

Improvements to Reservation Road Park

Notice of Intent

June 6, 2018

Prepared for:

Boston Conservation Commission 1 City Hall Square, Room 709 Boston, MA 02201

Applicant:

Boston Parks and Recreation 1010 Massachusetts Avenue Boston, MA 02118

Prepared by:

Stantec Planning and Landscape Architecture P.C. 226 Causeway St., 6th Floor Boston, MA 02114



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Executive Summary

On behalf of the Boston Parks and Recreation Department, Stantec Planning and Landscape Architecture, P.C. (Stantec) is pleased to submit this Notice of Intent (NOI) to the Boston Conservation Commission, pursuant to the Massachusetts Wetlands Protection Act and its regulations (WPA; 310 CMR 10.00), to renovate Reservation Road Park (Project). This work will occur within the 100-foot Buffer zone and with limited work proposed within 25-foot Riverfront Area (RFA) associated with Mother Brook, a perennial watercourse. Wetland resource areas were delineated by Stantec Consulting Services Inc. on April 20, 2017.

The Project proposes to renovate the park through planting restoration of a portion of disturbed land encroached on by an abutter, improvements to site amenities and property circulation, reconstruction of a deteriorating parking lot and skate park, replacement of the park's existing sediment forebay and open-air detention pond with a subsurface detention system, installation of a boardwalk for pedestrian use, and creation of a stone path to the water's edge.

A USGS Site Locus and additional figures, which illustrate the Project location and surrounding physical and environmental features, are provided in Appendix G. Project Plans are provided in Appendix F. The Project and proposed measures to avoid and minimize impacts to the environment are described in the following sections of this narrative.



1.0 WPA FORM 3 – NOTICE OF INTENT





WPA Form 3 - Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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MassDEP File Number
Document Transaction Number
Roston

City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.





Note: Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

151 Reservation Road	Bostor	n 02136		
a. Street Address	b. City/T	own c. Zip Code		
Latitude and Longitude:	42.250			
-	d. Latitu	3		
Map Unavailable to view or f. Assessors Map/Plat Number		162-000 & 18-12161-000		
i. Assessors Map/Plat Number	g. Parce	l /Lot Number		
Applicant:				
Chris	Cod	ok		
a. First Name	b. La	st Name		
Boston Parks and Recreation	on Department			
c. Organization				
1010 Massachusetts Avenu	ie			
d. Street Address	NAA	02449		
Boston e. City/Town	MA f. State	<u>02118</u> g. Zip Code		
617-635-4505		@boston.gov		
	ax Number j. Email Addre			
c. Organization d. Street Address				
e. City/Town	f. State	g. Zip Code		
h. Phone Number i. Fa	ax Number j. Email addre	ess		
Representative (if any):				
Kevin	Beu	ttell		
a. First Name	b. La	st Name		
Stantec Planing and Landscape Architecture P.C.				
c. Company				
226 Causeway St., 6th Flood	or			
Boston	MA	02114		
e. City/Town	f. State	g. Zip Code		
617-654-6005		tell@stantec.com		
	ax Number j. Email addre			
Total MDA Eas Daid /frame	NOLWatland Fac Transmittel Fe	arm).		
Total WFA Fee Palu (Ifom	NOI Wetland Fee Transmittal Fo	лиі).		
EXEMPT a. Total Fee Paid	EXEMPT b. State Fee Paid	EXEMPT c. City/Town Fee Paid		



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	City/Town		

Α.	A. General Information (continued)				
6.	General Project Description:				
	improvements to the existing site amenities and prope	The project proposed to renovate the existing Reservation Road park. The improvements will include improvements to the existing site amenities and property circulation, reconstruction of the existing parking lot, and a renovation of the existing skate park.			
7a.	a. Project Type Checklist: (Limited Project Types see Se	ection A. 7b.)			
	1. Single Family Home 2	. Residential Subdivision			
	3. Commercial/Industrial 4	. Dock/Pier			
	5. Utilities 6	. Coastal engineering Structure			
	7. Agriculture (e.g., cranberries, forestry) 8	. Transportation			
	9. 🛛 Other				
7b.					
	2. Limited Project Type				
	If the proposed activity is eligible to be treated as an ECMR10.24(8), 310 CMR 10.53(4)), complete and attached the Checklist and Signed Certification.				
8.	. Property recorded at the Registry of Deeds for:				
	Suffolk				
		b. Certificate # (if registered land)			
		72 Page Number			
R	B. Buffer Zone & Resource Area Impac				
1.	 Buffer Zone Only – Check if the project is located Vegetated Wetland, Inland Bank, or Coastal Reso 				
2.					

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. Bank	1. linear feet	2. linear feet
b. Bordering VegetatedWetland	1. square feet	2. square feet
c. Land Under Waterbodies and	1. square feet	2. square feet
Waterways	3. cubic yards dredged	
Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. Bordering Land	1. square feet	2 equare feet
Subject to Flooding	i. square reet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. Isolated Land		
Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. 🛛 Riverfront Area	1. Name of Waterway (if available) - spe	cify coastal or inland
2. Width of Riverfront Area (check one):	
	ensely Developed Areas only	
☐ 100 ft New agricultu	ural projects only	
200 ft All other projection	ects	
2 Total area of Piverfront Are	a on the site of the proposed proje	2,050
3. Total alea of Rivertions Are	a on the site of the proposed proje	square feet
4. Proposed alteration of the F	Riverfront Area:	
1,025	N/A	N/A
a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.
5. Has an alternatives analysis	s been done and is it attached to the	nis NOI? ☐ Yes ☒ No
6. Was the lot where the activ	ity is proposed created prior to Aug	gust 1, 1996? ⊠ Yes □ No
3. Coastal Resource Areas: (See	310 CMR 10.25-10.35)	

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Note: for coastal riverfront areas, please complete Section B.2.f. above.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your
document
transaction
number
(provided on your
receipt page)
with all
supplementary
information you
submit to the
Department.

4.

5.

Resource Area		Size of Proposed Alteration	Proposed Replacement (if any)	
а. 🗌	Designated Port Areas	Indicate size under Land Unde	r the Ocean, below	
b. 🗌	Land Under the Ocean	1. square feet		
		2. cubic yards dredged		
c. 🗌	Barrier Beach	Indicate size under Coastal Bea	ches and/or Coastal Dunes below	
d. 🗌	Coastal Beaches	1. square feet	2. cubic yards beach nourishment	
e. 🗌	Coastal Dunes	1. square feet	2. cubic yards dune nourishment	
		Size of Proposed Alteration	Proposed Replacement (if any)	
f.	Coastal Banks	1. linear feet		
g. 🗌	Rocky Intertidal Shores	1. square feet		
h. 🗌	Salt Marshes	1. square feet	2. sq ft restoration, rehab., creation	
i. 🗌	Land Under Salt Ponds	1. square feet		
		2. cubic yards dredged		
j. 🔲	Land Containing Shellfish	1. square feet		
k. 🗌	Fish Runs	Indicate size under Coastal Ban Ocean, and/or inland Land Unde above	ks, inland Bank, Land Under the er Waterbodies and Waterways,	
		1. cubic yards dredged		
l. 🗌	Land Subject to Coastal Storm Flowage	1. square feet		
Restoration/Enhancement If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional				
amount here.				
a. square feet of BVW b. square feet of Salt Marsh			Salt Marsh	
Project Involves Stream Crossings				
a. numb	er of new stream crossings	b. number of repla	acement stream crossings	



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Manage the Wetlerede Dretestiere Act M.C.L. a. 424, C.40			Document Transaction Number			
Massachusetts Wetlands Protection Act M.G.L		L. c. 131, §40	Boston City/Town			
C	Other Applicable Standards and F	Requirements	Gity/ TOWIT			
	This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).					
Str	eamlined Massachusetts Endangered Spec	ies Act/Wetlands Pr	otection Act Review			
1.	Is any portion of the proposed project located in Es the most recent Estimated Habitat Map of State-Lis Natural Heritage and Endangered Species Program Massachusetts Natural Heritage Atlas or go to http://maps.massgis.state.ma.us/PRI EST HAB/vi	sted Rare Wetland Wild m (NHESP)? To view h	llife published by the			
	a. Yes No If yes, include proof of m	nailing or hand delive	ry of NOI to:			
	April 2018 b. Date of map Natural Heritage and Electrical Division of Fisheries at 1 Rabbit Hill Road Westborough, MA 0158		gram			
	If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.2.f, if applicable. If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).					
	c. Submit Supplemental Information for Endangere	ed Species Review*				
	Percentage/acreage of property to be a	altered:				
	(a) within wetland Resource Area	percentage/acreage				
	(b) outside Resource Area	percentage/acreage				
	2. Assessor's Map or right-of-way plan of	site				
2.	Project plans for entire project site, including we wetlands jurisdiction, showing existing and propose tree/vegetation clearing line, and clearly demarcate	ed conditions, existing				
	(a) Project description (including description buffer zone)	on of impacts outside o	f wetland resource area &			

Photographs representative of the site

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^{*} Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

^{**} MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



3.

