

# 85 Pinckney St

Boston, MA

## ZONING DIMENSIONAL REGULATIONS

ZONING DISTRICT H-2-65	Any Dwelling/Other	(E) Any Dwelling/Other	(N) Any Dwelling/Other
TYPE OF USE	Residential	Residential	No change
LOT SIZE	None/None	1,740 SF	No change
LOT AREA (Min for add dwelling)	None/None	7,501 SF (E) Floor Area	No change
LOT WIDTH (Min)	None/None	24.0'	No change
GROSS FLOOR AREA		7,143 SF	7,388SF
FAR (Max)	2.0/2.0	NC, 4.11	NC, 4.25
HEIGHT OF BUILDING (Stories)	None/None	6	No change
HEIGHT OF BUILDING (Feet)	65.0'/65.0'	NC, 67.8'	No change
USABLE OPEN SPACE (Min per dwelling)	150/None	416 SF	No change
FRONT YARD	20.0'/20.0'	NC, 0.0'	No change
SIDE YARD	0.0'/0.0'	0.0'	No change
REAR YARD	10.0'+L/20	NC (Invaded by ell)	No change

NC\*\* = Existing Non-Conforming Condition



## Project Team

**OWNER**  
 Sir Peter Wood  
 Rick Burns, Owners Representative  
 85 Pinckney Street  
 Boston, MA, 02114  
 Phone: 561-820-1400  
 Email: rick@davisgeneralcontracting.com

**ARCHITECT**  
 Meyer & Meyer Architects, Inc.  
 AIA: Adam Gilmore  
 396 Commonwealth Avenue  
 Boston, MA 02215  
 Phone: 617-266-0555  
 Email: agilmore@meyerandmeyerarchitects.com

**INTERIOR DESIGNER**  
 Marc - Michaels  
 AIA: Rachel Cruz  
 720 West Morse Boulevard  
 Winter Park, FL 32789  
 Phone: 407-629-0441 x3137  
 Email: rachelo@marc-michaels.com

**STRUCTURAL ENGINEER**  
 Webb Structural Services  
 AIA: Dan Webb  
 670 Main Street  
 Reading, MA 01867  
 Phone: 781-779-1330  
 Email: dan@webbss.net

**MECHANICAL ENGINEER**  
 Sun Engineering  
 AIA: Sean Fennessy  
 491 Maple Street  
 Suite 209  
 Danvers, MA 01923  
 Phone: 978-777-7765  
 Email: sean@sunengineering.net

**Fire Protection Engineer**  
 Corneliusen Consulting Inc.  
 AIA: Joel Corneliusen  
 Phone: 781-248-7497  
 Email: joel@jpeconsulting.com

## 780 CMR BUILDING CODE (IBC2015) & MA AMENDMENTS

CODE REFERENCE	CODE DESCRIPTION	EXISTING CONDITION	PROPOSED CONDITION
521 CMR 9.2.1, 9.4.	Renovation and Reuse exempt from Group I Dwelling Units and Group II Dwelling Units	Contains less than 20 units	1 unit, no change
521 CMR 10.1	Public and Common Areas for existing buildings with less than 12 units not required to be accessible	Contains less than 12 units	1 unit, no change
780 CMR 34 2.02	Type of Addition, Alteration, or Repair		Interior alteration
780 CMR 34 301.2	Prescriptive Compliance Method		Prescriptive Compliance Method
780 CMR 310.1	Use Group	R-3	R-3, no change
780 CMR Table 503	Height Limitations Stories *	6 stories	6 stories, no change
780 C 3	Height Limitations	67.8'	67.8', no change
780 CMR 504.2	Area Limitations	1361 sf (R-2 24,000 sf)	1361 sf, no change
	Sprinkler Height Increase +20ft		
	Sprinkler Height Increase + 1 Story		
780 CMR Table 601	Building Type	III B	III B, No change
	Primary structural frame	0	1
	Bearing Walls EXT	2	2
	Bearing Walls INT	0	0
	Non-Bearing walls and partitions INT	0	0
	Floor Construction	0	1
	Roof Construction	0	0
780 CMR Table 602	Fire Separation X<5c	1	1
	Fire Separation 5<X<10	1	1
	Fire Separation 10<X<30	1	1
	Fire Separation X<=30	0	0
780 CMR 903.3.1.1	NFPA 13 Sprinkler System	NA**	13
780 CMR 903.3.3.2	Quick Response or Residential automatic sprinklers required.	NA**	Yes

\* Group R limited to 75ft and 5 stories  
 \*\*NA = Non- Applicable

**MEYER & MEYER, INC.**  
 ARCHITECTURE • INTERIORS  
 396 COMMONWEALTH AVENUE BOSTON, MASSACHUSETTS 02215



MMXIX

Beacon Hill Architectural Commission Application Amendment

August 28, 2019

## LOCATION MAP

Boston, Massachusetts





Project:  
**85 Pinckney St**

85 Pinckney Street  
Boston, MA

Issue Dates and Revisions:

Permit Set	10/23/2018
Bid Set	11/01/2018
50% CD Set	12/12/2018
100% CD Set	01/11/2019
1 ASI-001	02/14/2019

General Notes:

General Contractor shall make all Subcontractors and Suppliers aware of the requirements of these notes.  
All work shall be performed in compliance with all applicable Local, State and National Building, Life Safety and Electrical Codes.

General Contractor shall be responsible for securing all permits as necessary for the completion of work shown throughout the Contract Documents.

General Contractor shall lay out in the field the entire work to verify dimensional relationships before constructing any part, and shall verify all existing conditions and locations before proceeding.

Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the required removal of completed work at General Contractor's cost, if a discrepancy which could have been discovered causes modifications to the plans.

General Contractor shall coordinate the dimensional requirements between the work of the various trades.

Any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the classifying or specifying of a product, material or means of assembly is to be pointed out to the Architect immediately.

Drawings shall not be scaled for dimensions and/or sizes. Owner and Architect assume no responsibility for use of incorrect scale.

Regardless of whether or not an item is shown or specified, General Contractor shall provide and item if it is necessary for the proper installation or function of an item shown or specified. Suppliers and Subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to building.

All dimensions to interior/exterior walls indicated are to face of stud wall or concrete/m.u. unless noted otherwise.

