



PROJECT DIRECTORY

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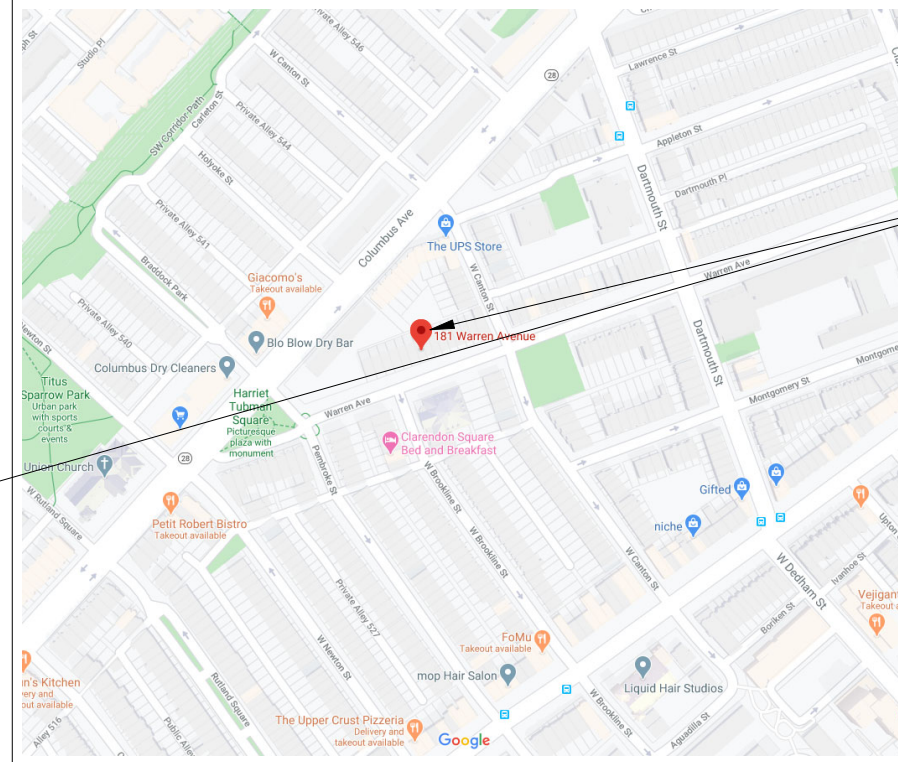
CODE SUMMARY

APPLICABLE CODES BOSTON, MASSACHUSETTS

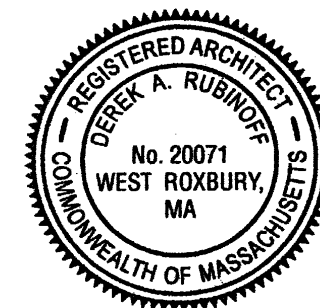
1. BUILDING : 780 CMR 9th EDITION

DESCRIPTION	CODE REFERENCE	REQUIREMENT	PROPOSED
GENERAL			
CONSTRUCTION TYPE		III B	III B

LOCATION MAP



PROJECT SITE



181 Warren Ave #4 Roof Deck Renovation

04/16/2020 Approvals Set

181 Warren Ave. Unit #4
 Boston, MA 02116

Scope:

The scope of work is limited to expanding the existing Unit 4 private roof deck and minor interior renovations within Unit 4 (fourth floor unit). The existing building is a four-storey-plus-basement apartment building in South End.

Scope includes replacing the existing legal roof deck and expanding its footprint over the area of the former hatch and toward the midpoint of the roof. Within the unit, demolish the wall between the kitchen and the living room and reconfigure the kitchen. Build living room stair to roof. Renovate bathroom.

No other work is proposed. No common area work.

Sheet List

Sheet Number	Sheet Name	Current Revision	Current Revision Date
A0.0	Cover		
A0.1	Plot Plan & Zoning Summary		
A0.2	Existing Photos		
A0.3	Existing Photos		
A1.0	Demolition 4th Floor Plan		
A1.1	Demolition Roof Plan		
A2.0	Proposed 4th Floor Plan		
A2.1	Proposed Roof Plan		
A2.4	Proposed Sections		
A2.5	Building Section		
A2.6	Proposed Elevation & Views		