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C. Other Applicable Standards and Requirements (cont'd)

Make	(c) MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/mesa/mesa_fee_schedule.htm). Make check payable to "Commonwealth of Massachusetts - NHESP" and <i>mail to NHESP</i> at above address			
Projec	ts altering 10 or more acres of land, also subr	nit:		
(d)	Vegetation cover type map of site			
(e)	(e) Project plans showing Priority & Estimated Habitat boundaries			
(f) O	(f) OR Check One of the Following			
1. 🗌	Project is exempt from MESA review. Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14 http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/mesa/mesa_exemptions.htm the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)			
2. 🗌	Separate MESA review ongoing.	a. NHESP Tracking #	b. Date submitted to NHESP	
3.	3. Separate MESA review completed. Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.			
For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?				
a. Not applicable – project is in inland resource area only b. Yes No				
If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:				
South Shore - Cohasset to Rhode Island border, and the Cape & Islands: North Shore - Hull to New Hampshire border:				
Division of Marine Fisheries - Southeast Marine Fisheries Station Attn: Environmental Reviewer 836 South Rodney French Blvd. New Bedford, MA 02744 Email: DMF.EnvReview-South@state.ma.us Division of Marine Fisheries - North Shore Office Attn: Environmental Reviewer 30 Emerson Avenue Gloucester, MA 01930 Email: DMF.EnvReview-North@state.ma.us			ver	

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

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Massachusetts Department of Environmental Protection Bureau of Resource Protection - Wetlands

WPA Form 3 - Notice of Intent

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	Boston
(City/Town

C. Other Applicable Standards and Requirements (cont'd)

	4.	Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
Online Users: Include your document		a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). Note: electronic filers click on Website.
transaction number		b. ACEC
(provided on your receipt page) with all	5.	Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
supplementary		a. 🗌 Yes 🛛 No
information you submit to the Department.	6.	Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
		a. 🗌 Yes 🗵 No
	7.	Is this project subject to provisions of the MassDEP Stormwater Management Standards?
		a. Xes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
		 Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
		2. A portion of the site constitutes redevelopment
		3. Proprietary BMPs are included in the Stormwater Management System.
		b. No. Check why the project is exempt:
		1. Single-family house
		2. Emergency road repair
		3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.
	D.	Additional Information
		This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).
		Applicants must include the following with this Notice of Intent (NOI). See instructions for details.
		Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.
		1. Substituting USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)

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to the boundaries of each affected resource area.

Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative

2.



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Prov	ided by MassDEP:
	MassDEP File Number
	Document Transaction Number
	Boston City/Town

Additional Information (contid)

υ.	Ada	itional information (confd)		
	3. 🗵	Identify the method for BVW and other resormed Data Form(s), Determination of Applicand attach documentation of the methological details and attach documentation of the methological details.	cability, Order of Resource	
	4. 🛛	List the titles and dates for all plans and oth	ner materials submitted wit	n this NOI.
		provements to Reservation Road Park		
		Plan Title	Frank Halman D.F	
		ristopher Long Prepared By	Frank Holmes, P.E. c. Signed and Stamped by	
		ne 06, 2018	1"=20'	
		Final Revision Date	e. Scale	
	f. A	dditional Plan or Document Title		g. Date
	5.	If there is more than one property owner, plisted on this form.	lease attach a list of these	property owners not
	6.	Attach proof of mailing for Natural Heritage	and Endangered Species	Program, if needed.
	7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.			s, if needed.
 8. Attach NOI Wetland Fee Transmittal Form 9. Attach Stormwater Report, if needed. 				
<u> </u>	Fees	·		
	1.		l Indian tribe housing autho	
		ants must submit the following information (in ansmittal Form) to confirm fee payment:	addition to pages 1 and 2	of the NOI Wetland
	2. Munic	ipal Check Number	3. Check date	
	4. State	Check Number	5. Check date	
	6. Payor	name on check: First Name	7. Payor name on check: I	_ast Name

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F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

all last	4/18
1. Signature of Applicant	2. Date //
3. Signature of Property Owner (IDtifferent)	4. Date / 1/2
5. Signature of Representative (If any)	6, Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

Applicant Information

NOI Wetland Fee Transmittal Form

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key





. Location of Proje	ct:		
Reservation Roa	d	Boston	
a. Street Address		b. City/Town	
EXEMPT		EXEMPT	
c. Check number		d. Fee amount	
. Applicant Mailing	Address:		
Chris		Cook	
a. First Name		b. Last Name	
Boston Parks an	d Recreation Department		
c. Organization			
1010 Massachus	etts Avenue		
d. Mailing Address			
Boston		MA	02118
e. City/Town		f. State	g. Zip Code
617-635-4505		Chris.Cook@boston.gov	
h. Phone Number	i. Fax Number	j. Email Address	
. Property Owner	(if different):		
a. First Name		b. Last Name	
c. Organization			
d. Mailing Address			
e. City/Town		f. State	g. Zip Code
h. Phone Number	i. Fax Number	i. Email Address	

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

B. Fees

Fee should be calculated using the following process & worksheet. *Please see Instructions before filling out worksheet.*

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

2.0 WETLAND FEE TRANSMITAL FORM





Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

NOI Wetland Fee Transmittal Form

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)			
Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
	Step 5/To	otal Project Fee	0
	Step 6/	Fee Payments:	
	Total	Project Fee:	EXEMPT a. Total Fee from Step 5
	State share	of filing Fee:	EXEMPT b. 1/2 Total Fee less \$12.50
	City/Town share	e of filling Fee:	EXEMPT c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection Box 4062 Boston, MA 02211

b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

3.0 SECTION A - PROJECT DESCRIPTION

3.1 EXISTING CONDITIONS

The project site is located at 151 Reservation Road, owned by the City of Boston (the "City"). The property is an $8.5 \pm$ acre parcel, excluding Reservation Road, situated to the east and south of Mother Brook, a perennial watercourse that flows north and passing under Reservation Road.

Mean Annual High Water Line (MAHWL) and inland bank, associated with Mother Brook, occurs along the west and northern portion of the City property. The brook's 25-foot Riverfront Area (RFA) encompasses the western and northern region of the property (approximately 0.76± acres). Slopes leading to Mother Brook within these areas are dominated by invasive species, including black locust, Asiatic bittersweet, and honeysuckle as described in Appendix D - Resource Area Delineation.

The U.S. Department of Agriculture (USDA) Web Soil Survey maps for the Project site identifies the soil type as wet substratum Udorthents (disturbed soils where the upper material has been removed, filled, or graded), with 0 to 3 percent slopes.

Within the project limits, stormwater is managed in various ways. Stormwater captured on the turf field infiltrates to the drainage network beneath the field, eventually discharging to the existing sediment forebay and detention pond located west of the field. Stormwater from the skate park, parking lot, and surrounding landscaped areas are captured and conveyed through a drainage network to the sediment forebay and detention pond. The detention pond eventually overflows through an outlet control device and discharges stormwater to Mother Brook.

The remaining portion of the site discharges west directly to Mother Brook or east to property owned by the Massachusetts Bay Transportation Authority (MBTA), eventually flowing into Mother Brook downstream of the park.

3.2 PROPOSED CONDITIONS

In proposed conditions, Reservation Road Park will be redeveloped to enhance the existing features deteriorating on site. Of the 8.5± acres, approximately 4.85± acres will be included within the limits of work. Various site amenities and walkways will be repayed or introduced to the site to provide improved park circulation. The adjacent parking lot and skate park will be reconstructed to generate increased public use.

A section of the property has been encroached on by an abutter. As part of the project, the City will reclaim the approximate 3,800 sf of land used as storage for utility vehicles and construction equipment. The area will be restored with loam, trees, and shrubs to naturalize this section of the Site.

The work will include improvements to the existing stormwater management system. A combined sediment forebay and detention pond located on the northern portion of the site will be converted to a subsurface detention system.

Below is a summary of the existing and proposed conditions impervious areas.