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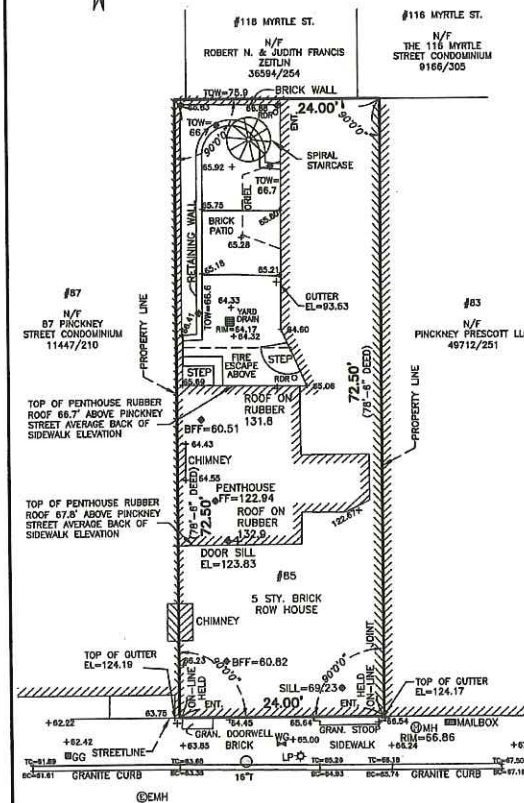
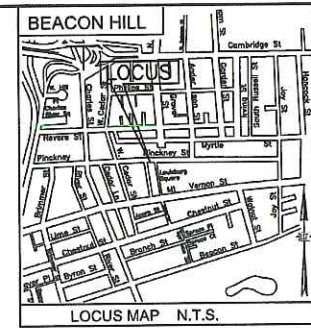
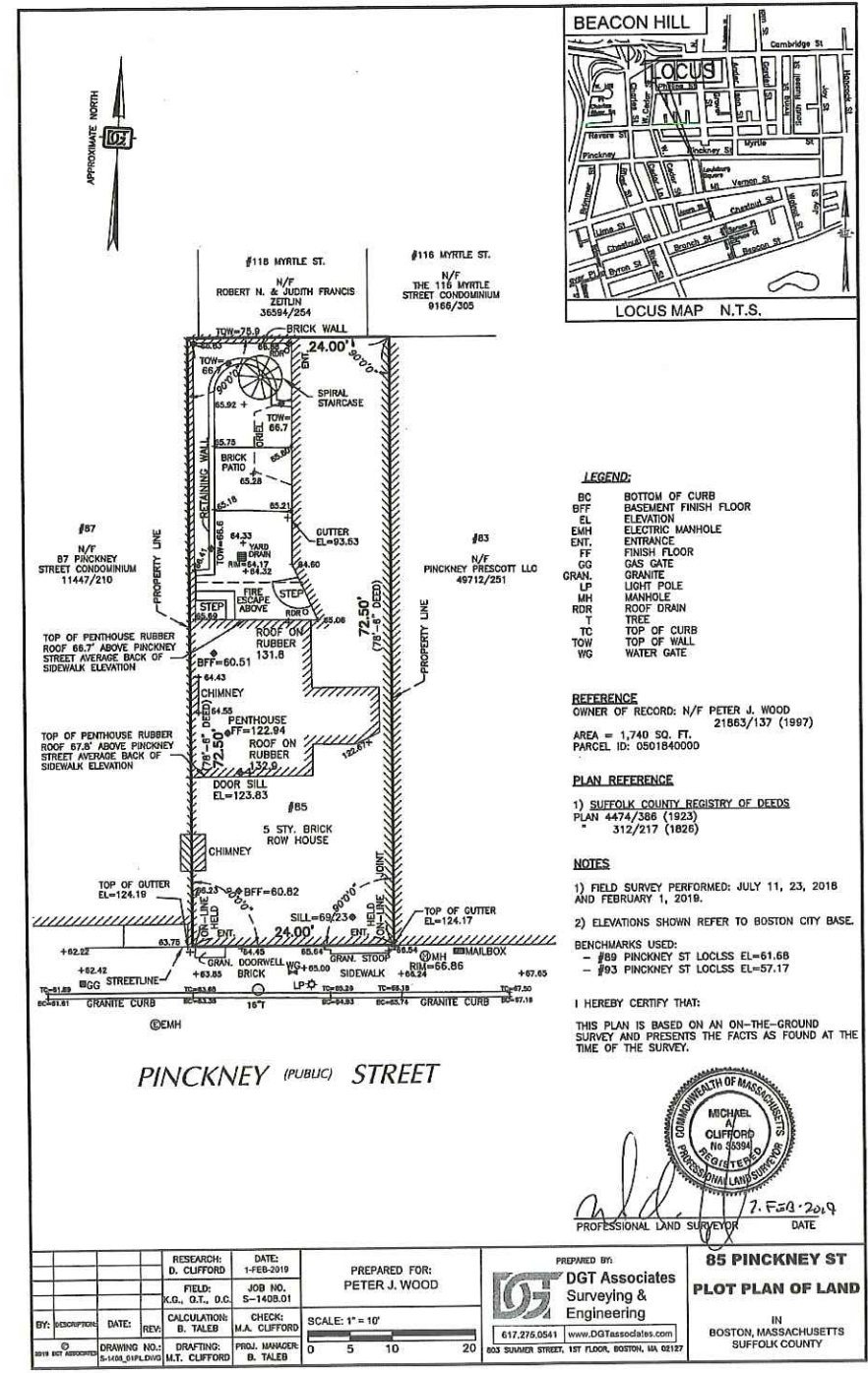
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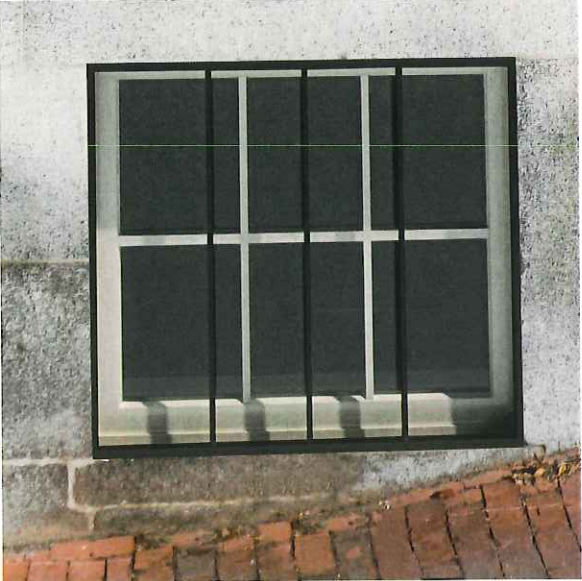
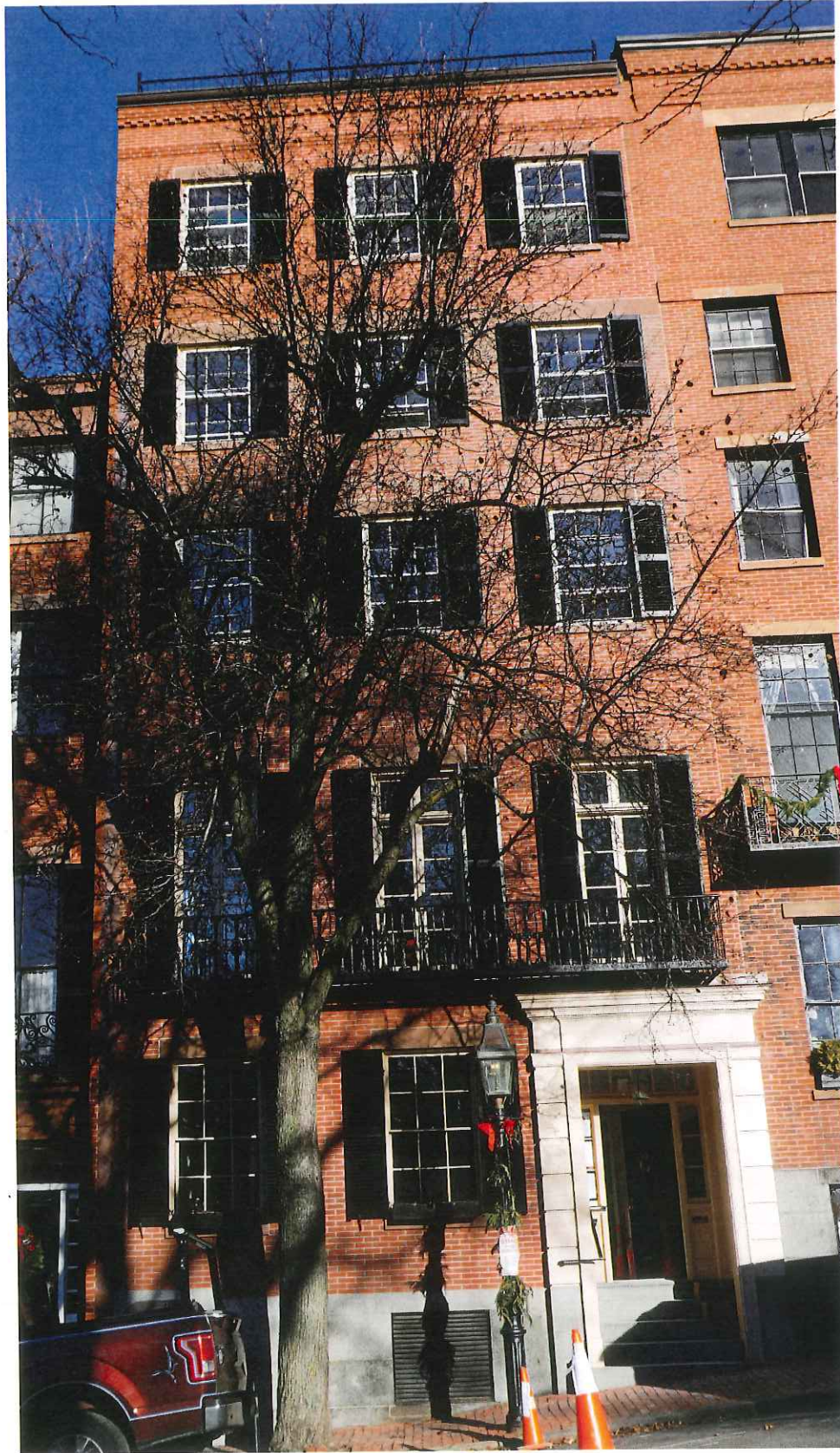
Drawing Title:  
**Site Survey**