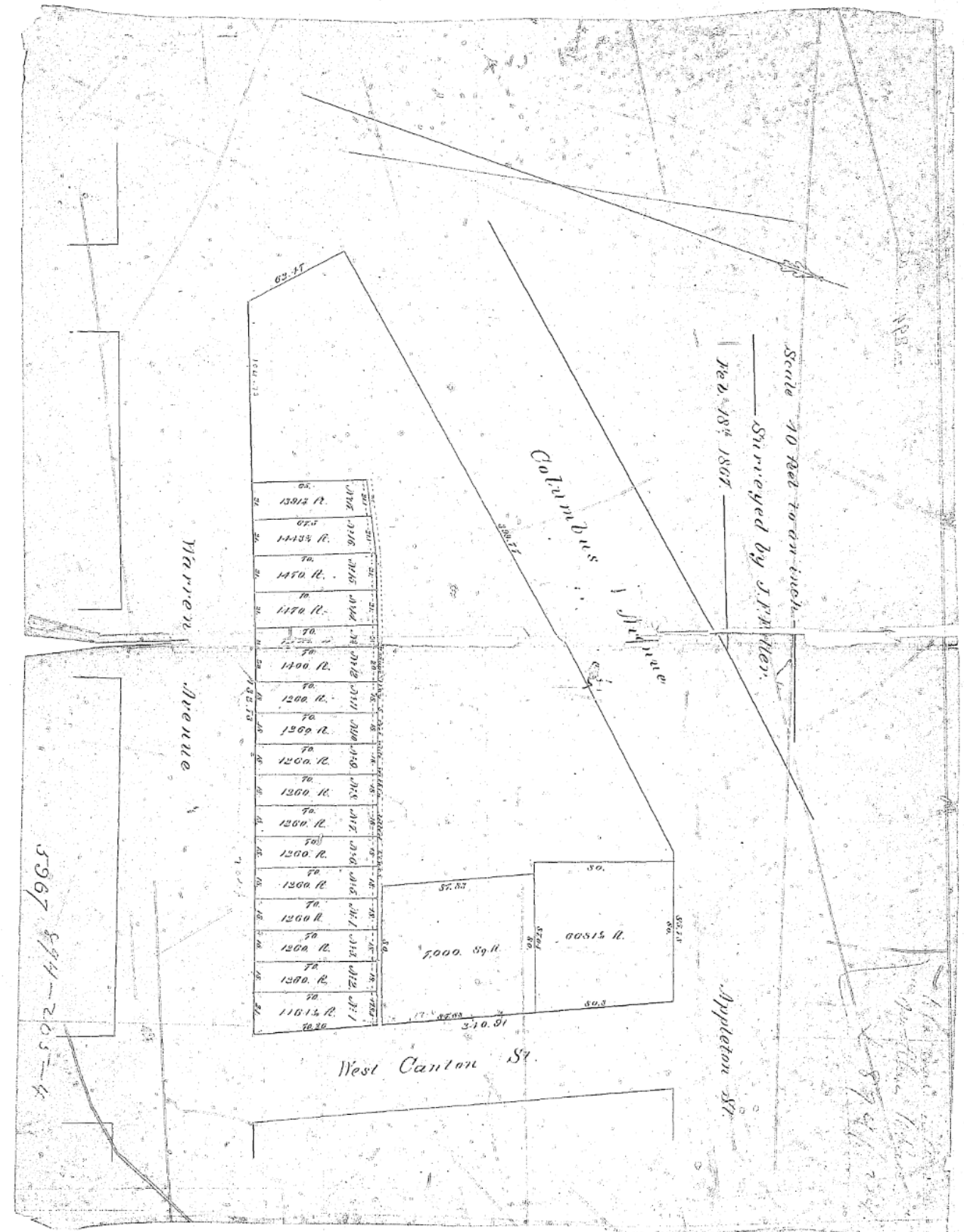
EXISTING ROOF DECK

DEREK RUBINOFF ARCHITECT 82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derekubinoff.com	Cover 181 Warren Ave 181 Warren Ave, Boston MA 02116	JOB #: 2013 SCALE: 1/4" = 1'-0" DATE: 04/16/2020 DWN BY: ABN CROSS REF:	<h1>A0.0</h1>
	4/16/2020 5:59:47 PM C:\Users\DRACComputer7-PC\Documents\2020-04-16_181 Warren Ave.#4_Permit set_john73EQ2.rvt		

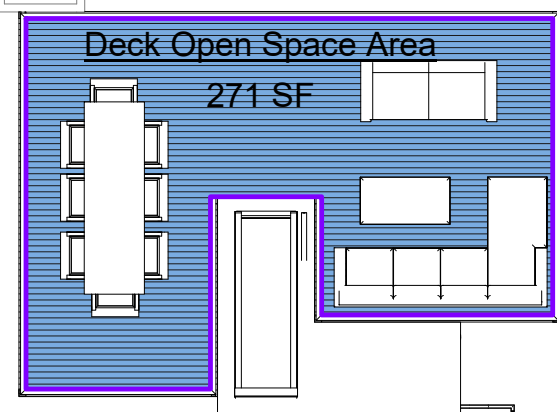
ZONING SUMMARY

Zoning District: South End Neighborhood (Article 64)
 Sub District: MFR (Multifamily Residential)
 Overlay: Groundwater Conservation; Parking Freeze Zone
 Historic District: South End Landmark District
 Parking Freeze Zone: Boston Proper Zone
 Map: 1P
 Year Built: 1899