Table 1 Summary of Impervious Areas on Site

Areas	Existing Conditions (sf)	Proposed Conditions (sf)
Total Impervious	55,154	55,123
	Total Impervious Reduction	31

4.0 SECTION B - BUFFER ZONE AND RESOURCE AREA IMPACTS

4.1 DESCRIPTION OF BUFFER ZONE AND RESOURCE AREA IMPACTED

The 8.5-acre property contains areas subject to the jurisdiction of the Massachusetts Wetlands Protection Act [M.G.L. c. 131, s. 40]. These resource areas are associated with Mother Brook and its floodplain and include the following:

- Bordering Land Subject to Flooding (BLSF)
- ➤ 100-foot Buffer Zone
- Riverfront Area

Wetland resources on the property were delineated by Stantec Consulting on April 20, 2017.

Of the three aforementioned buffer zones and resource areas, only the 100-foot Buffer Zone and Riverfront Area are located within the Site limits and impacted by the proposed work.

4.1.1 100-Foot Buffer Zone

The Buffer Zone, as established through 310 CMR 10.02, is shown as a 100-foot offset from any resource area subject to protection under 310 CMR 10.02(1). The resource area that the 100-foot buffer zone refers to in relation to Mother Brook is the Mean Annual High Water Line (MAHWL).

4.1.2 Riverfront Area

Mother Brook, a perennial watercourse, has an associated 25-foot RFA established through the Massachusetts Wetlands Protection Act (MWPA) regulations. Per 310 CMR 10.58(2)(a)(3), the RFA is the area of land between a river's MAHWL and a parallel line measured horizontally 25-feet away due to the City of Boston designation as a densely developed area.

The MAHWL was established by Stantec Consulting on April 20, 2017 with the use of blue wetland flags A-1 through A-57 which are depicted on the existing conditions plan provided within the plan set, *Improvements to Reservation Road Park*, dated June 6, 2018 provided under a separate cover.



4.2 IMPACTS TO BUFFER ZONE AND RESOURCE AREA

4.2.1 100-Foot Buffer Zone

Work within the 100' Buffer Zone will include minor activities and activities subject to review under this Notice of Intent.

The reclamation of the 3800 sf of paved land used for storage of utility vehicles and construction equipment will be a minor activity in accordance with 310 CMR 10.02(b)1.f.; the conversion of impervious to vegetated surfaces, provided erosion and sedimentation controls are implemented during construction. The area will be restored to a planted area with the use of loam, trees, and shrubs. Straw wattles and siltation fence will be installed as protection during the planting restoration process. The restoration of this area will aid in the permanent increase of pervious area within the 100-foot buffer zone, offsetting some of the additional activities described below.

Activities within the buffer zone, subject to review under this Notice of Intent, include rehabilitation of the existing impervious sidewalks and associated site amenities, installation of a new boardwalk and stone path to the water's edge, conversion of combined sediment forebay and detention pond to a subsurface detention system, and improvements to the existing athletic field. The proposed improvements will result in an increase in additional pervious area in this Buffer Zone.

4.2.2 Riverfront Area

Work within the Riverfront Area will be limited to two (2) pedestrian access points. A boardwalk is proposed to be located on the southeast corner of the Site and a small stone path is to be located on the northern corner of the Site. The Site currently has an existing path leading down to the Riverfront Area's edge where a seating area is situated. These existing features are located outside of the 25-foot Riverfront Area associated with Mother Brook. The boardwalk is proposed to extend beyond the seating area towards the water's edge as an additional amenity for pedestrian use. The small stone path will utilize degraded areas beneath an existing canopy to create a guided path to the edge of Mother Brook. Both paths will provide a controlled access point to Mother Brook and promote limited foot traffic in other areas of the 25-foot RFA that have the ability to cause damage to the existing vegetation overtime.

The construction of the both paths aim to have minimal impact on the RFA. The footings of the boardwalk will be constructed using helical piles to minimize the footprint of excavation. It will be raised and consist of wooden slats elevated above finished grade. The wooden slats will have separation between them and will not act as an impervious area. The stone path will be installed carefully by hand.

Refer to *Table 2 Summary of Affected Resource Areas* for the temporary and permanent disturbances expected due to the proposed work.

Table 2 Summary of Affected Resource Areas

Wetland Resource Area	Associated Resource	Temporary Disturbance (sf)	Impervious Area	
			Existing	Proposed
25-Foot Riverfront Area	MAHWL	2,050	100	95
100-Foot Buffer Zone	MAHWL	18,700	4590	10,995



4.3 BUFFER ZONE AND RESOURCE AREA COMPLIANCE WITH GENERAL STANDARDS

4.3.1 100-Foot Buffer Zone

Pursuant to 310 CMR 10.05(3)(a)2, all work proposed to be performed within the Buffer Zone has been addressed within this Notice of Intent under Section 4.2.1, 100-Foot Buffer Zone.

Best Management Practices (BMPs) that have been incorporated into the redevelopment design are described in Appendix E, Stormwater Report. These BMPs ensure that land disturbance within the Buffer Zone does not impact resource areas. These BMPs ensure the land disturbance within the Buffer Zone does not negatively impact wetland resource areas and will secure the protection of those interests.

4.3.2 Riverfront Area

4.3.2.1 310 CMR 10.58(4) Compliance with General Performance Standards for Previously Developed Riverfront Areas

The work proposed in the RFA meets the definition of a redevelopment and is regulated by 310 CMR 10.58(5), which provides that the Conservation Commission may allow work to redevelop a previously developed RFA, provided the proposed work improves existing conditions and meets the performance standards listed in 10.58(5).

10.58(4)(a) Improvement over Existing Conditions: Pursuant to 310 CMR 10.58(4)(a), the work meets the performance standards for all other resource areas within the RFA. The proposed work is also within the buffer zone. Therefore, the performance standards for the RFA shall contribute to the protection of the interests of M.G.L. c. 131 § 40 in lieu of any additional requirements that might otherwise be imposed on work in the buffer zone within the riverfront area.

The proposed work aims to remain outside the riverfront area excluding the installation of two pedestrian access paths which will have minimal impacts. The addition of the boardwalk and stone path will provide a controlled access to the water's edge. It will help limit disturbance by park visitors to the surrounding resource areas and the buffer zone.

10.58(4)(b) Protection of Rare Species: Pursuant to 310 CMR 10.58(4)(b), no project may be permitted within the riverfront area which will have any adverse effect on specified habitat sites of rare wetland or upland vertebrate or invertebrate species prior to the filing of the Notice of Intent.

There are no rare species located within the Site. Therefore, the project will not have an adverse effect on specified habitat sites of rare wetland or upland vertebrate or invertebrate species (*Appendix G – Figure 4.*).

10.58(4)(c) Practicable and Substantially Equivalent Economic Alternatives: Pursuant to 310 CMR 10.58(5), the work is determined to be a redevelopment project within previously developed Riverfront Areas and is not required to perform an alternatives analysis. Refer to Section 4.3.2.2 - 310 CMR 10.58(5) Redevelopment Within Previously Developed Riverfront Areas; Restoration and Mitigation for further description of the redevelopment work.

10.58(4)(d) No Significant Adverse Impact: Pursuant to 310 CMR 10.58(5), the work is determined to be a redevelopment project within previously developed Riverfront Areas and is not required to perform an alternatives



analysis. Refer to Section 4.3.2.2 - 310 CMR 10.58(5) Redevelopment Within Previously Developed Riverfront Areas; Restoration and Mitigation for further description of the redevelopment work.

4.3.2.2 310 CMR 10.58(5) Redevelopment Within Previously Developed Riverfront Areas; Restoration and Mitigation

Pursuant to 310 CMR 10.58(5), notwithstanding the provisions of 310 CMR 10.58(4)(c) and (d) (setting forth the otherwise applicable general performance standards), the proposed work redeveloping the previously developed Riverfront Area on-site may be allowed by the Boston Conservation Commission, where the work will improve existing conditions. Existing conditions may be redeveloped where the work involved includes one or more of the following: the replacement, rehabilitation or expansion of existing structures, improvement of existing roads, or the reuse of degraded and/or previously developed areas. A previously developed Riverfront Area is comprised of areas degraded prior to August 7, 1996 by impervious surfaces from existing structures or pavement, absence of topsoil, junkyards, or abandoned dumping grounds.

The Site was developed prior to August 7, 1996, as evidenced by the Order of Taking, dated August 31, 1981, provided in Appendix H - Lot Documentation.

The following section describes how the proposed work within Previously Developed Riverfront Area meets the performance standards:

10.58(5)(a) Improvement over existing conditions: At a minimum, the proposed work will result in an improvement over existing conditions of the capacity of the Riverfront Area to protect the interests identified in M.G.L. c. 131 § 40 that are applicable to the Project. As noted in Section 4, the applicable interests of the Wetlands Protection Act are protected.

Work within the Riverfront Area will be limited to two (2) new access points be installed for pedestrian use. The construction of the boardwalk and stone path will provide controlled access points to the water's edge. It will assist to limit disturbance by park visitors to the surrounding resource areas and the buffer zone.