Drawn: \_\_\_\_\_ Author  
Checked: \_\_\_\_\_ Checker  
Project Number: 85740  
Date:  
Drawing Number:

**A0.00**





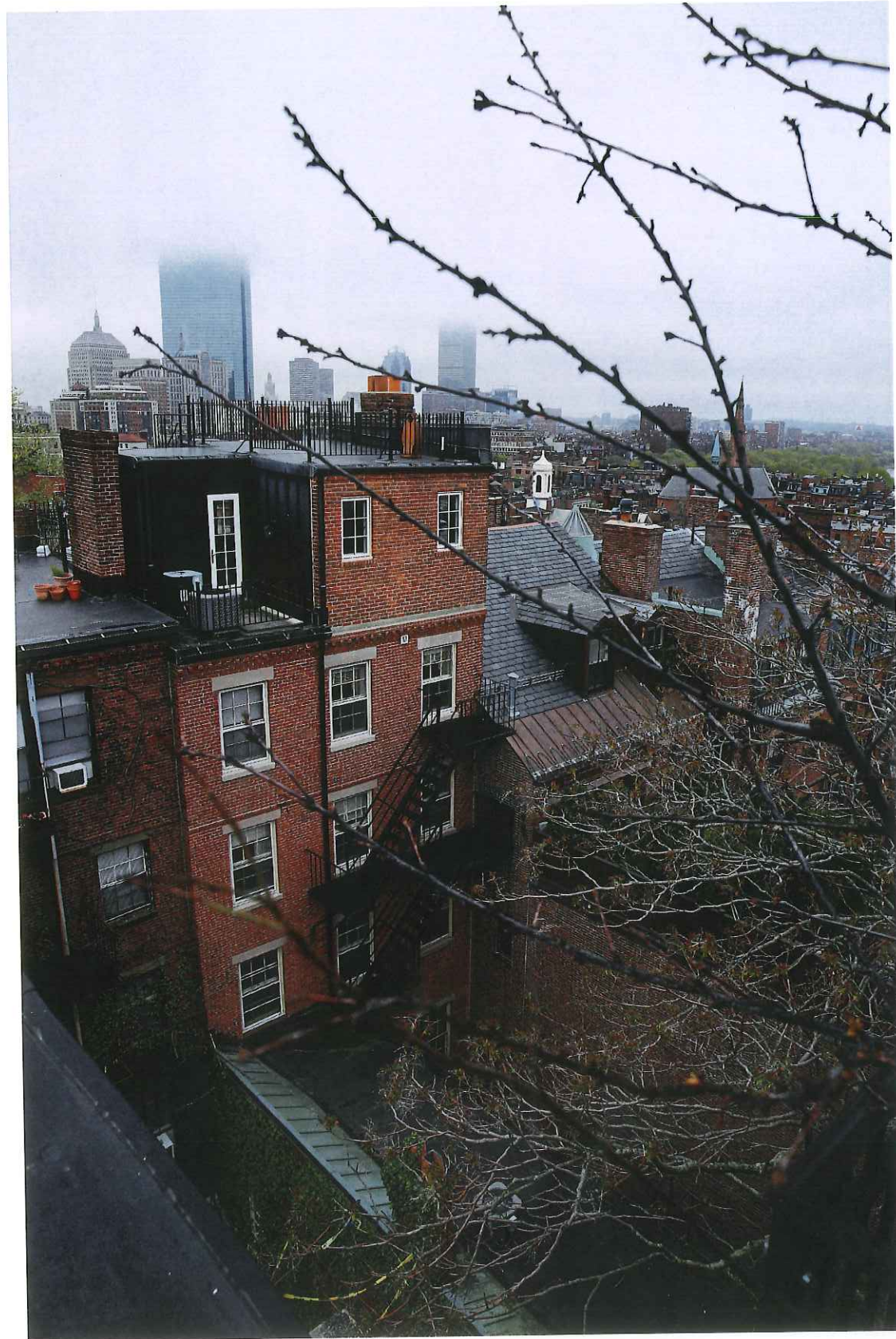


Proposed



Existing





Existing Rear Elevation

04/30/19  
85 Pinckney St  
85 Pinckney Street Boston, MA

MEYER & MEYER  
INC  
ARCHITECTURE & INTERIORS  
300 Commonwealth Avenue  
Boston, Massachusetts 02115  
617 266 0333  
www.meyer-meyer.com



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Registration:



Drawing Title:  
**Existing Building Elevations**

Drawn: \_\_\_\_\_ Author  
Checked: \_\_\_\_\_ Checker  
Project Number: 85740  
Date:  
Drawing Number:

**A2.00**

Roof @ Front  
132' - 10 13/16"

Sixth Floor SF  
122' - 10 5/16"

Fifth Floor SF  
111' - 6 5/16"

Fourth Floor SF  
102' - 5 5/16"

Third Floor SF  
92' - 0 5/16"

Second Floor SF  
79' - 11 13/16"

First Floor SF  
69' - 2 3/4"

Basement Slab  
60' - 9 13/16"