DESCRIPTION	CODE REFERENCE	REQUIRED/ALLOWED	EXISTING	PROPOSED
GENERAL				
USE	§64 TABLE A	RESIDENTIAL USES: MULTIFAMILY ROW HOUSE ALLOWED	4 APARTMENT UNITS	NO CHANGE
LOT AREA	§64 TABLE D	PARCEL 0400400000	LOT SIZE: 1,260 SF (18' x 70')	NO CHANGE
LOT AREA MIN. FOR DWELLING UNIT	§64 TABLE D	NONE	N/A	N/A
LOT WIDTH MIN.	§64 TABLE D	NONE	N/A	N/A
ADDITIONAL LOT AREA FOR DWELLING UNIT	§64 TABLE D	NONE	18'	NO CHANGE
LOT FRONTAGE MIN.	§64 TABLE D	NONE	18'	NO CHANGE
FAR MAX.	§64 TABLE D	2.0	UNIT 1 = 1,112 SF UNIT 2 = 545 SF UNIT 3 = 545 SF UNIT 4 = 613 SF BUILDING TOTAL = 2,815 SF (PER ASSR.) EXISTING FAR = 2.2	NO CHANGE
BUILDING HEIGHT MAX.	§64 TABLE D	70'	~48'	NO CHANGE
NUMBER OF STOREYS	§64 TABLE D	NO LIMIT	4	NO CHANGE
USABLE OPEN SPACE MIN. PER UNIT	§64 TABLE D	200 SF PER DWELLING UNIT	90 SF (EXT'G UNIT 4 ROOF DECK)	PROPOSED ROOF DECK FOR UNIT 4 IS LARGER THAN EXISTING
FRONT YARD MIN. DEPTH	§64 TABLE D	CONFORM WITH EXISTING BUILDING ALIGNMENT	CONFORMS	NO CHANGE
SIDE YARD MIN. WIDTH	§64 TABLE D	NONE	NONE	NO CHANGE
REAR YARD MIN. DEPTH	§64 TABLE D	20'	>20'	NO CHANGE
REAR YARD MAX OCC BY ACCESSORY	§64 TABLE D	25%	N/A	NO CHANGE
PARKING	§64 TABLE H	0.7 SPACES PER DWELLING UNIT	NONE PROVIDED	NO CHANGE
ROOF DECK STRUCTURES	§64-34	MUST GET BOA CONDITIONAL USE IF ALTERS THE PROFILE AND/OR CONFIGURATION OF THE ROOF OR MANSARD. <ul style="list-style-type: none"> MUST BE ON A ROOF WITH < 5 DEG. SLOPE. DECK MUST BE < 12" ABOVE HIGHEST POINT ON ROOF. TOTAL HEIGHT OF BUILDING INCLUDING DECK MUST BE ≤ MAX ALLOWABLE BUILDING HEIGHT. ACCESS BY BULKHEAD OR ROOF HATCH MUST BE ≤ 30" ABOVE DECK. SUCH DECK AND ANY APPURTENANT HAND RAIL, BALUSTRADE, HATCH, OR BULKHEAD IS SET BACK AT LEAST 5' FROM FRONT AND REAR ROOF EDGE. SOUTH END LANDMARKS DISTRICT CRITERIA I.(F) ROOF DECKS INCLUDING DECKING AND RAILING SHOULD NOT BE VISIBLE FROM ANY PUBLIC WAY. PARTIAL VISIBILITY OF THE RAILING MAY BE ALLOWED ON A CASE-BY-CASE BASIS. ANY VISIBLE RAILINGS MUST BE BLACK METAL. ANY SKYLIGHT FRAMING SHOULD BE DARK AND NON REFLECTIVE.	DOES NOT ALTER THE ROOF OR MANSARD PROFILE.	CONFORMS



PLOT PLAN



Rentable Area Legend
■ Building Common Area



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	181 Warren Ave 181 Warren Ave, Boston MA 02116	JOB #: 2013 SCALE: As indicated DATE: 04/16/2020 DWN BY: Author CROSS REF:	

1 Proposed Deck
 1/8" = 1'-0"

EXISTING ROOF HATCH FROM
BEDROOM



EXISTING CHIMNEY



EXISTING FURNITURE
ON THE DECK



EXISTING
WOODEN
ROOF DECK

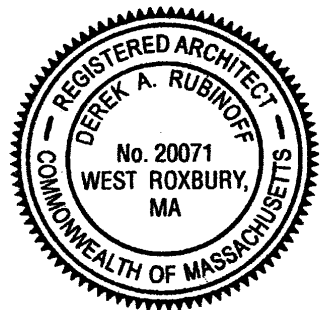
EXISTING
SKYLIGHTS



EXISTING
WOODEN
RAILING

EXISTING
WOODEN DECK
FLOORING

EXISTING CHIMNEY



DEREK RUBINOFF ARCHITECT

82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derekrubino.com

Existing Photos

181 Warren Ave
181 Warren Ave, Boston MA 02116

JOB #:	2013
SCALE:	
DATE:	04/16/2020
DWN BY:	Author
CROSS REF:	

A0.2

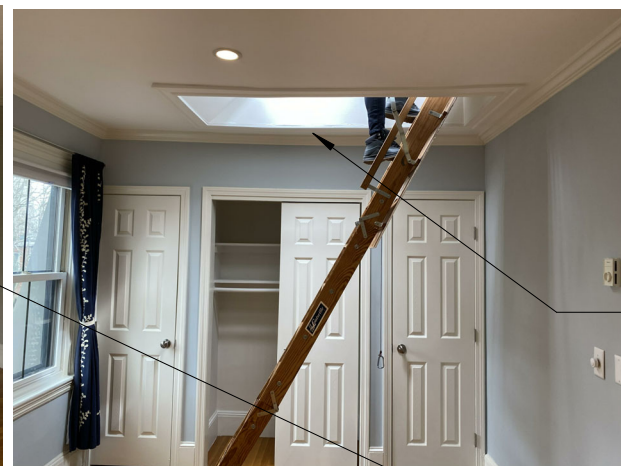
DECK IS NOT VISIBLE FROM STREET AND IS VISIBLE FROM REAR ALLEY.