In addition, a portion of the land encroached upon by an abutter lies within the riverfront area, approximately 100 SF. The land is paved and utilized as a storage space for utility vehicles and construction equipment. Stormwater runoff from this area flows directly over land and into Mother Brook. The City proposes to reclaim this area and replace it with natural vegetation.

10.58(5)(b): Stormwater management: Stormwater management for the Project has been designed in compliance with the Stormwater Management Standards as outlined in 310 CMR 10.05(6)(k) through (q) and defined in detail in the DEP's Stormwater Management Handbook. The proposed stormwater management system is described in detail in the Stormwater Report, Appendix E - Stormwater Report, and Site Plans, Appendix F - Site Plans, of this Notice.

10.58(5)(c) Proposed work shall not be located closer to the River: Portions of the 25-foot RFA on Site have been previously disturbed. As part of the proposed Project, the new boardwalk and stone path will extend closer to the River in two (2) specified areas. Measures will be taken to reduce the impact the boardwalk and stone path will have on Site.

The stone path will be installed in an area previously degraded, underneath the canopy of existing trees. The individual stones will be installed carefully by hand as to have minimal impact on the RFA. The boardwalk



construction will include the use of helical piles for the footings and wooden slats for the boardwalk surface. The creation of the paths will promote access to the river in two (2) locations rather than prompting pedestrians to walk directly to the river's edge potentially impacting the 25-foot riverfront area overtime. Although a new structure will be permanently located closer to Mother Brook, the goal of the boardwalk installation is to provide long-term protection on the surrounding 25-foot Riverfront area.

10.58(5)(d) Location of proposed work outside the Riverfront Area or toward the Riverfront Area boundary: Most of the proposed work will be located outside the Riverfront area. A small portion of the proposed work will include the installation of a new stone path and boardwalk. The new stone path will be located within previously degraded areas and under the canopy of existing trees. The boardwalk will not be located within previously disturbed Riverfront Area. However, the intention of the stone path and boardwalk is to provide controlled pedestrian access to the water's edge resulting in long-term protection of the remaining RFA on the City's property.

10.58(5)(e) Proposed work shall not exceed the amount of degraded area: The area of proposed work within the RFA will reduce the amount of impervious surfaces. A portion of the paved area encroached upon by an abutter will be reclaimed through planting restoration. The new stone path will be located within the previously degraded RFA areas and under the canopy of existing trees. The work performed will not exceed existing impervious surface areas within the RFA.

The installation of the boardwalk will include the removal up to 1500 sf of vegetation. Although this will increase the non-vegetated areas in proposed conditions, the intention is to provide long-term protection of the RFA with the provision of a controlled access point to Mother Brook. Refer to Table 3 25-foot Riverfront Area Degradation for a breakdown of the areas.

Table 3 25-foot Riverfront Area Degradation

Degradation Classification	Existing Conditions (sf)	Proposed Conditions (sf)
Impervious Surface	262	257
Non-vegetated	2030	3560

The area of degradation is based on the 25-foot Rivefront Area delineated and shown on the Existing Conditions Plan provided in the NOI plan set, *Improvements to Reservation Road Park, dated June 6, 2018,* provided in Appendix F - Site Plans.

10.58(5)(f) Restoration on-site of degraded Riverfront Area notwithstanding the criteria of 10.58(5)(c), (d), and (e): The Project is meeting the Standards of 10.58(5)(c), (d) and (e), therefore this Standard is not applicable.

10.58(5)(g) Mitigation of Riverfront Area: The proposed work within the Riverfront Area will be limited to within the existing degraded areas therefore mitigation within the Riverfront Area is not applicable.

10.58(5)(h) Demonstrate Restoration or Mitigation has been completed: Standard 10.58(5)(f) and (g) are not applicable to meeting, therefore this Standard is not applicable as well.



5.0 SECTION C – OTHER APPLICABLE STANDARDS AND REQUIREMENTS

5.1 RARE WILDLIFE HABITAT

The Site is not located within any areas designated as an Estimated Habitat of Rare Wildlife and a Priority Habitat of Rare Species by the Natural Heritage & Endangered Species Program (NHESP) (Figure 4 – NHESP Map).

5.2 AREAS OF CRITICAL ENVIRONMENTAL CONCERN

According to ACEC Program located on the Department of Conservation and Recreation website, the Site is not located within an Area of Critical Environmental Concern.

5.3 OUTSTANDING RESOURCE WATER (ORW)

The Site is not located within any areas designated as Outstanding Resource Waters (Figure 4 – NHESP Map).

5.4 WETLANDS RESTRICTION ORDERS

The Site is not subject to any Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130 § 105).

5.5 STORMWATER MANAGEMENT

Yes, the Project is subject to provisions of the MassDEP Stormwater Management Standards. These standards have been addressed in the Stormwater Report, Appendix E - Stormwater Report.

6.0 SECTION D – ADDITIONAL REQUIREMENTS

6.1 PLAN SET

The project plans have been provided under a separate cover, *Improvements to Reservation Road Park, dated June* 6. 2018.

6.2 RESOURCE AREA DELINEATION METHODOLOGY

Refer to Appendix D - Resource Area Delineation, for the methodology of delineating the resource areas.

7.0 CONCLUSION

Boston Parks and Recreation Department is seeking Boston Conservation Commission (BCC) approval for Renovations to Reservation Road Park within regulated Wetland Resource Areas. The BCC is also asked to consider



this project as Redevelopment, as defined in 310 CMR 10.4. The proposed work has been designed to avoid, minimize, and mitigate the extent of environmental impacts to the maximum extent practicable. More specifically, the project will:

- Avoid direct impacts to wetland resource areas proximate to the project route.
- Employ sedimentation and erosion controls to avoid secondary impacts to proximate wetland resource areas.
- Reclaim an area of land encroached on by an abutter and restore the land to a natural vegetative state .





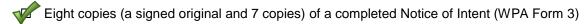
Appendix A BCC NOI FILING CHECKLIST



Checklist for Filing a Notice of Intent with Boston Conservation Commission

In order for the Boston Conservation Commission to effectively process your Notice of Intent, BCC requests that you complete the checklist below and include it with your submission. If you should need assistance please contact Commission staff for an appointment: 617-635-3850 (cc@boston.gov).

To the Conservation Commission:



Eight copies of plans (reduced to 11" X 17") in their final form with engineer's stamp affixed supporting calculations and other documentation necessary to completely describe the proposed work and mitigating measures. Plans must include existing conditions, the proposed project, erosion controls and mitigation measures, and all wetland resource areas and associated buffer zones.

Eight copies of an 8 ½" x 11" section of the USGS quadrangle map of the area, containing sufficient information for the Conservation Commission and the Department to locate the site of the work.

(If applicable) Eight copies the Federal Emergency Management Agency Flood Insurance Rate Map for the project site. FEMA Flood Maps: https://msc.fema.gov/portal.

Determination regarding the Natural Heritage and Endangered Species Program: Review Section C. Other Applicable Standards and Requirements of the Notice of Intent, page 4 of 8, pertaining to wildlife habitat. The Conservation Commission and the Natural Heritage & Endangered Species Program have the maps necessary to make this determination.

(If applicable) A Stormwater Report to document compliance with the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q), including associated drainage calculations for rooftops, parking lots, driveways, etc., for the required design storm events.

Details of the stormwater management system, including: catch basins, oil separating tanks, detention basins, outfalls, sewer connections, etc.

Any photographs related to the project representing the wetland resource areas.

A project narrative describing the following: a brief overview of the entire project, the work proposed within wetland resource areas and/or buffer zones; how the performance standards specific to the wetland resource areas will be met; construction equipment and material involved; and measures to protect wetland resource areas and mitigate impacts.

Electronic copies. Documents may be submitted on CD, via email, or via an email link to downloadable documents.

Abutter Notification, filed concurrently with the Notice of Intent.

(If applicable) Completed BRA Climate Preparedness Questionnaire (for new buildings). This can be completed online at http://www.bostonredevelopmentauthority.org/planning/planning-initiatives/climate-change-preparedness-and-resiliency. Please print the pdf that you will receive via email after completion and include it in your submission.

Updated 1/11/16 Pg. 5

Appendix B ABUTTER NOTIFICATIONS



Notification to Abutters Under the Massachusetts Wetlands Protection Act

In accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, you are hereby notified of the following:

The applicant, Boston Parks and Recreation Department, has filed a Notice of Intent with the Boston Conservation Commission for proposed improvements to Reservation Road Park at 151 Reservation Road, under the Wetlands Protection Act (General Laws Chapter 131, Section 40).

Copies of the Notice of Intent may be examined during regular office hours in the City of Boston Environment Department located in Boston City Hall, Room 709, Boston, MA 02201.

