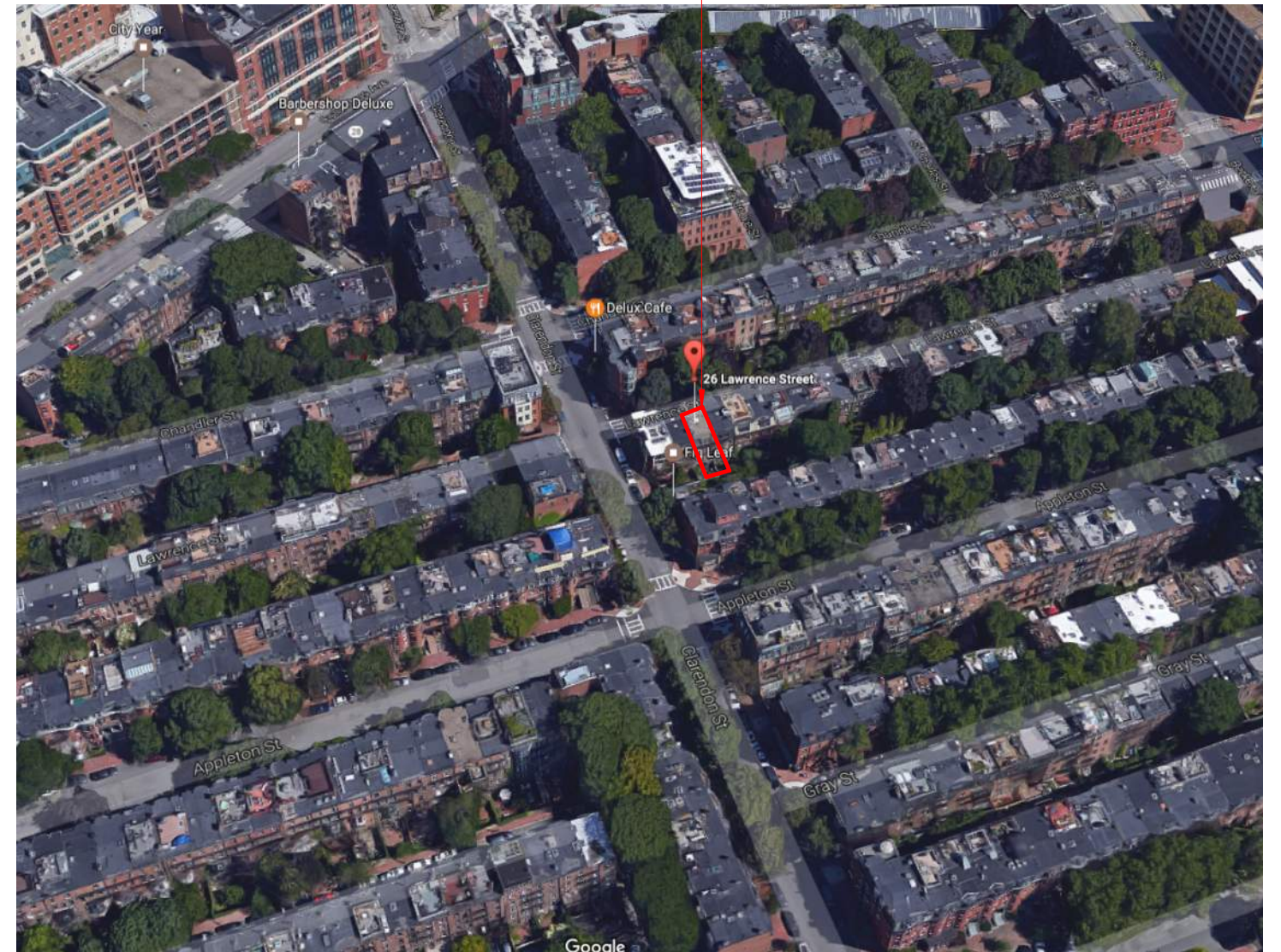
EMBARC STUDIO
ARCHITECTURE + DESIGN

26 LAWRENCE ST



AERIAL VIEW

26 LAWRENCE ST



BIRD'S EYE VIEW



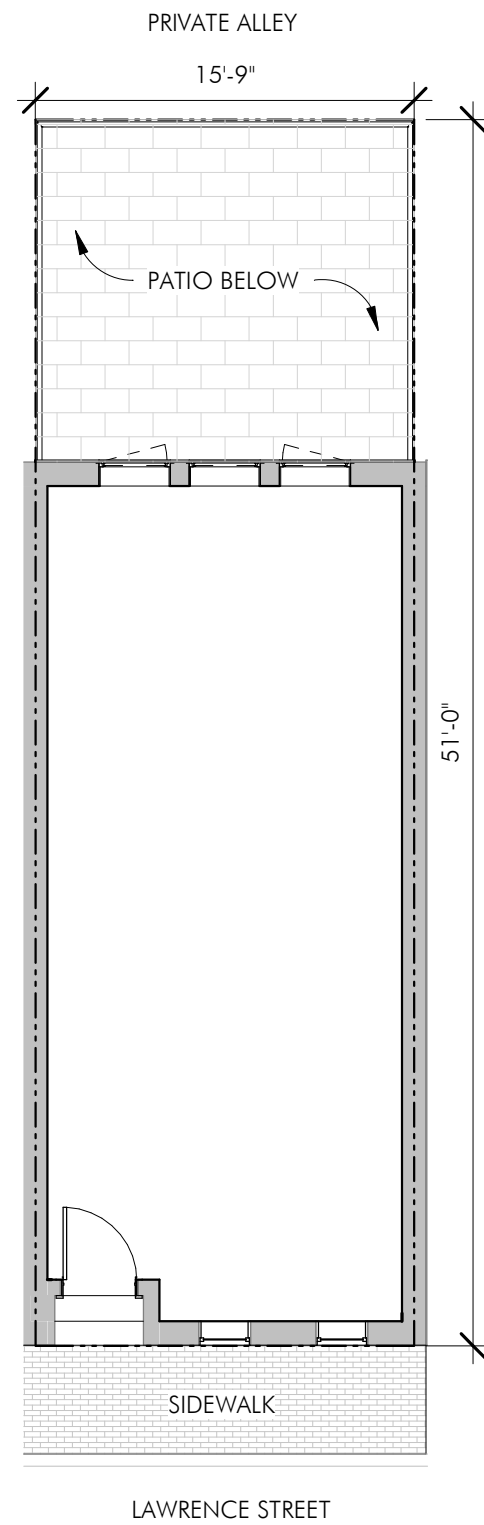
LAWRENCE STREET FACING EAST



25-27 LAWRENCE STREET



LAWRENCE STREET FACING WEST



1 **SITE PLAN**
1/8" = 1'-0"

REPLACE EXISTING ROOF SHINGLES AND DORMER SIDES WITH NEW ECOSTAR SHINGLES.

REPAIR FRONT OF EXISTING DORMER AS REQUIRED. PAINT BENJAMIN MOORE HC-69.

REFINISH EXISTING FIRE ESCAPE.

REPLACE EXISTING ROOF GUTTER WITH NEW COPPER GUTTER.

REPAIR AND REPAINT EXISTING WOOD CORNICE, AS REQUIRED.

REPLACE ALL EXISTING WINDOWS WITH NEW HISTORICALLY ACCURATE '2 OVER 2' WOOD WINDOWS, TYPICAL.

REPAIR AND RESTORE BROWNSTONE LINTELS AND SILLS AS REQUIRED. REPAINT HC-69, TYPICAL.

REPAIR AND REPOINT EXISTING BRICK, AS REQUIRED.

REPLACE EXISTING SURFACE MOUNTED LIGHT WITH NEW PENDANT LIGHT AT ENTRY.

REMOVE EXISTING METAL GATE AT FRONT DOOR .

REMOVE EXISTING WINDOW GRILLES.