VIEW LOOKING NORTH SHOWS OTHER NEIGHBORING ROOF DECKS



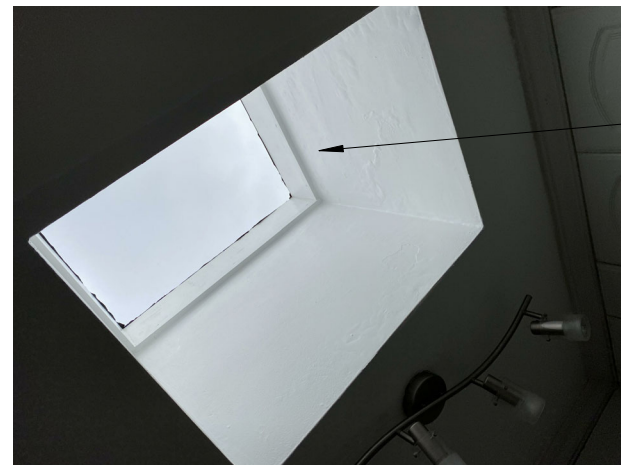
VIEW LOOKING EAST SHOWS OTHER NEIGHBORING ROOF DECKS



NOTE: THE ONLY PROPOSED CHANGE FROM THE EXISTING FROM THE POINT OF VIEW OF THOSE ON A PUBLIC WAY IS THAT ALL VISIBLE (FROM A PUBLIC WAY) RAILINGS WILL BE METAL.

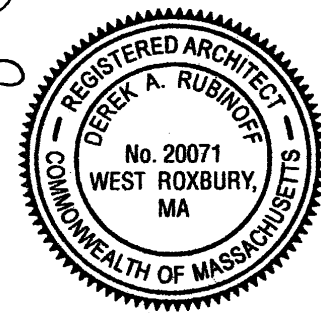
EXISTING ROOF HATCH (TO BE FILLED IN)

VIEW LOOKING WEST SHOWS OTHER NEIGHBORING ROOF DECKS



EXISTING SKYLIGHTS

EXISTING SKYLIGHT TO BE CONVERTED TO ROOF STAIR AND SKYLIGHT-HATCH.



DEREK RUBINOFF ARCHITECT

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Existing Photos

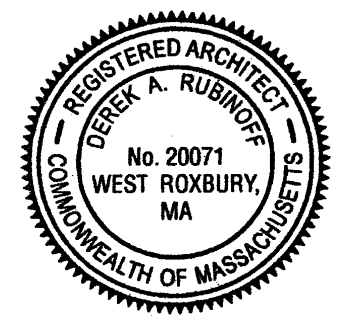
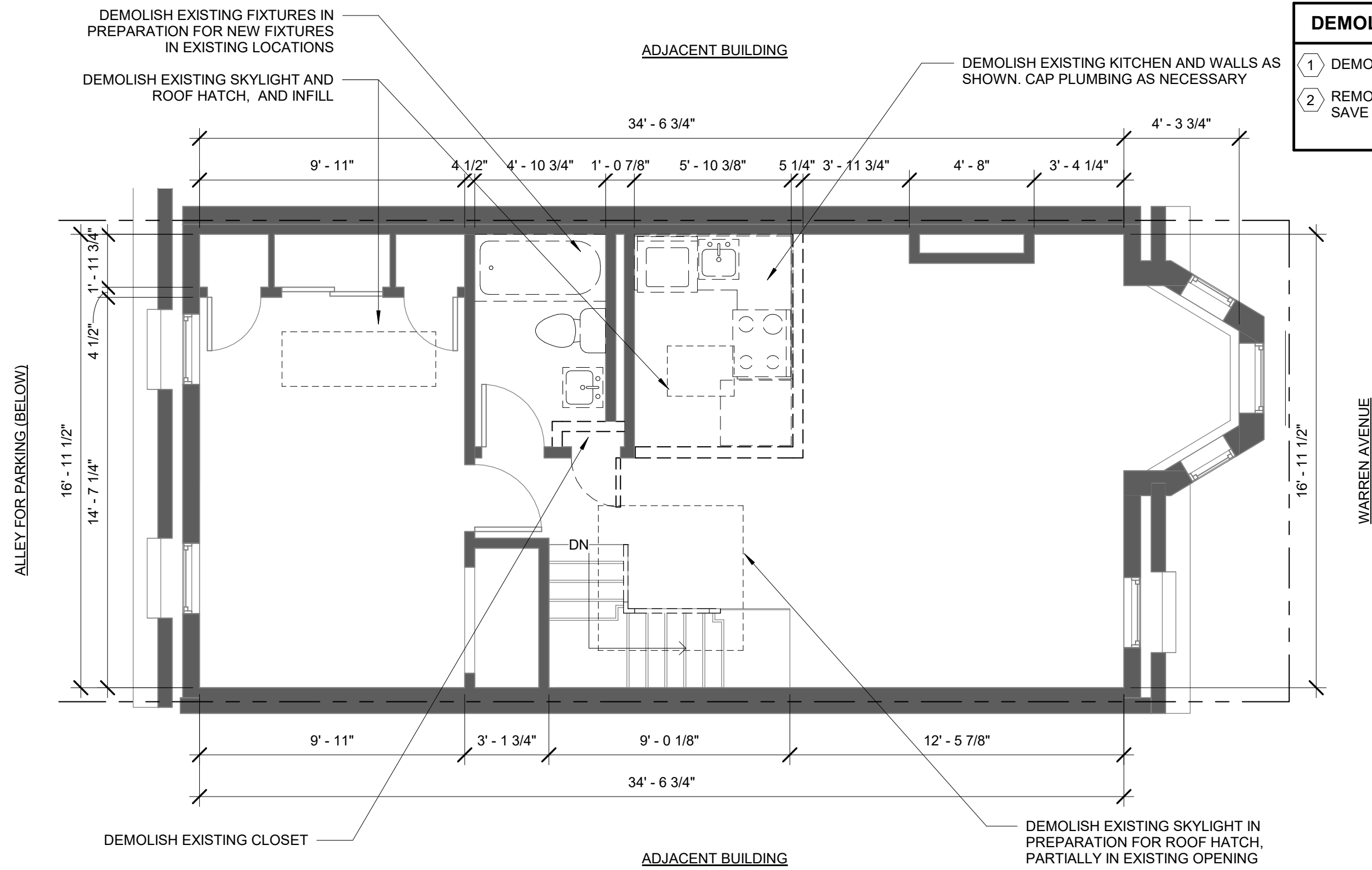
181 Warren Ave
181 Warren Ave, Boston MA 02116