Copies of the Notice of Intent may be obtained by calling Jordan Loffredo of Stantec Planning and Landscape Architecture, at 617-654-6092. You may be charged for the cost of the copy. Stantec Planning and Landscape Architecture P.C. is the representative of the applicant.

Information regarding the date, time, and place of the public hearing may be obtained from the City of Boston Conservation Commission or Stantec Planning and Landscape Architecture P.C.

NOTE: Notice of the public hearing, including its date, time and place will be published at least five (5) days in advance in *The Boston Herald*.

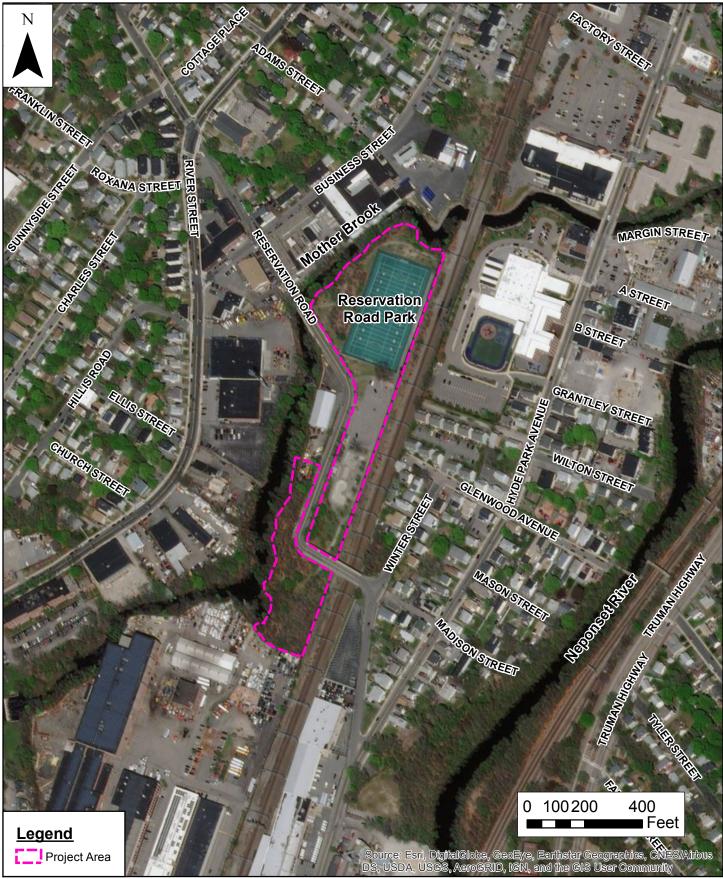
NOTE: Notice of the public hearing, including its date, time and place will be posted in City Hall not less than forty-eight (48) hours in advance.

NOTE: You may also contact your local Conservation Commission or the nearest Department of Environmental Protection Regional Office for more information about this application or the Wetlands Protection Act.

To contact DEP, call:

Northeast Region: 978-694-3200

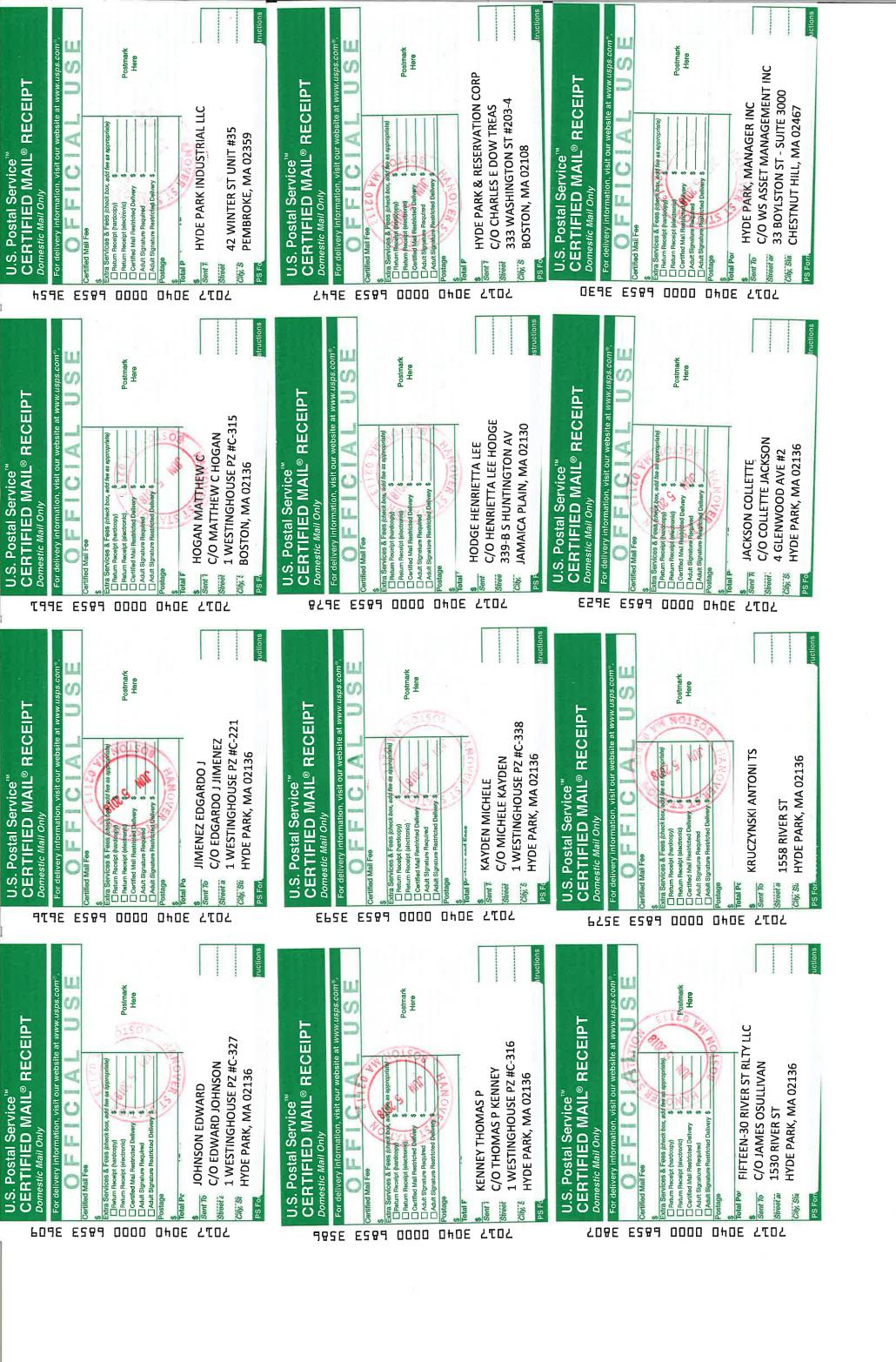
To Contact the Boston Conservation Commission, Call: 617.635.3850