NEW FRONT DOOR WITH LITES TO COMPLEMENT NEIGHBORING FRONT DOORS

REMOVE EXISTING WINDOW GRILLES AND REPLACE WITH METAL SECURITY BARS, PAINTED BLACK.



2 **NORTH (LAWRENCE ST) ELEVATION**
1/4" = 1'-0"

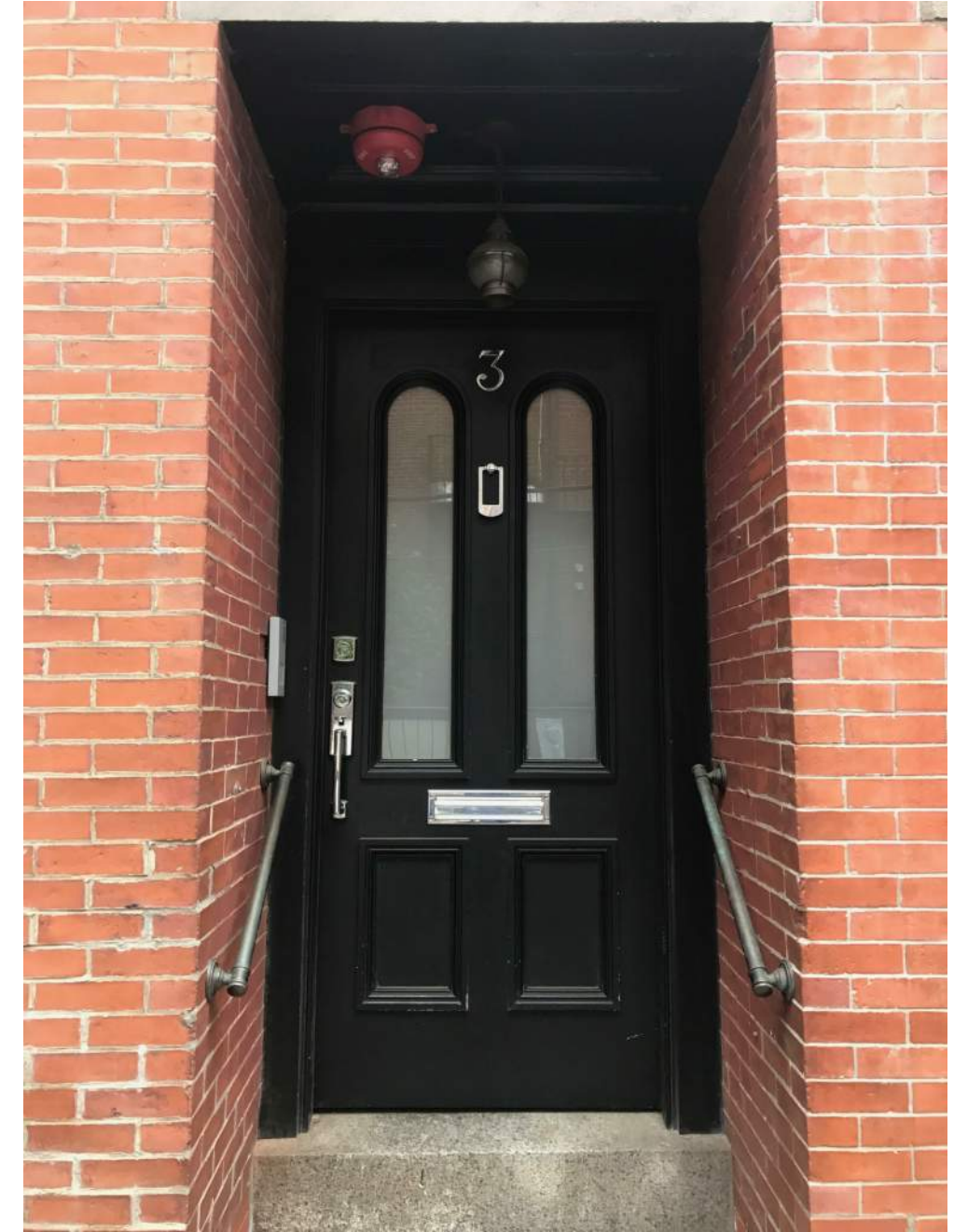
As indicated



27-27A LAWRENCE STREET



21-22 LAWRENCE STREET



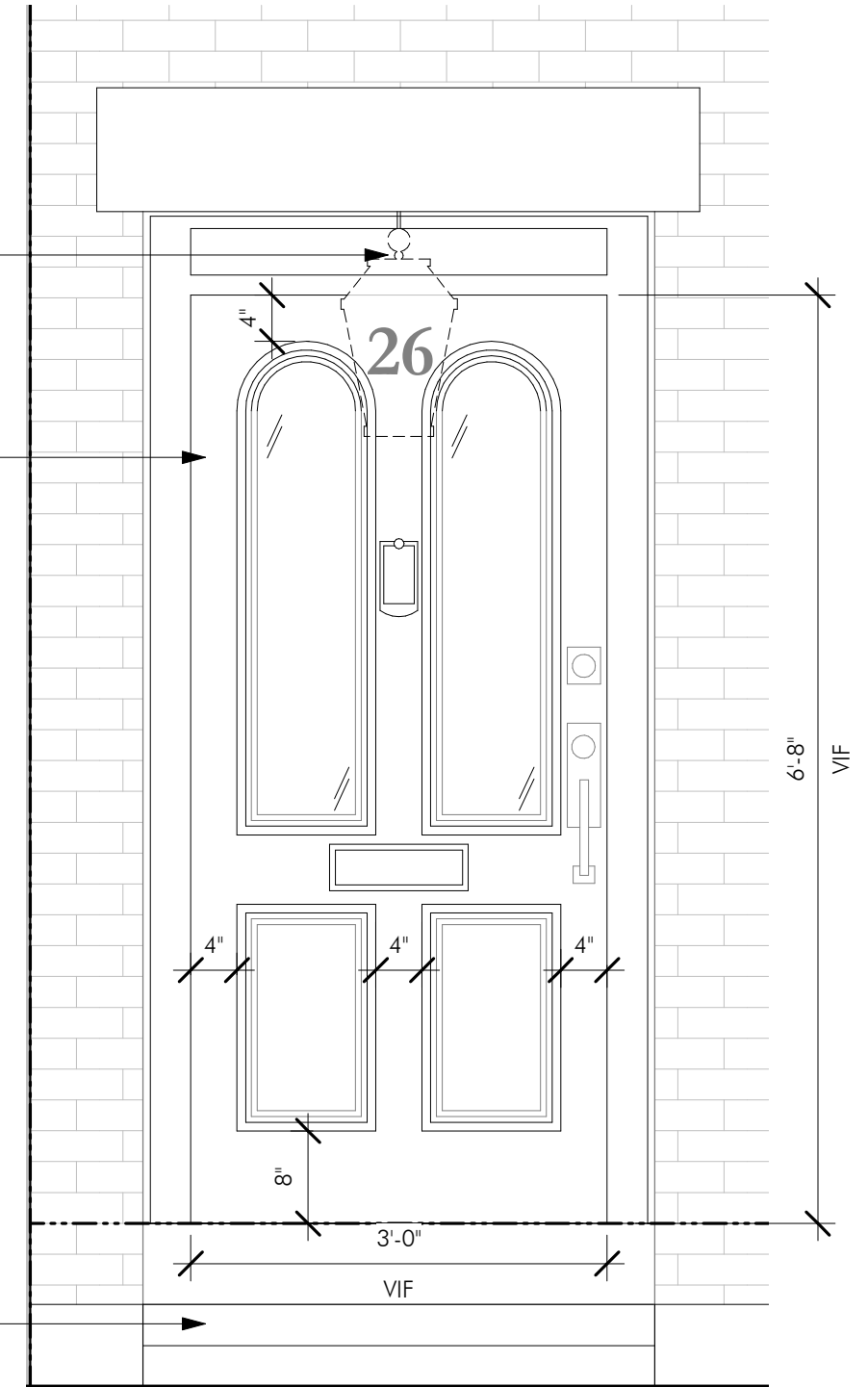
FRONT DOOR AT 3 LAWRENCE STREET
PROPOSED FRONT DOOR FOR 26 LAWRENCE STREET TO MATCH