JOB #:	2013
SCALE:	
DATE:	04/16/2020
DWN BY:	Author
CROSS REF:	

A0.3

DEMOLITION NOTES

- 1 DEMOLISH ENTIRE EXISTING WOODEN DECK
- 2 REMOVE ALL EXISTING FURNITURE, AND SAVE FOR FUTURE USE, IF NECESSARY



D. Rubino

1 Fourth Floor Demolition
1/4" = 1'-0"

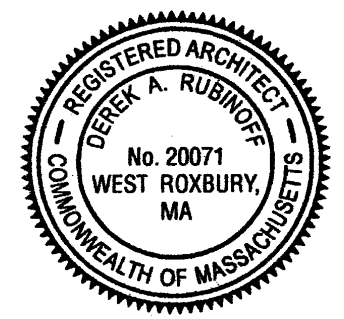
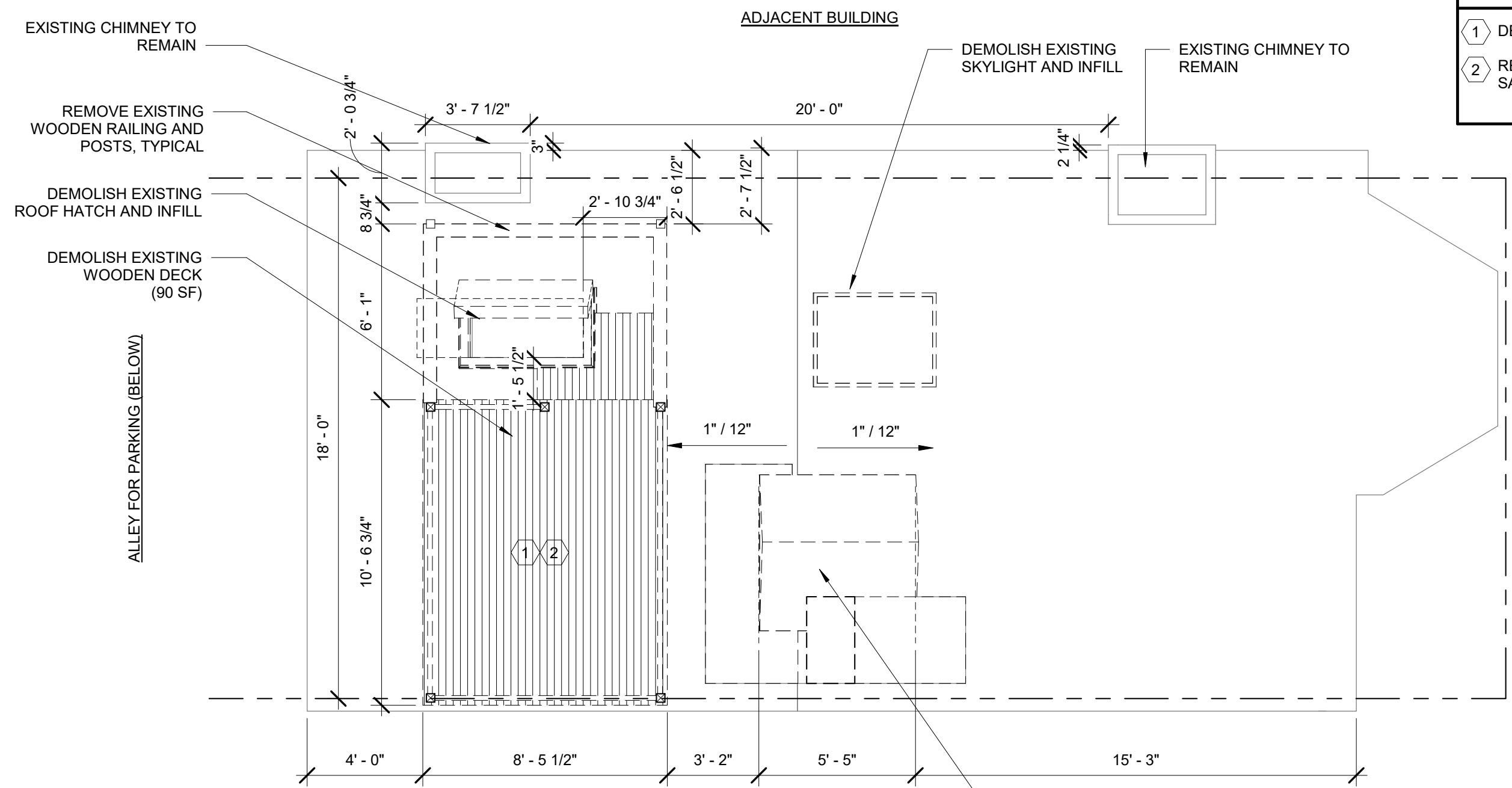
DEMO PLAN LEGEND

	EXISTING PARTITION
	TO BE DEMOLISHED

<p>DEREK RUBINOFF ARCHITECT 82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derekubino.com</p>	<p>Demolition 4th Floor Plan</p>		<p>A1.0</p>
	<p>181 Warren Ave 181 Warren Ave, Boston MA 02116</p>	<p>JOB #: 2013 SCALE: As indicated DATE: 04/16/2020 DWN BY: Author CROSS REF:</p>	