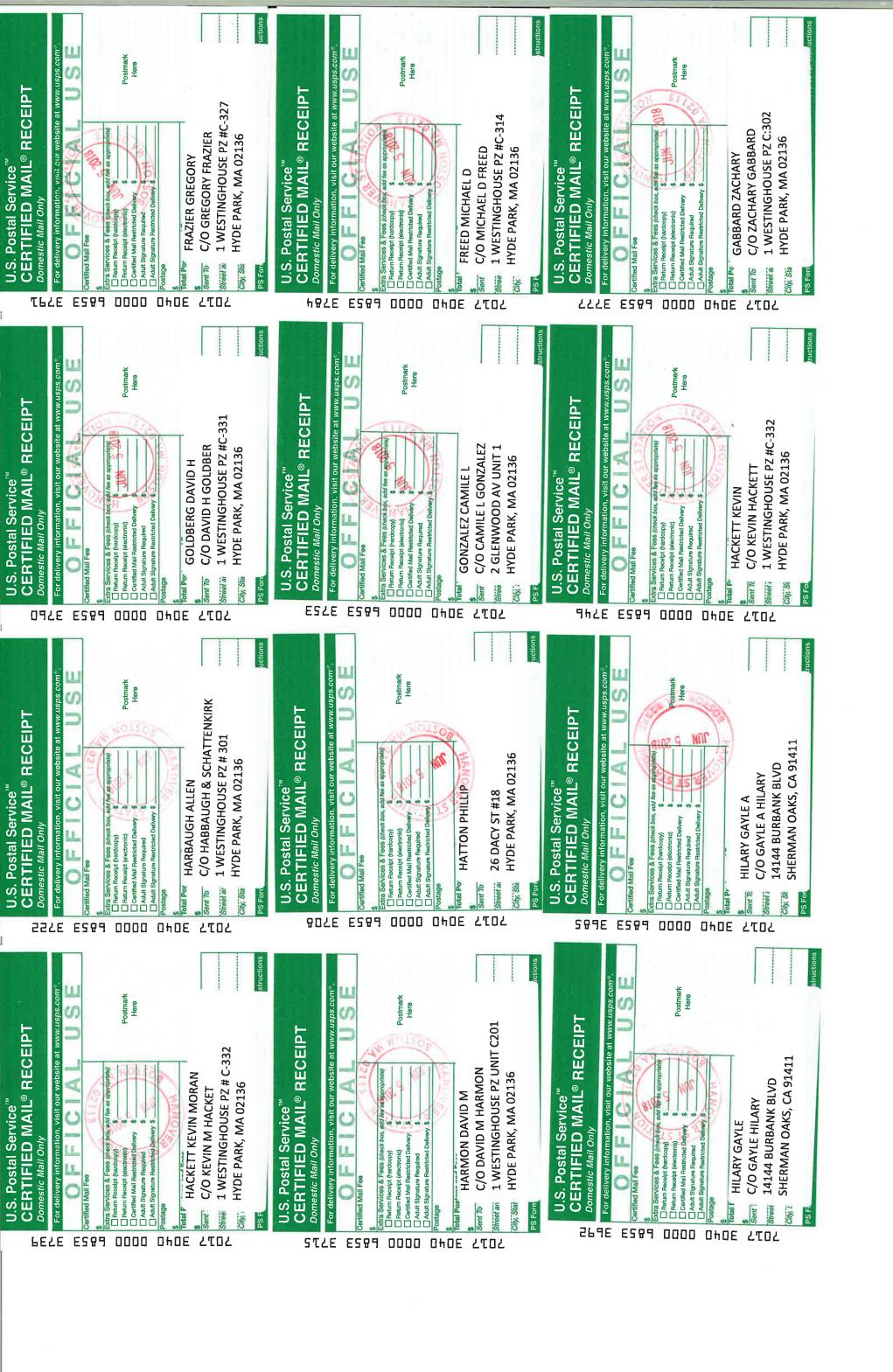


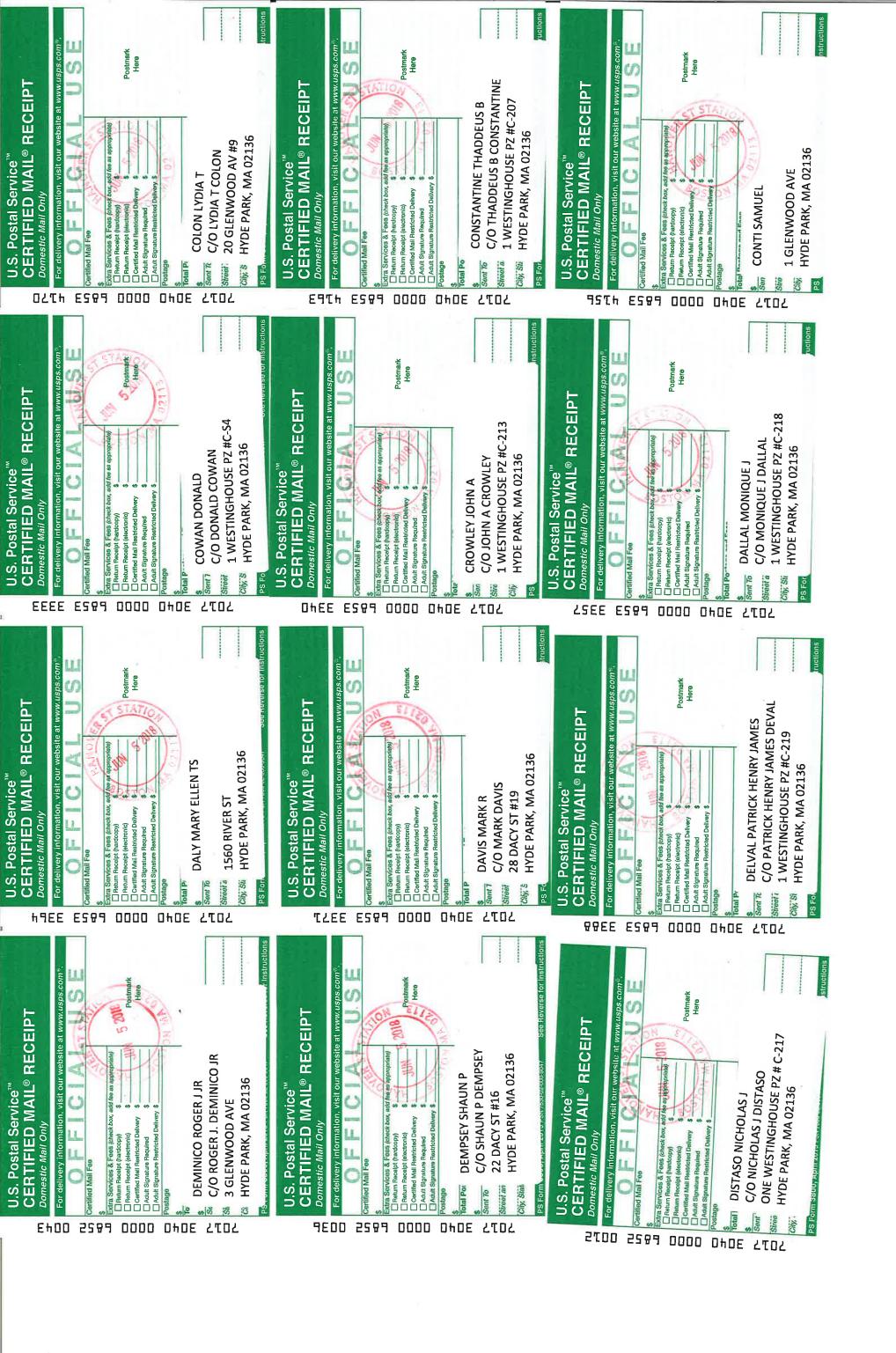


Boston, MA 02114

Figure 2 Locus Map Reservation Road Boston, MA April 2018























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Appendix C SITE PHOTOGRAPHY



SITE PHOTOGRAPHS Reservation Road Park –Boston, Massachusetts



Photo 1: Representative view of the limit of Bank and Mean Annual High Water Line (MAHWL) of Mother Brook at southern limit of the Study Area. Flags A-1 and A-2 are visible in this south-facing view (downstream). (April 20, 2017)



Photo 2: Representative view of the limit of Bank and MAHWL of Mother Brook. Silt-coated leaf litter indicated by red arrow. View facing north (upstream). (April 20, 2017)



Photo 3: Representative view of Mother Brook and an abrupt break in slope at the northern limit of the Study Area. Flags A-55 (foreground) and A-56 are shown. View facing east. (April 20, 2017)



Photo 4: Existing Synthetic Turf Field. (September 20, 2017)



Photo 5: Existing Parking Lot. (September 20, 2017)

Appendix D RESOURCE AREA DELINEATION







To:

Kevin Beuttell

From:

Lori Benoit

Boston (Causeway St), MA Office

Northampton, MA Office

File:

210801455

Date:

May 12, 2017

Reference:

Wetlands Delineation

Reservation Road Park, Hyde Park (Boston), MA

On Thursday, April 20, 2017, Stantec Consulting Services Inc. (Stantec) conducted a site visit to the Reservation Road Park, located in the Hyde Park neighborhood of Boston, Massachusetts, to delineate wetlands and waterways subject to protection under the Massachusetts Wetlands Protection Act and regulations (WPA; 310 CMR 10.00), and Sections 401 and 404 of the federal Clean Water Act (CWA). This memorandum describes the areas included in the wetland delineation (Study Area), the wetland delineation field methods, and provides a summary of field-delineated waterways and jurisdictional natural resource boundaries identified within the Study Area.

GENERAL SITE DESCRIPTION

The Study Area is bounded to the east by a commuter rail line, by a commercial property to the south, and to the west and north by Mother Brook, a perennial watercourse that borders the sides of the Study Area. Approximately two-thirds of the Study Area consists of developed lands including parking areas, an athletic field, and a skateboard park. The southern portion of the Study Area, south of Reservation Road, is characterized by an undeveloped forested area.

Mother Brook flows north along the western limit of the Study Area for approximately 1,000 feet before passing under Reservation Road and turning northeast and east to flow under the rail line. The slopes leading to Mother Brook as well as the undeveloped southern portion of the Study Area, are dominated by invasive species, including black locust (Robinia pseudoacacia). Asiatic bittersweet (Celastrus orbiculatus), and honeysuckle (Lonicera spp.). Native species observed include black cherry (Prunus serotina), greenbrier (Smilax rotundifolia), and poison ivy (Toxicodendron radicans).