Project:  
**85 Pinckney St**  
85 Pinckney Street  
Boston, MA

Issue Dates and Revisions:

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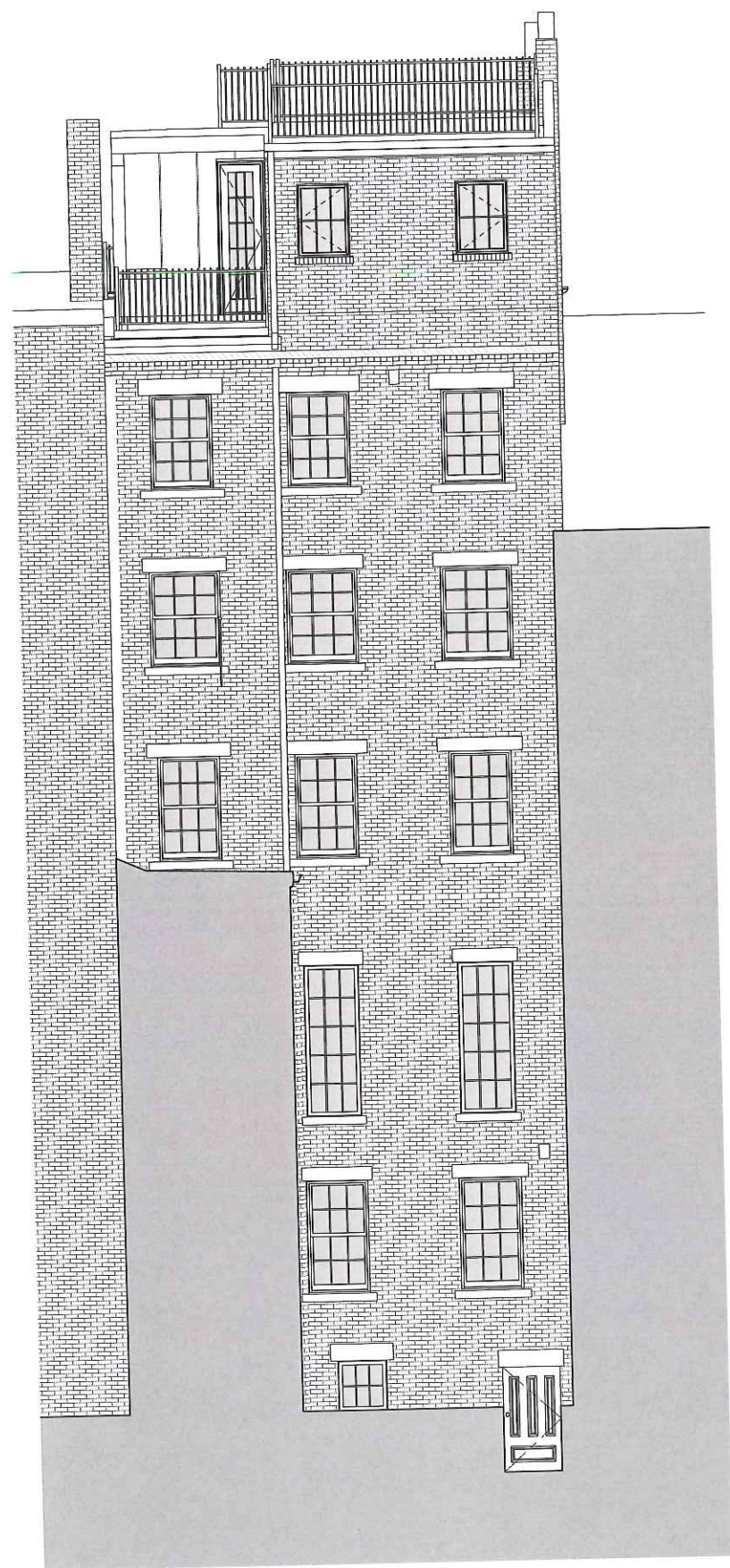
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**Existing Building Elevations**

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Date:  
Drawing Number:

**A2.10**





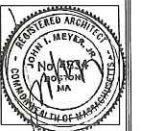
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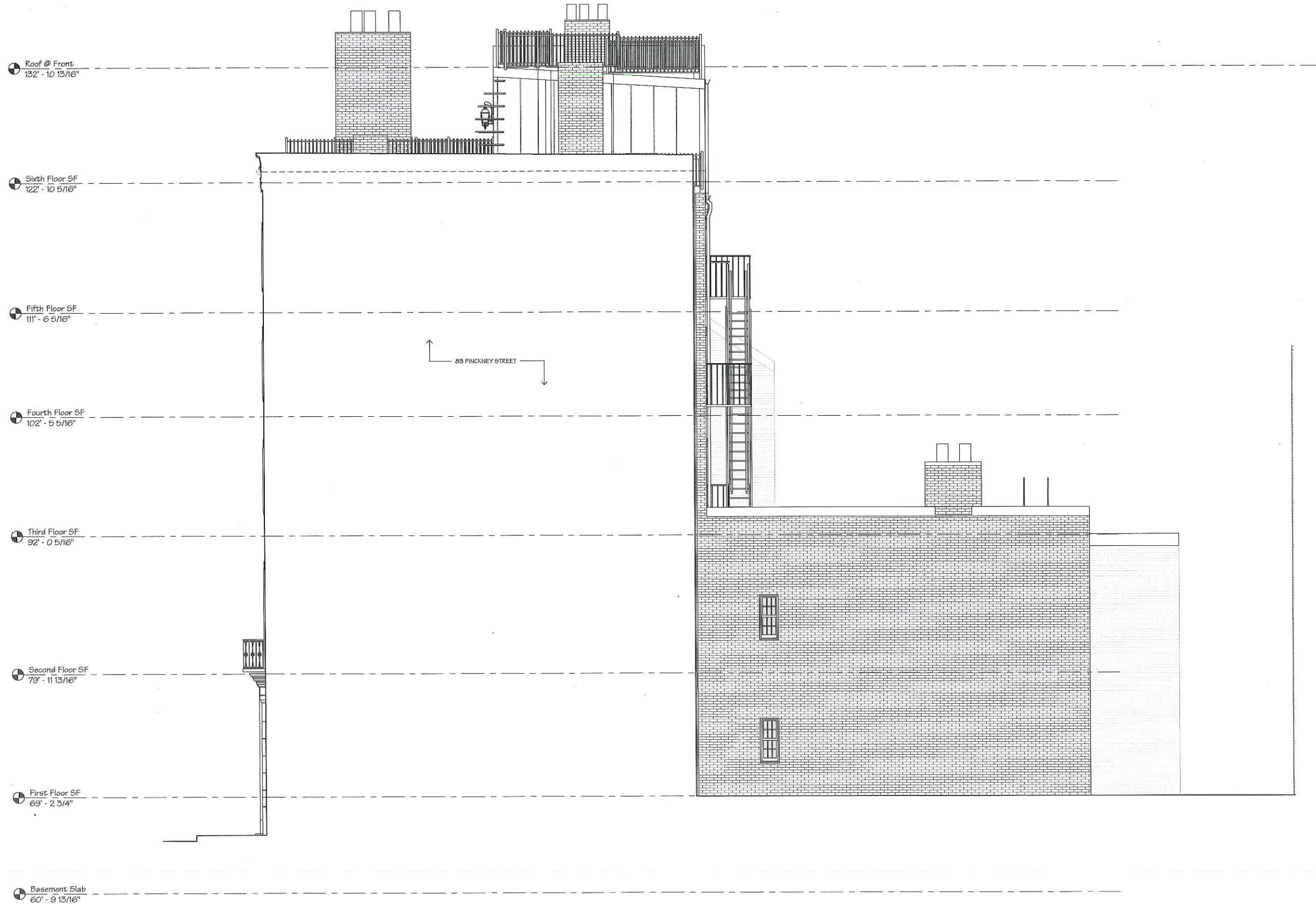
Registration:



Drawing Title:  
**Existing Building  
Elevations**

Drawn: Author  
Checked: Checker  
Project Number: 85740  
Date:  
Drawing Number:

**A2.20**



Roof @ Front  
132' - 10 13/16"

Sixth Floor SF  
122' - 10 5/16"

Fifth Floor SF  
111' - 6 5/16"

Fourth Floor SF  
102' - 5 5/16"

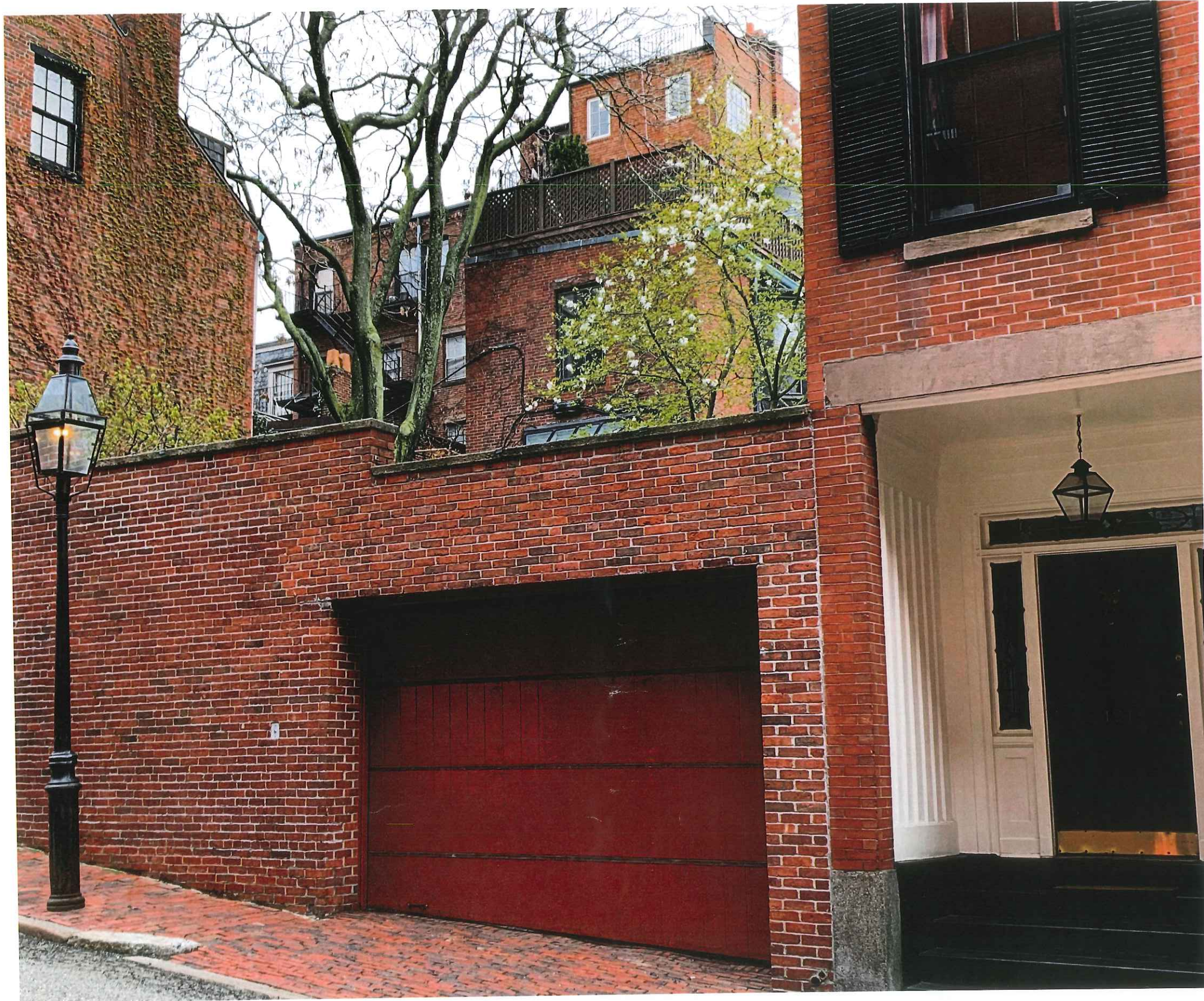
Third Floor SF  
92' - 0 5/16"

Second Floor SF  
79' - 11 13/16"

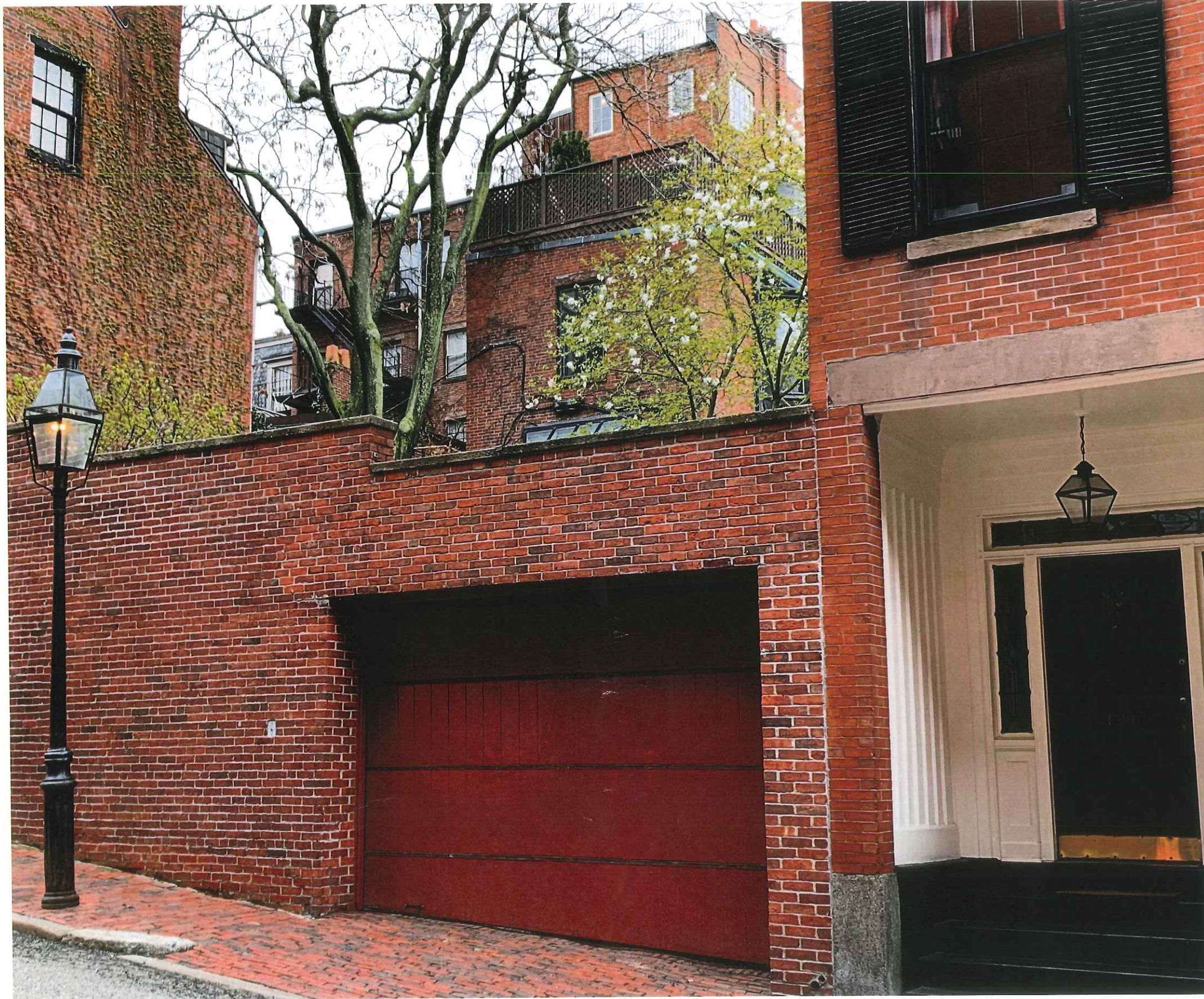
First Floor SF  
69' - 2 3/4"