DEMOLITION NOTES

- 1 DEMOLISH ENTIRE EXISTING WOODEN DECK
- 2 REMOVE ALL EXISTING FURNITURE, AND SAVE FOR FUTURE USE. IF NECESSARY



D. Rubinoff

1 Roof Demo
1/4" = 1'-0"

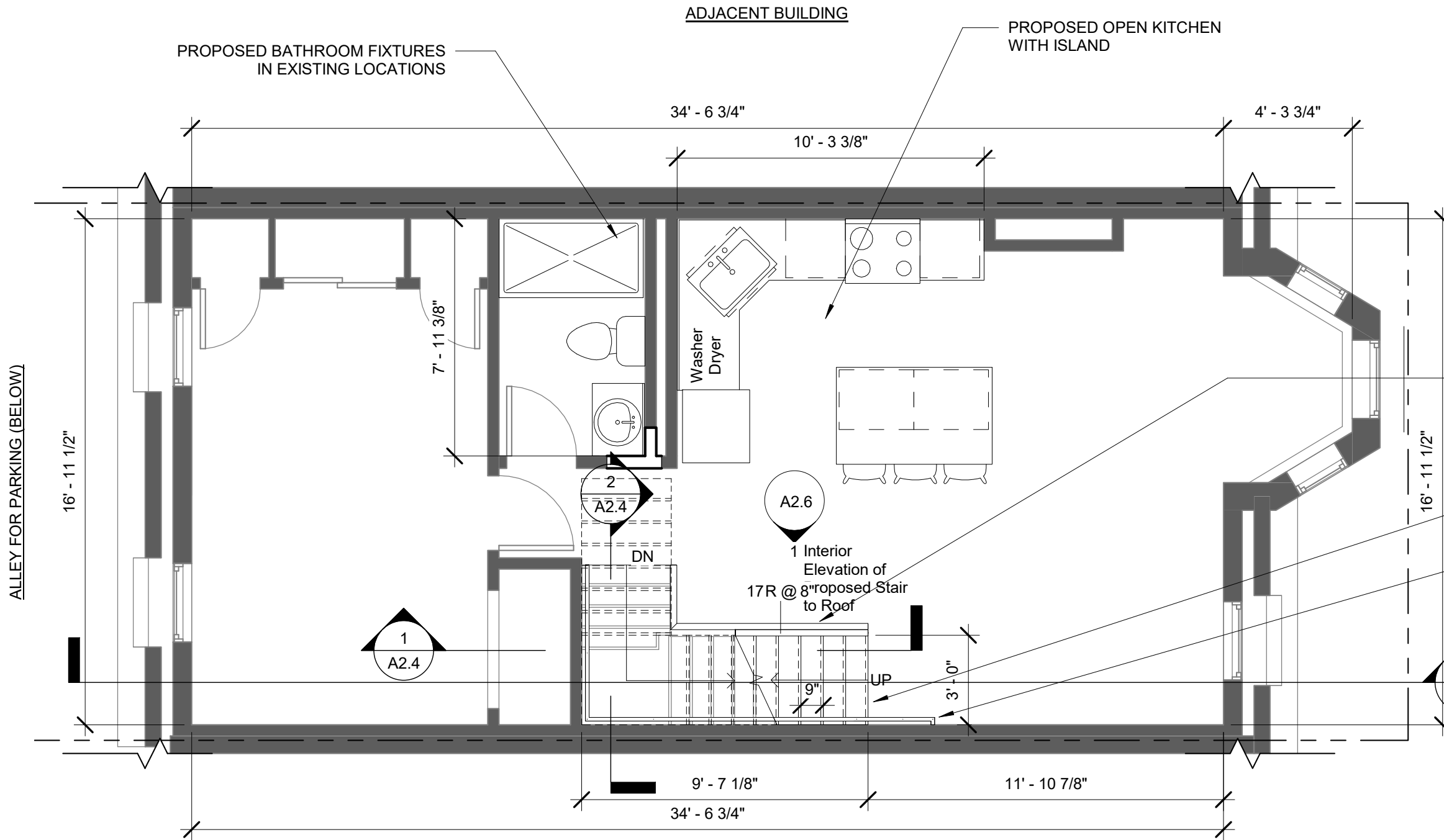
DEMO PLAN LEGEND

	EXISTING PARTITION
	TO BE DEMOLISHED

<p>DEREK RUBINOFF ARCHITECT 82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derekrubinoff.com</p>	<p>Demolition Roof Plan 181 Warren Ave 181 Warren Ave, Boston MA 02116</p>		<p>JOB #: 2013 SCALE: As indicated DATE: 04/16/2020 DWN BY: Author CROSS REF:</p>	<p>A1.1</p>
	<p>4/16/2020 6:00:19 PM C:\Users\DRACComputer7-PC\Documents\2020-04-16_181 Warren Ave.#4_Permit set_john73EQ2.rvt</p>			

CONSTRUCTION PLAN KEY NOTES

- 1 TYPICAL: INSTALL COMPOSITE DECK FLOORING WITH METAL RAILING.
 - 2 INSTALL NEW FURNITURE PER OWNER'S SPECIFICATION
- TYPICAL: ALL RAILINGS ARE TO BE INSTALLED PER 780 CMR, INCLUDING STRUCTURAL REQUIREMENTS. RAILINGS HEIGHTS TO BE 42" MIN AFF. BALUSTERS 4" O.C., MAX. RE-INSTALL ANY POSTS WITH PROPER EPDM SLEEVES SO AS TO MAKE WATER-TIGHT; ANY REPAIRS OR ADJUSTMENTS TO EPDM ROOF MEMBRANE MUST FOLLOW MEMBRANE MANUFACTURER'S INSTRUCTIONS. ALL ITEMS INSTALLED ON ROOF MUST BE SECURED TO RESIST WIND LOADS. ALL WORK MUST COMPLY WITH 780 CMR AND BOSTON ZONING CODE.