The U.S. Department of Agriculture (USDA) Web Soil Survey maps for the Study Area identify the soil type within the Study Area as wet substratum Udorthents (disturbed soils where the upper material has been removed, filled, or graded), with 0 to 3 percent slopes.

WETLAND DELINEATION METHODS

The wetland delineation was conducted using the methodologies outlined in the WPA, the Massachusetts Department of Environmental Protection's (MassDEP) <u>Delineating Bordering Vegetated Wetlands Under the Massachusetts Wetlands Protection Act: A Handbook; the U.S. Army Corps of Engineers' (Corps) 1987 <u>Wetlands Delineation Manual</u>; and the <u>Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region</u> (Version 2.0, January 2012). The boundaries of field-delineated jurisdictional wetland resources identified within the Study Area were flagged with sequentially labeled flagging tape.</u>



May 12, 2017 Kevin Beuttell Page 2 of 2

Reference: Wetlands Delineation

The Rivers School, Weston, MA

DESCRIPTION OF FIELD-DELINEATED RESOURCE AREAS

Jurisdictional boundaries delineated by Stantec include inland Bank and Mean Annual High Water Line (MAHWL) associated with Mother Brook. Field-delineated jurisdictional areas are described in the following sections. Representative site photographs are provided in Attachment A.

INLAND BANK/MEAN ANNUAL HIGH WATER LINE OF MOTHER BROOK

Blue wetland flags A-1 through A-57 delineate inland Bank and the MAHWL of Mother Brook, which are coincident within the Study Area. Limits of Bank/MAHWL were identified by observation of one or more field characteristics such as water-stained leaves, an abrupt break in slope, and lack of vegetation near the water's edge. Pursuant to the Wetlands Protection Act regulations, Buffer Zone associated with Bank of Mother Brook extends 100 feet landward from the A-series flags.

OTHER RESOURCE AREAS

RIVERFRONT AREA

Mother Brook is shown as perennial on the current United States Geological Survey map for the Study Area. Pursuant to the WPA regulations, Riverfront Area extends 25 feet landward from the MAHWL as delineated by the A-series flagging. The outer limits of Riverfront Area were not delineated in the field.

BORDERING LAND SUBJECT TO FLOODING (BLSF)

According to Federal Emergency Management Agency (FEMA) maps on the MassGIS website, the limit of 100-year flooding (i.e., Bordering Land Subject to Flooding; BLSF) within the Study Area is shown as a narrow band, ranging from approximately 10-50 feet wide, located along Mother Brook, south of Reservation Road. The 100-year flood zone does not appear to occur within the portion of the the Study Area north of the crossing of Reservation Road over Mother Brook. The regulated floodway, zone AE, appears to be largely coincident with the field delineated limit of Bank/MAHWL of the brook. The limits of BLSF were not delineated in the field.

Sincerely,

Stantec Consulting Services Inc.

Lori Benoit, Ph.D.

Project Manager, Environmental Services

Phone: (413) 387-4516 Lori.Benoit@stantec.com

Attachment: Site Photographs c. Simon Hildt - Stantec

Appendix E STORMWATER REPORT

The Stormwater Report has been provided under a separate cover.



Appendix F SITE PLANS

Plan Title	Drawing No.	Date
Cover	L1.	06/06/2018
Reference Site Plan	L2.	06/06/2018
Existing Conditions Plan South	L3.1	06/06/2018
Existing Conditions Plan Central	L3.2	06/06/2018
Existing Conditions Plan North	L3.3	06/06/2018
Resource Area Impact Plan	L4.0	06/06/2018
Site Preparation Plan South	L4.1	06/06/2018
Site Preparation Plan Central	L4.2	06/06/2018
Site Preparation Plan North	L4.3	06/06/2018
Layout, Materials, Planting, and	L5.1	06/06/2018
Grading Plan South		
Layout, Materials, Planting, and	L5.2	06/06/2018
Grading Plan Central		
Layout, Materials, Planting, and	L5.3	06/06/2018
Grading Plan North		
Drainage and Utility Plan Central	L6.1	06/06/2018
Drainage and Utility Plan North	L6.2	06/06/2018
Utility Details 1	L7.1	06/06/2018
Utility Details 2	L7.2	06/06/2018
Site Details 1	L9.	06/06/2018
Site Details 2	L10.	06/06/2018
Site Details 3	L11.	06/06/2018
Site Details 4	L12.	06/06/2018

The *Improvements to Reservation Road Park* plan set, dated June 6, 2018, have been provided under a separate cover.



F.6

Appendix G FIGURES

- A.1 USGS
- A.2 LOCUS MAP
- A.3 DEP PRIORITY RESOURCE MAP
- A.4 NHESP MAP
- A.5 FEMA FLOOD ZONE MAP
- A.6 SOILS MAP
- A.7 WATER SUPPLY MAP



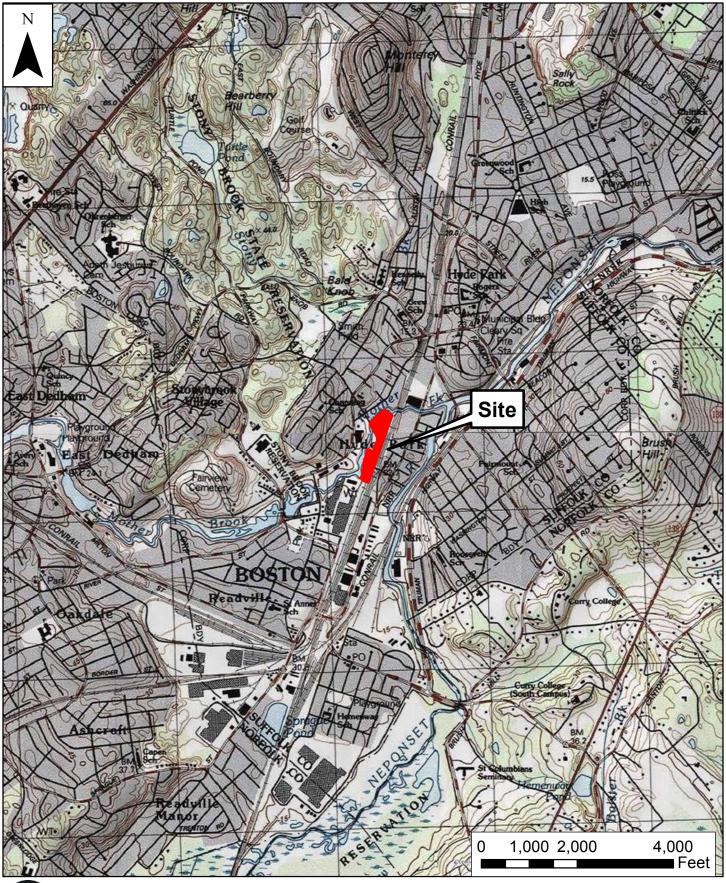
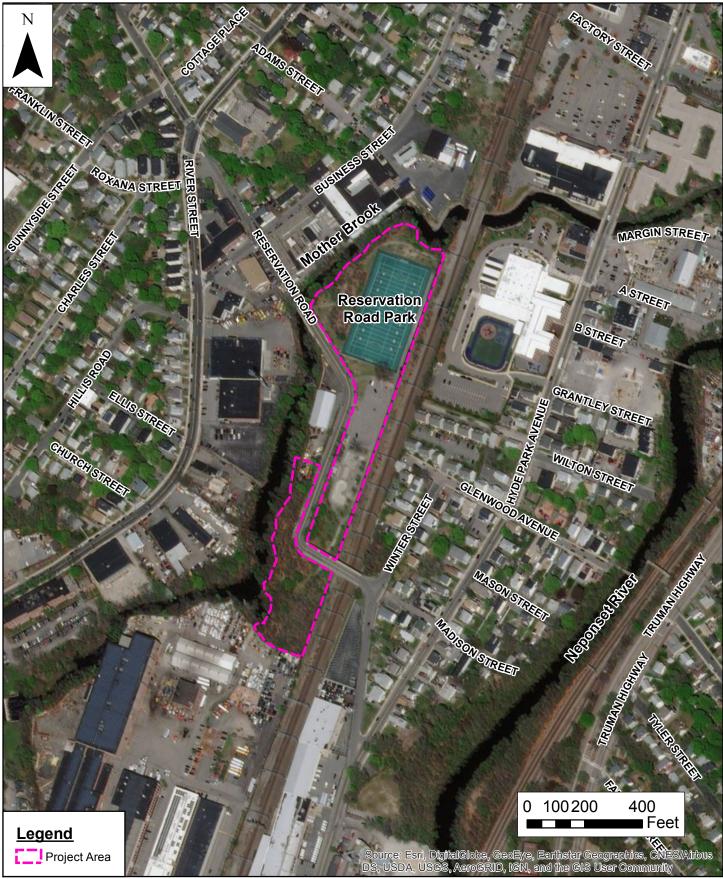