Basement Slab  
60' - 9 13/16"









04/29/19  
85 Pinckney St  
85 Pinckney Street Boston, MA

Current Proposal of View From Myrtle Street

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Roof @ Front  
132' - 10 13/16"

Sixth Floor SF  
122' - 10 5/16"

Fifth Floor SF  
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Fourth Floor SF  
102' - 5 5/16"

Third Floor SF  
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Second Floor SF  
79' - 11 13/16"

First Floor SF  
69' - 2 3/4"

Basement Slab  
60' - 9 13/16"



ALL EXISTING SHUTTERS TO BE REPAINTED, COLOR TO MATCH EXISTING  
EXISTING METAL BALCONY TO BE REPAINTED, COLOR TO MATCH EXISTING

NEW GAS BEVOLO FRENCH QUARTER YOKE BRACKET LIGHT FIXTURE

ALL EXISTING WOOD AT ENTRY TO BE REPAINTED, COLOR TO MATCH EXISTING

NEW S.A. BAXTER DOOR HARDWARE; POLISHED BRASS

NEW DELTANA MAIL SLOT; POLISHED BRASS

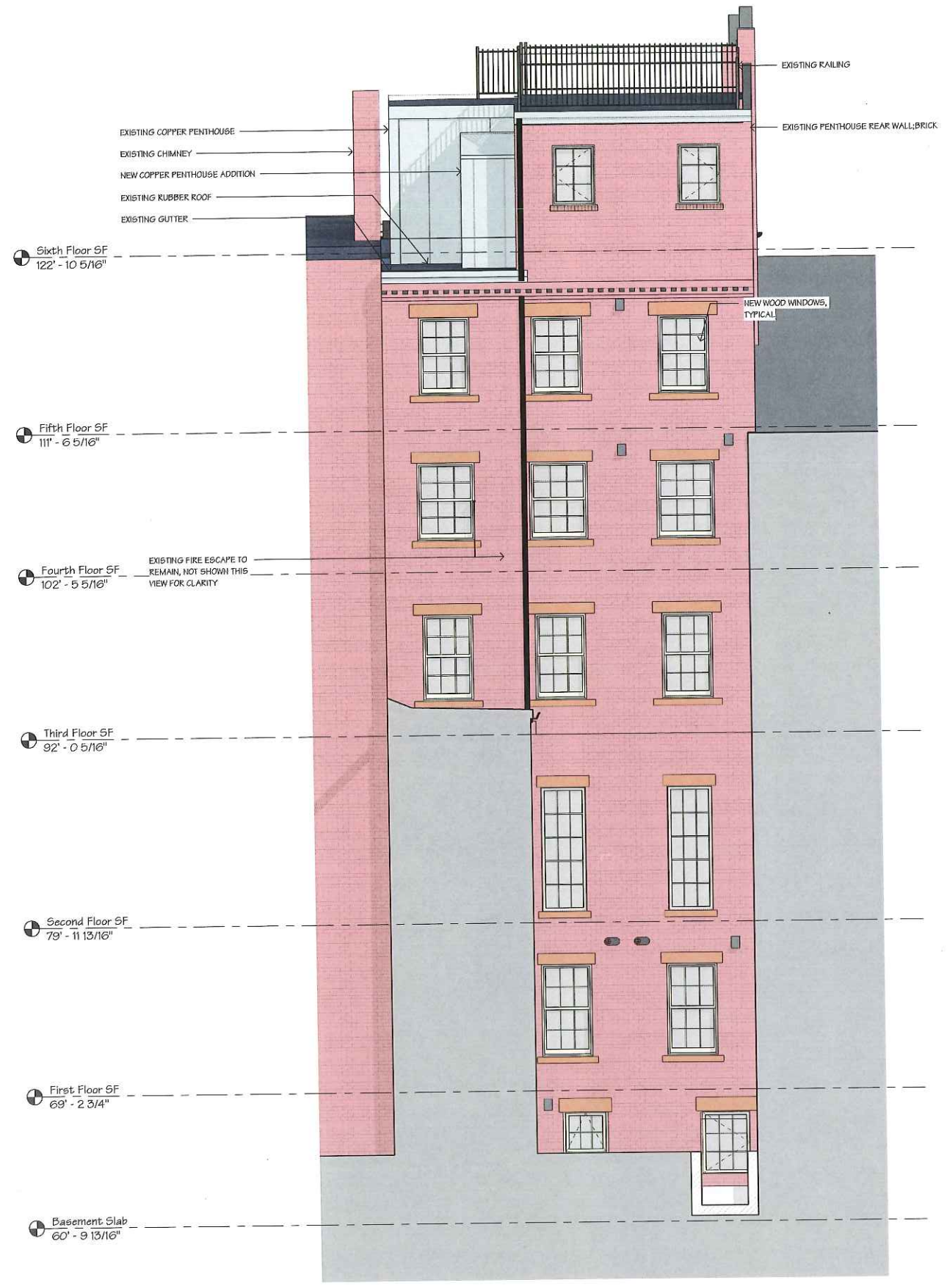
NEW FIRE DEPARTMENT CONNECTION, 4" DIAM. BRASS FINISH