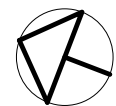
- STAINLESS STEEL RAIL WITH AIRPLANE CABLES. ALL GAPS <4" DIAM. ATTACH TO SIDE OF STAIR STRINGERS SO AS TO MAINTAIN 36" CLEAR AT STAIRS.
- PROPOSED WOOD STAIR LEADING TO ROOF HATCH
- 1 1/2" DIAM. STAINED HW RAIL WITH 1 1/2" CLEAR SPACE. 36" ABOVE NOSING.

1 Fourth Floor Proposed
1/4" = 1'-0"



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PLAN LEGEND	
	EXISTING PARTITION
	NEW PARTITION

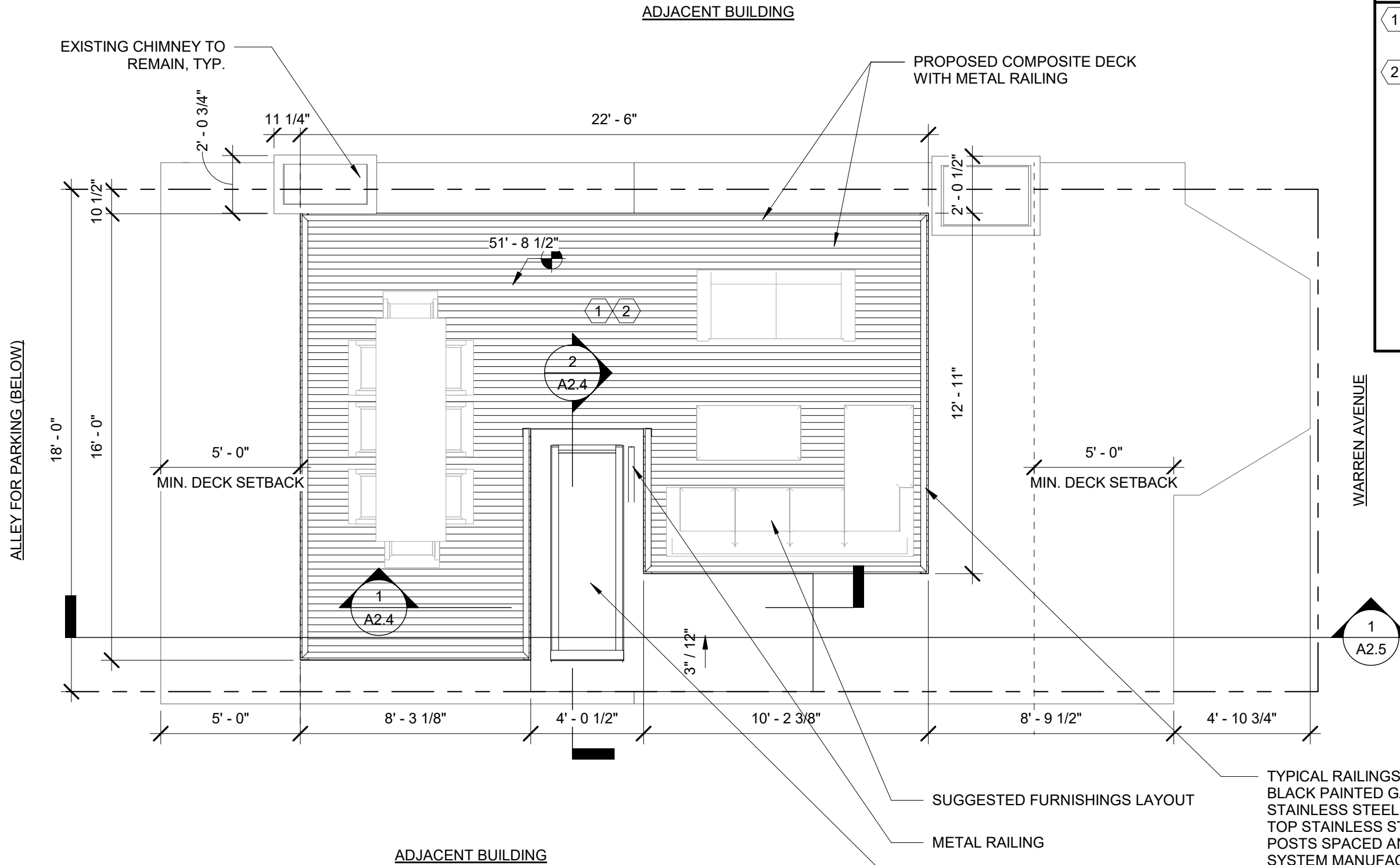


ADJACENT BUILDING

DEREK RUBINOFF ARCHITECT 82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derekubinoff.com	Proposed 4th Floor Plan 181 Warren Ave 181 Warren Ave, Boston MA 02116	JOB #: 2013 SCALE: As indicated DATE: 04/16/2020 DWN BY: ABN CROSS REF:	A2.0
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CONSTRUCTION PLAN KEY NOTES