CURRENT CONDITIONS | 26 LAWRENCE
METAL GATE AT FRONT DOOR AND METAL WINDOW GRILLES TO BE REMOVED

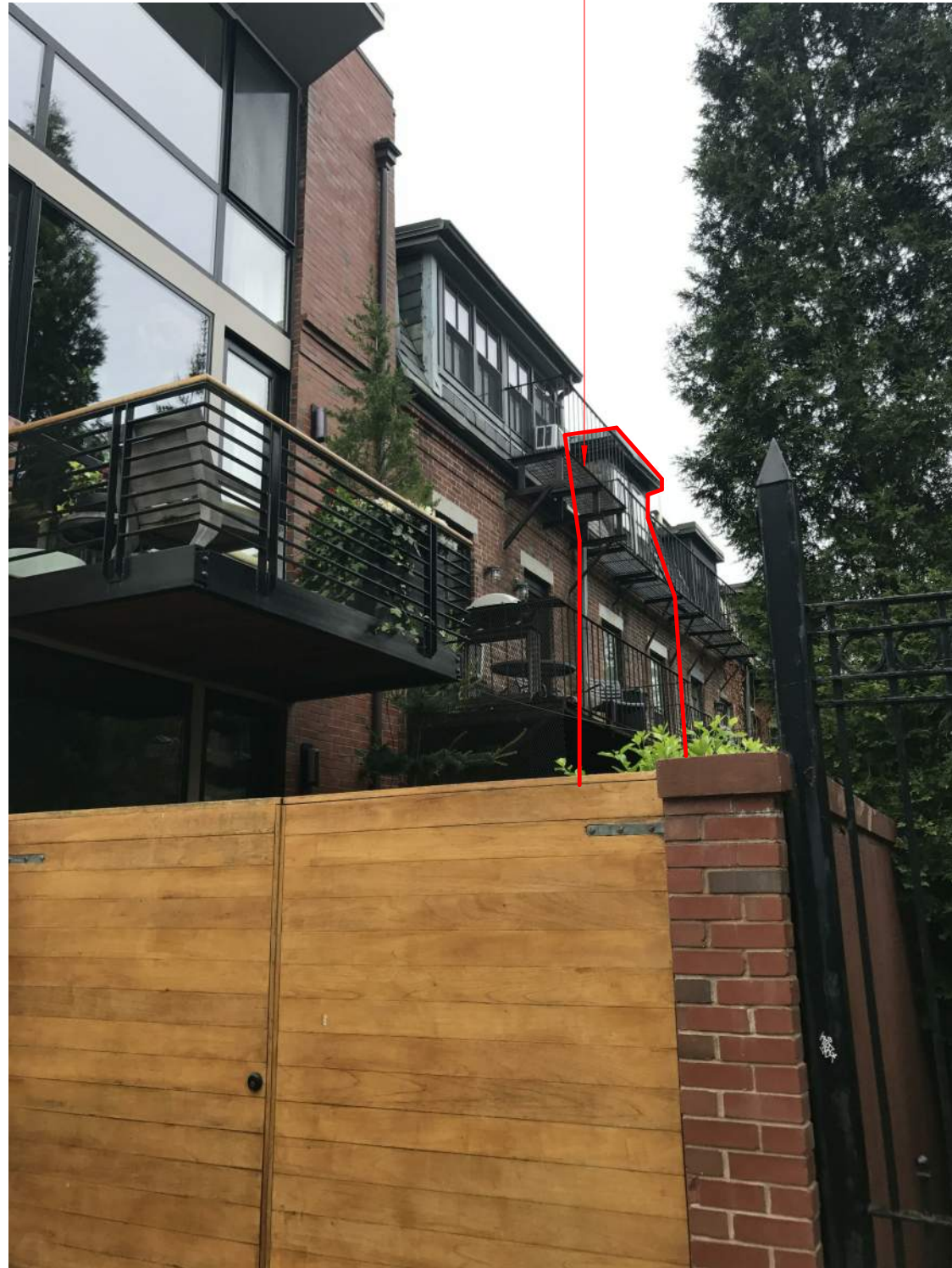
NEW ENTRY PENDANT LIGHT
NEW WOOD DOOR WITH LITES IN EXISTING MASONRY OPENING, PTD. BLACK