NEW WOOD WINDOW AND STEEL GRILL PAINTED BLACK

NEW ELECTRIC BEVOLO FRENCH QUARTER ORIGINAL BRACKET 12" LIGHT FIXTURE

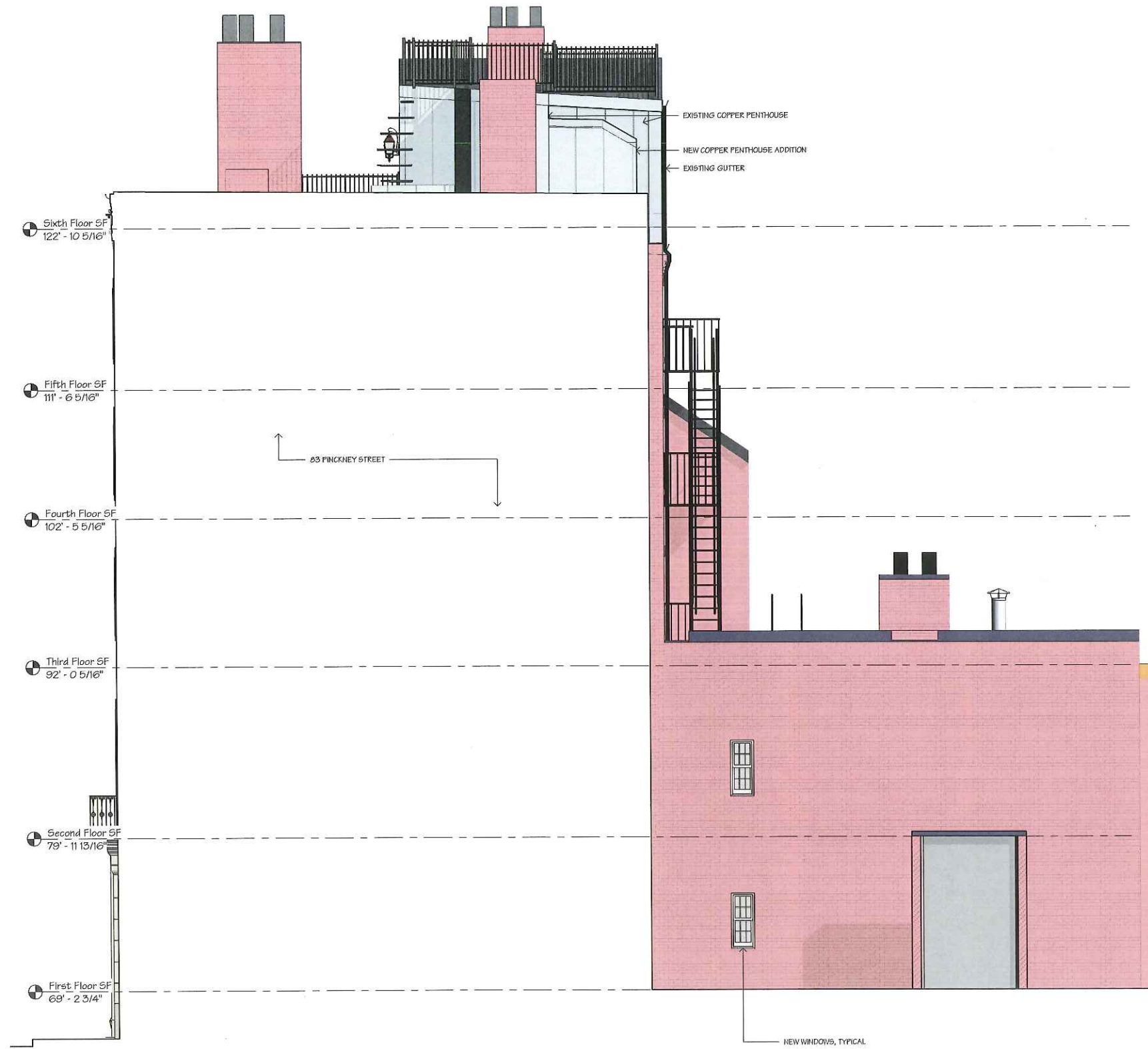
Proposed South Elevation





Proposed North Elevation

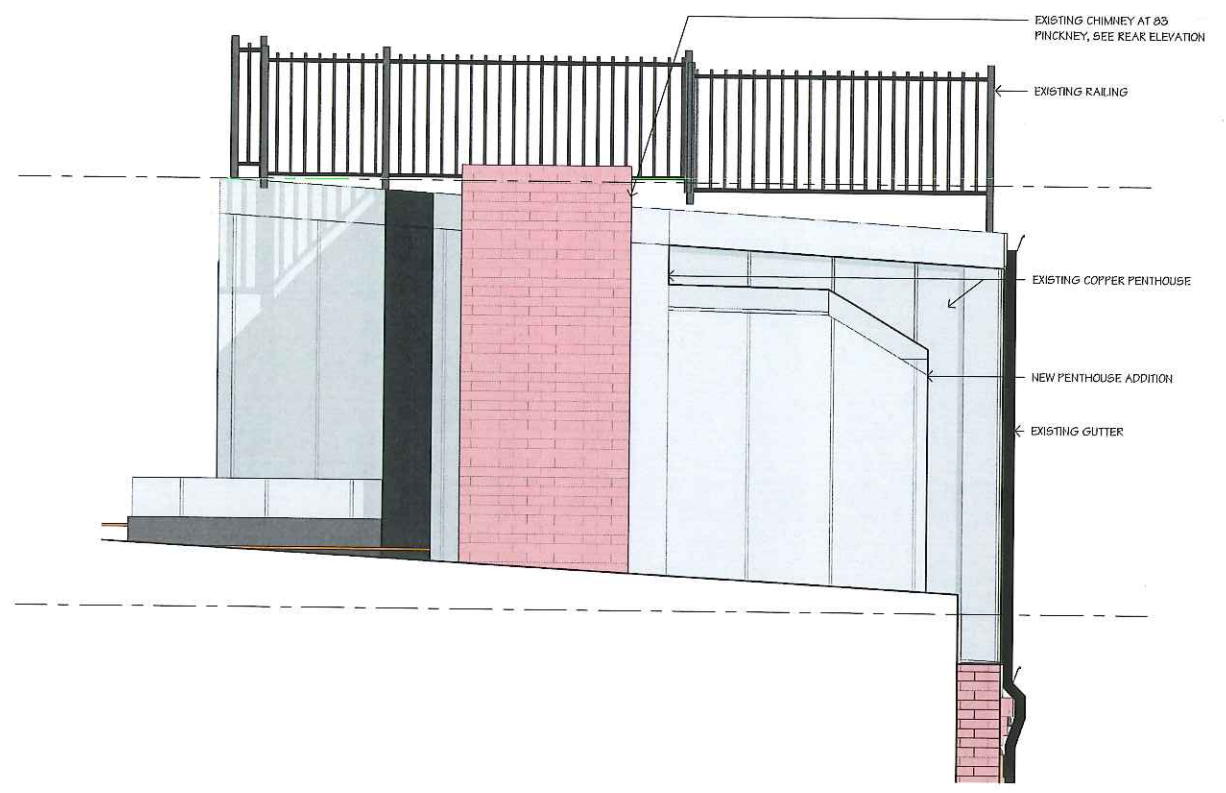




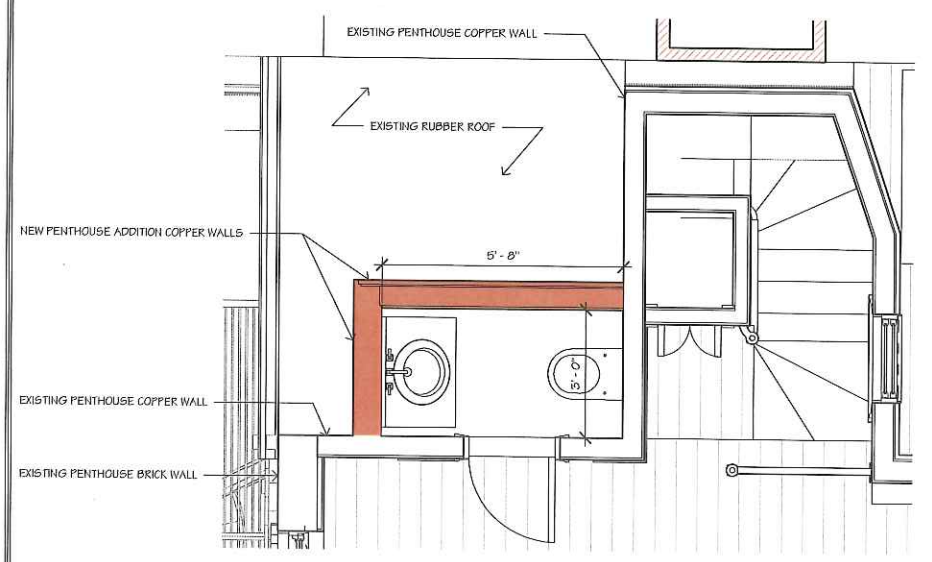




① Penthouse Infill Looking South  
10' - 14'



② Penthouse Infill Looking West  
10' - 14'



③ Proposed Penthouse Addition  
10' - 14'

08/27/19  
85 Pinckney St  
85 Pinckney Street Boston, MA

Penthouse Infill Details

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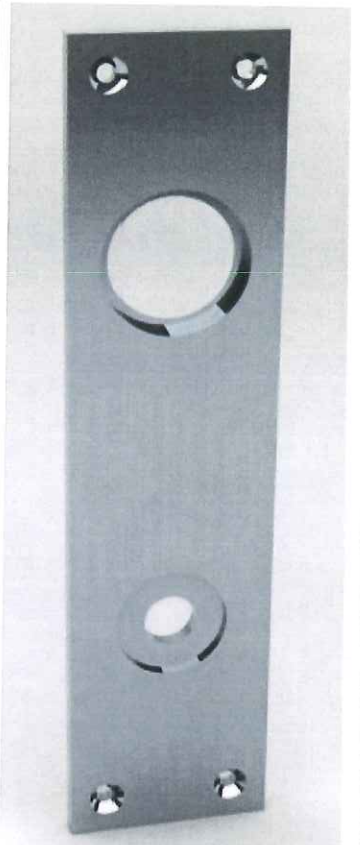
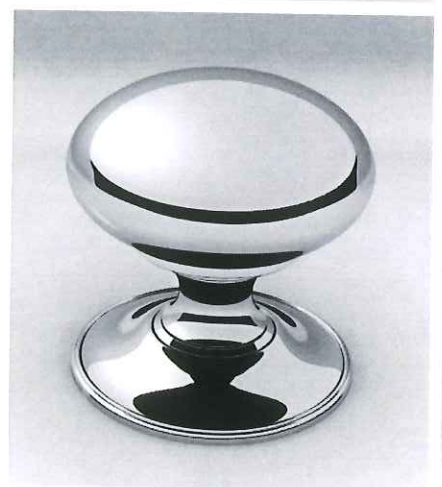
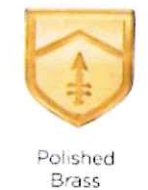
Second Floor SF  
79' - 11 13/16"

First Floor SF  
69' - 2 3/4"

Basement Slab  
60' - 9 13/16"



- 2. NEW BEVOLO FRENCH QUARTER YOKE BRACKET LIGHT FIXTURE