Figure 1 USGS Topographic Map Reservation Road Boston, MA April 2018





Boston, MA 02114

Figure 2 Locus Map Reservation Road Boston, MA April 2018





Figure 3 DEP Priority Resource Map Reservation Road Boston, MA April 2018





Figure 4 NHESP Map Reservation Road Boston, MA April 2018





Figure 5 FEMA Flood Zones Map Reservation Road Boston, MA April 2018

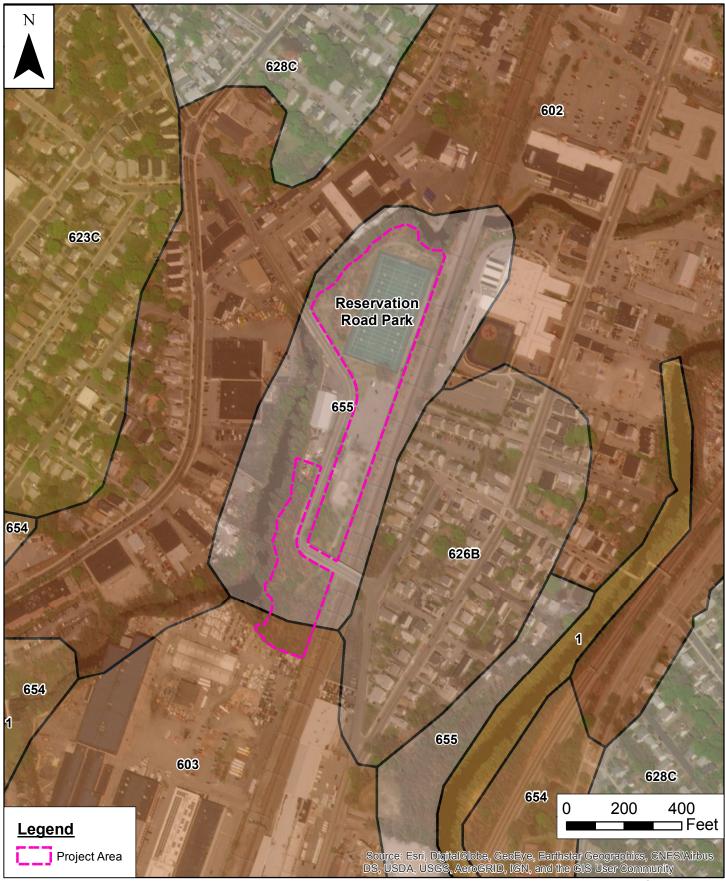




Figure 6 Soils Map Reservation Road Boston, MA April 2018





Boston, MA 02114

Figure 7 Water Supply Map Reservation Road Boston, MA April 2018

Appendix H LOT DOCUMENTATION



Suffolk County - 20/20 Perfect Vision i2 Document Detail Report

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Doc#	Document Type	Town	Book/Page	File Date	Consideration	
Бося	Document Type	10111	BOOK! age	The Date	Consideration	
220	ORDER OF TAKING		09831/380	08/31/1981	0.00	
Property-S	Street Address and/or Desc	ription				
Grantors						
MITCHELL	MITCHELL EUGENE W, FLATHER NEWELL, M & DR REALTY TRUST, BOSTON CITY OF					
Grantees						
References	s-Book/Pg Description Re	corded Year				
09201/95	DED 1979					
Registered	Land Certificate(s)-Cert#	Book/Pg				

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220 **6/3 (/B)** 3.26 TH

ORDER OF TAKING

WHEREAS, the Director of Public Facilities has given notice to the Conservation Commission that he proposed to recommend the acquisition for conservation purposes of 2.8 acres of land in the Hyde Park District of the City of Boston; and

WHEREAS, on the 24th day of June, 1981, the Public Pacilities Commission voted to execute this Order of Taking so the aforementioned site could be acquired;

NOW, THEREFORE, this Commission, being of the opinion that public convenience and necessity so requires, does hereby order that the following described parcels of land be taken in fee in the name of the City of Boston for conservation purposes, inclusive of trees and structures standing upon or

A certain parcel of land in the Hyde Park District of the City of Roston, Commonwealth of Massachusetts, supposed to belong to Eugene W. Mitchell and Newell Plather, Trustoes of the M & P Realty Trust, and more particularly described as that certain parcel of land with buildings and improvements theroon in the City of Boston, County of Suffolk, in said Commonwealth, shown within yellow lines on map entitled: "New York, New Haven and Hartford Pailroad Real Estate and Right of Way Department Land in Boston, Mass., to be conveyed to Condit Electrical Manufacturing Co. Scale 1° = 100' February 1925, recorded with Suffolk Deeds, Book 4664, Page 488, and bounded and described as

Beginning at a point in the thread of the channel of Mother Brook, which point. is distant one hundred twenty and sixty-four hundredths (120,64) feet westerly, measured at right angles, from station 1831 + 35.97 of the monumented base line of the Boston and Providence Railroad; thence

SOUTHERLY

bounding easterly on land of the Old Colony Railroad in a line parallel to said monarched base line, two hundred five (205) feet to a point distant one hundred twenty and sixty-four hundredths (120.64) feet easterly, measured at right angles, from said monumented base line; thence running

WESTERLY

bounding southerly on land of the Old Colony Railroad in a line at right angles to said monumented base line, fifty-nine and thirty-six hundredths (59.36) feet to a point distant one hundred eighty (180) feet westerly, measured at right angles, from station 1829 + 30.97 of said monumented base line; thence

SOUTHERLY

bounding easterly on land of Old Colony Railroad in a line parallel to said monumented base line, four hundred thirtynine and six tenths (439.6) feet to a point in the easterly line of Glenwood Avenue, which point is distant one hundred eighty (180) feet westerly, measured at right angles, from station 1824 + 91.37 of said monumented base line; thence การการเกรา

in a curve to the left of radius one hundred forty (140) feet, bounding southwesterly on said Glemwood Avenue, one hundred twenty-four and ninety-five hundredths (124.95) feet to a point; thence running

NORTHWESTERLY

bounding southwesterly on said Glenwood Avenue, two hundred ninety-three (293) feet, more or less, to the thread of the channel of Mother Brook; thence running

and SOUTHEASTERLY

NORTHEASTERLY in said thread of the channel of Mother Brook, six hundred thirty (630) feet, more or less, to the point of beginning;

Containing one hundred twenty-six thousand two hundred and ninety (126,290) square feet, more or less.

Return to:
Paul Roche
Public Facilities Department
147 MIN Street
Boston, MA 02109

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Being the same premises conveyed by a deed from Albert D. Abramson to Eugene W. Mitchell and Newell Flather, Trustees of the M & F Realty Trust dated June 28, 1979 and recorded with Suffolk Deeds in Book 9201 at Page 95.

Also being the same premises conveyed to ALBERT D. ABRAMSON by Allis Chalmers Corporation, formerly Allis-Chalmers Manufacturing Company and recorded with Suffolk County Registry of Deeds in Book 8680, Page 306.

PUBLIC PACILITIES COMMISSION

Approved as to Form:

Corporation counsel Harold Carroll

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THE UNDERSIGNED HEREBY CERTIFIES THAT SHE IS the Secretary of the Public Facilities Commission, and that at a meeting of the said Commission, duly called and held on Wednesday, June 24, 1981, whereat Commissioner Stuart E. Narwell and Commissioner Robert J. Ryan, being a majority of the Commission, were present, it was voted

"To execute the Order of Taking dated June 30, 1981 of approximately 2.8 acres of land, located at Reservation Road and Nother Brook in the Hyde Park district of the City of Boston, now owned by Eugene W. Mitchell and Newell Flather, Trustees of the M 5 F Realty Trust of 1 Boston Place, Boston, Massachusetts, said land to be used for Conservation Commission purposes; and

FURTHER VOTED: That the undermentioned be awarded the sum of money set against their name as compensation for damages sustained in their estate by the taking of said propoerty by this Commission for conservation purposes:

OWNER

MORTGAGEE

AWARD OF DAVIAGES

CITY SHARE OF TAXES

M & F Realty Albert D. Abramson Trust

\$140,949

NONE."

Latricia a. Manning



Kevin H. White, Mayor/PUBLIC FACILITIES DEPARTMENT/147 Milk Street/Boston, MA 02109