REPAIR AND RESTORE EXISTING FRONT STEPS, AS REQUIRED



1 PROPOSED FRONT ENTRY DOOR
3/4" = 1'-0"

26 LAWRENCE ST.



VIEW FROM CLARENDON ST. TOWARDS REAR YARD AT 26 LAWRENCE ST.

NEW ROOF DECK WITH BLACK METAL RAILING

REPLACE EXISTING ROOF SHINGLES AND DORMER SIDES WITH NEW ECOSTAR SHINGLES

REPLACE EXISTING WINDOWS WITH NEW HISTORICALLY ACCURATE 'ONE OVER ONE' WINDOWS

REPAIR FRONT OF EXISTING DORMER AS REQUIRED. PAINT BENJAMIN MOORE HC-69

REFINISH EXISTING FIRE BALCONY

REPLACE EXISTING ROOF GUTTER WITH NEW COPPER GUTTER AND DOWNSPOUT

REPAIR EXISTING BROWNSTONE LINTELS. REPAINT HC-69

REPLACE EXISTING WINDOWS WITH NEW HISTORICALLY ACCURATE '2 OVER 2' WINDOWS, TYPICAL

REFINISH EXISTING FIRE BALCONY

REPAIR EXISTING BROWNSTONE SILLS. REPAINT HC-69

REPAIR AND REPOINT EXISTING BRICK, AS REQUIRED

NEW JELDWEN CASEMENT/FIXED WINDOWS IN ENLARGED MASONRY OPENINGS

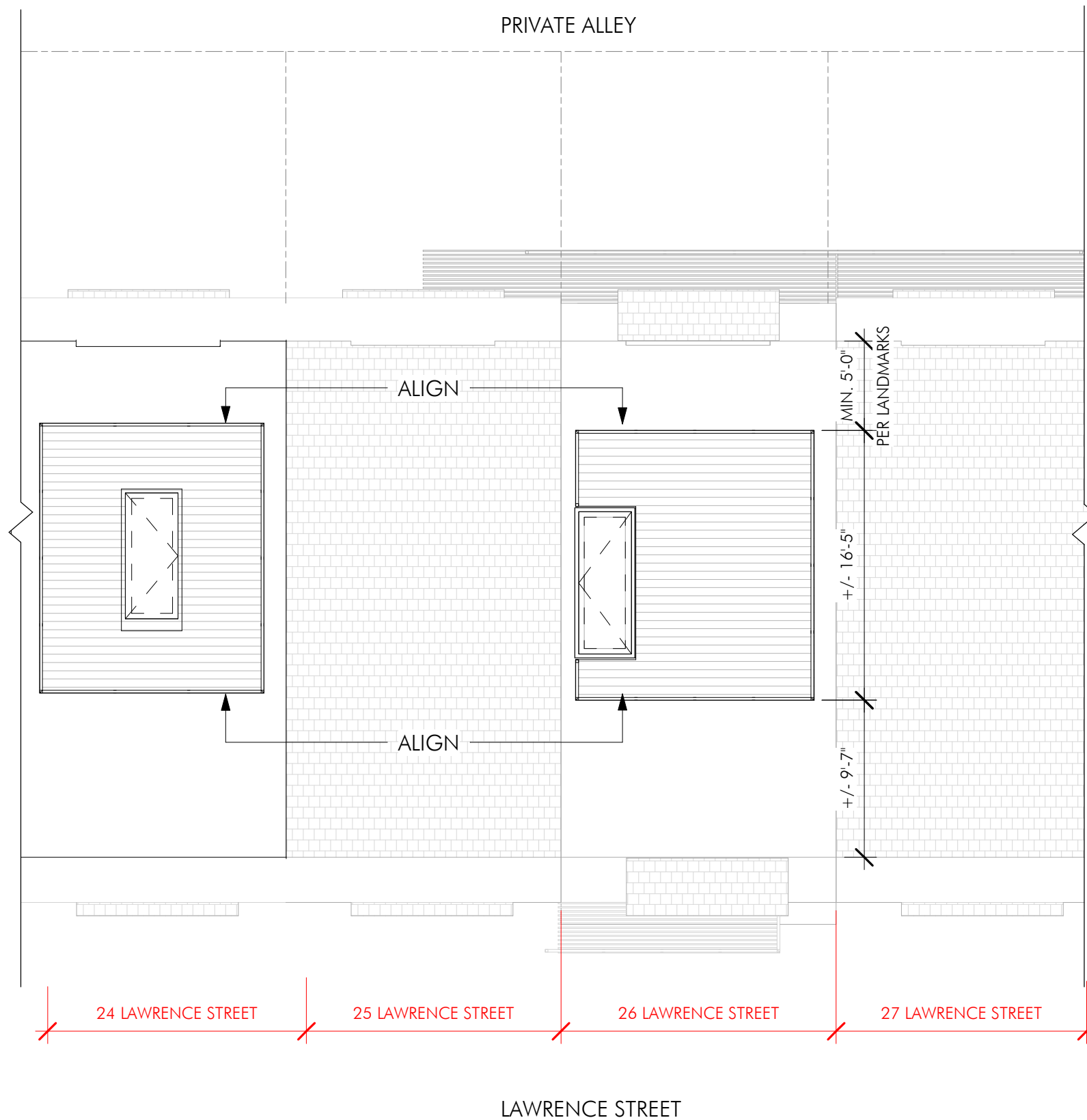
WOOD TRIM, PTD.