- 3. NEW S.A. BAXTER DOOR HARDWARE, POLISHED BRASS
- NEW DELTANA MAIL SLOT, POLISHED BRASS
- 5. NEW FIRE DEPARTMENT CONNECTION, 4" DIAM. BRASS FINISH
- NEW WOOD WINDOW AND STEEL GRILL PAINTED BLACK
- 4. NEW BEVOLO FRENCH QUARTER ORIGINAL BRACKET 12" LIGHT FIXTURE



1 Existing South Elevation  
12' x 74"

2 Bevolo French Quarter Yoke Light Fixture in Copper

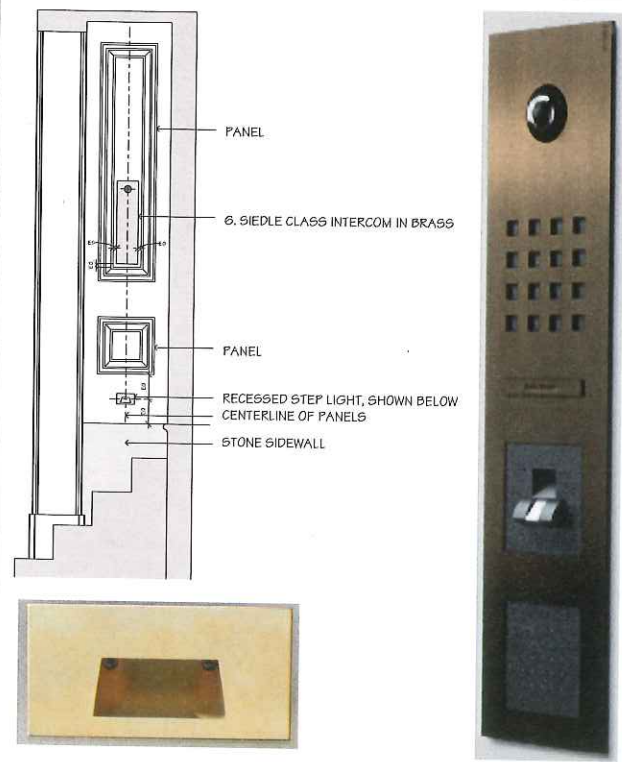
3 S.A. Baxter Door Hardware in Polished Brass



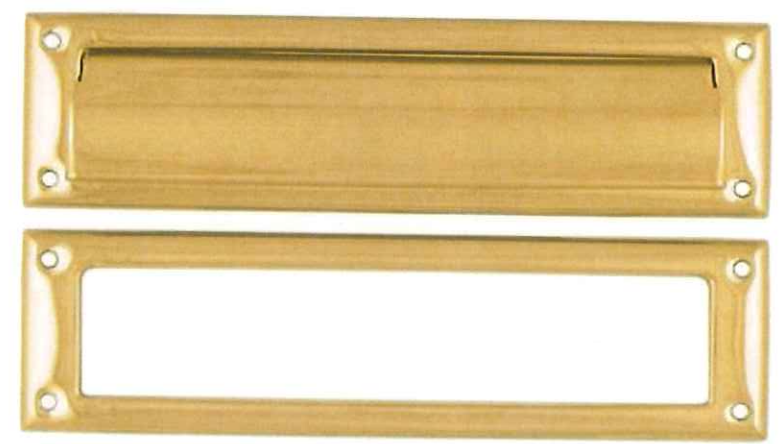
4 Bevolo French Quarter Original Bracket in Copper



5 Potter Roemer Fire Department Connection in Brass



6 Siedle Class Intercom



7 Deltana Mail Slot 13 1/8" in Polished Brass

08/27/19  
85 Pinckney St  
85 Pinckney Street Boston, MA

Proposed South Elevation Details

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