NEW JELDWEN CASEMENT/FIXED WINDOWS IN NEW MASONRY OPENING

NEW DOOR IN EXISTING MASONRY OPENING

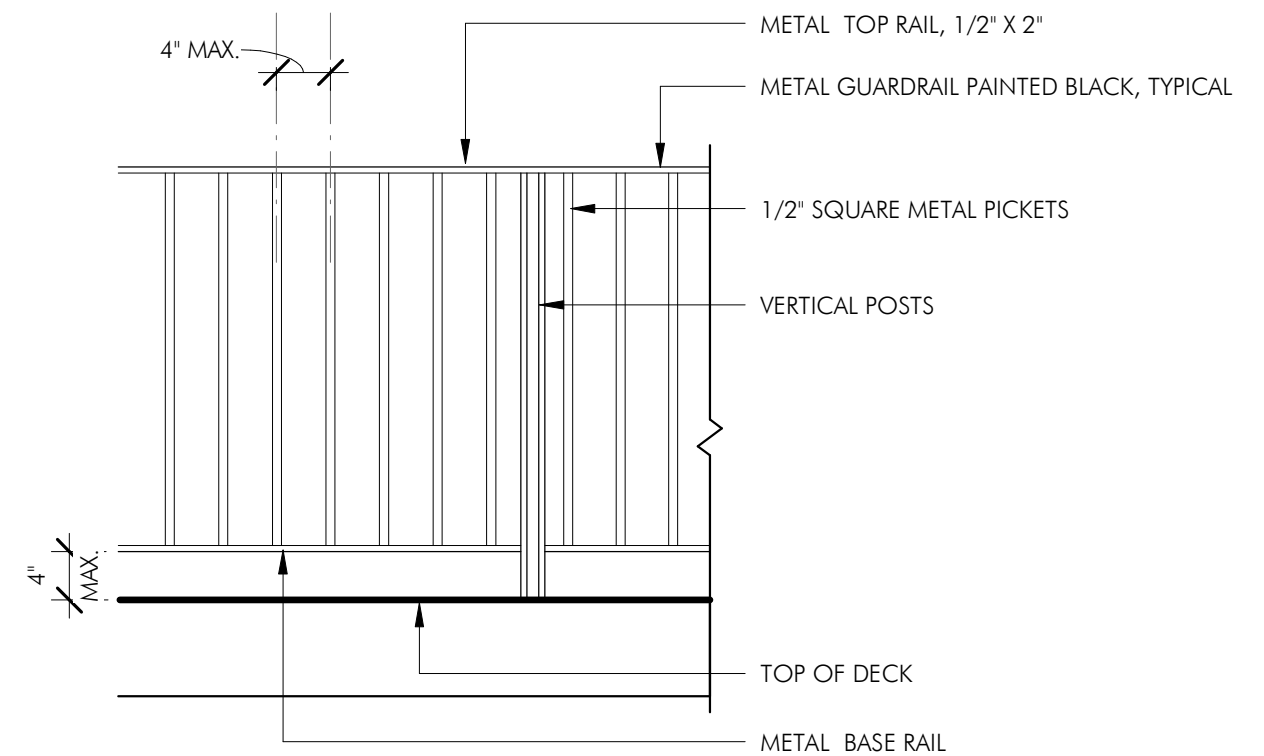


1/4" = 1'-0"



FOOTPRINT OF PROPOSED ROOF DECK TO MATCH EXTENTS OF ROOF DECK AT 24 LAWRENCE STREET.

1 ROOF DECK RAIL
3/4" = 1'-0"



As indicated

PROPERTY LINE

MIN. 5'-0"
PER LANDMARKS

PROPERTY LINE

LIMIT OF PUBLIC WAY

CONTRACTOR TO PROVIDE MOCK-UP. ARCHITECT
AND LANDMARKS STAFF TO VERIFY THAT NEW DECK
RAILINGS ARE NOT VISIBLE FROM THE PUBLIC WAYS,
AS APPLICABLE

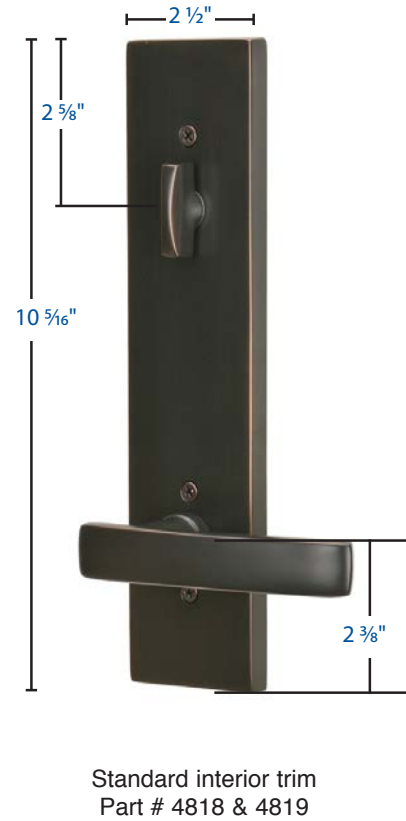
LINE OF SIGHT

PRIVATE ALLEY

SITE

LAWRENCE STREET

3/16" = 1'-0"



Additional Dimensions: (Part # 4818)

- Exterior Projection is 2 3/4"
- Interior Projection Depends on Handle Style
- Overall Grip thickness: 1"
- Clearance between door & grip is 1" - 1 3/4"
- Plates thickness: 1/2"

*Same Dimensions for
Double Cylinder & Dummy Function*

Additional Dimensions: (Part # 4819)

- Exterior Projection is 2 3/4"
- Interior Projection Depends on Handle Style
- Overall Grip thickness: 1"
- Clearance between door & grip is 1 7/16"
- Plates thickness: 1/2"

*Same Dimensions for
Double Cylinder & Dummy Function*