- 1 TYPICAL: INSTALL COMPOSITE DECK FLOORING WITH METAL RAILING.
 - 2 INSTALL NEW FURNITURE PER OWNER'S SPECIFICATION
- TYPICAL: ALL RAILINGS ARE TO BE INSTALLED PER 780 CMR, INCLUDING STRUCTURAL REQUIREMENTS. RAILINGS HEIGHTS TO BE 42" MIN AFF. BALUSTERS 4" O.C., MAX. RE-INSTALL ANY POSTS WITH PROPER EPDM SLEEVES SO AS TO MAKE WATER-TIGHT; ANY REPAIRS OR ADJUSTMENTS TO EPDM ROOF MEMBRANE MUST FOLLOW MEMBRANE MANUFACTURER'S INSTRUCTIONS. ALL ITEMS INSTALLED ON ROOF MUST BE SECURED TO RESIST WIND LOADS. ALL WORK MUST COMPLY WITH 780 CMR AND BOSTON ZONING CODE.



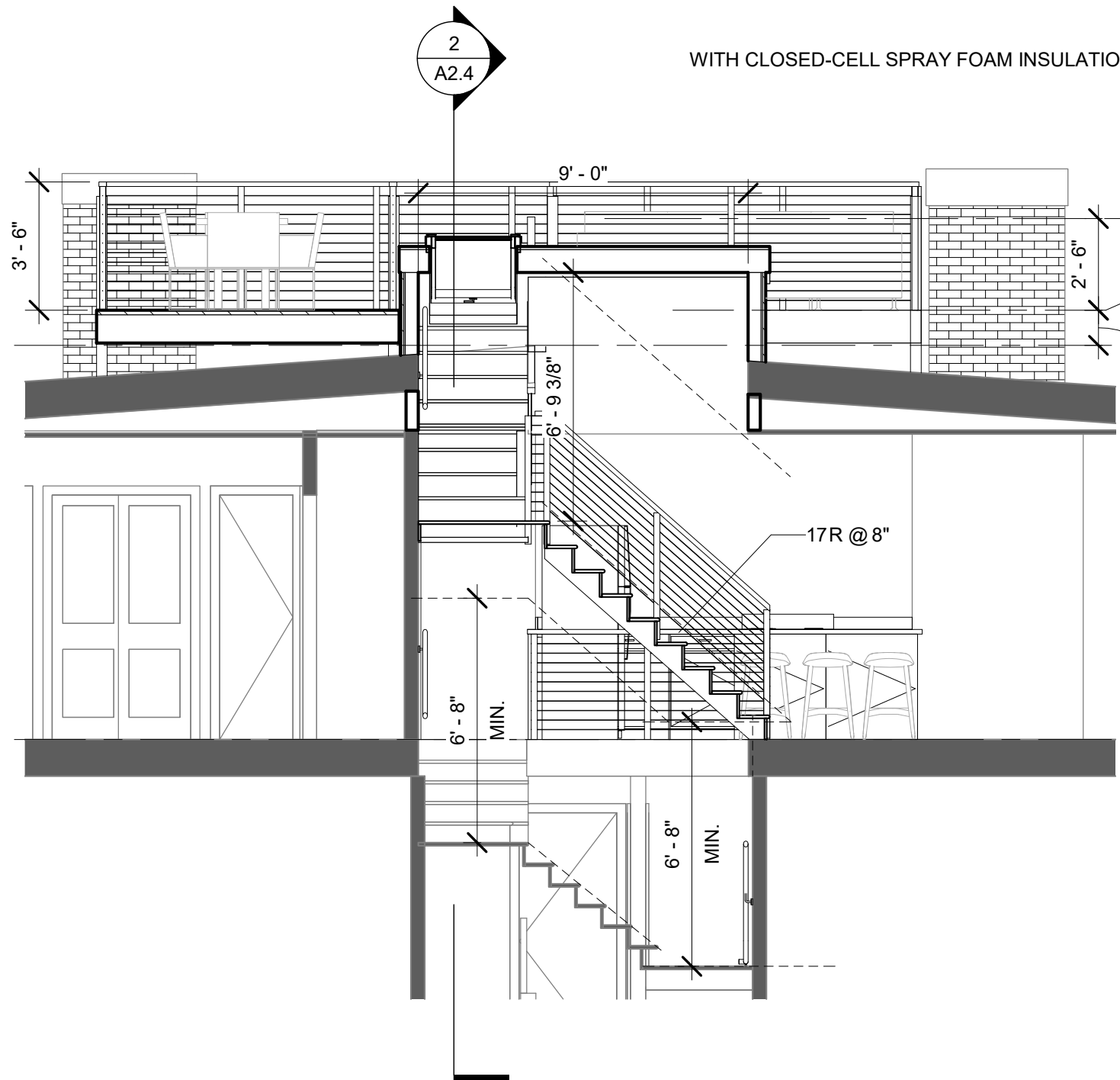
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TYPICAL RAILINGS:
 BLACK PAINTED GALVANIZED POSTS.
 STAINLESS STEEL HORIZONTAL AIRPLANE CABLE <4" BETWEEN TOP STAINLESS STEEL RAILING AT 42" ABOVE DECK HEIGHT.
 POSTS SPACED AND INSTALLED AS REQUIRED PER RAILING SYSTEM MANUFACTURER'S INSTRUCTIONS AND PER 780 CMR.

1 Roof Proposed
 1/4" = 1'-0"

PLAN LEGEND	
	EXISTING PARTITION
	NEW PARTITION

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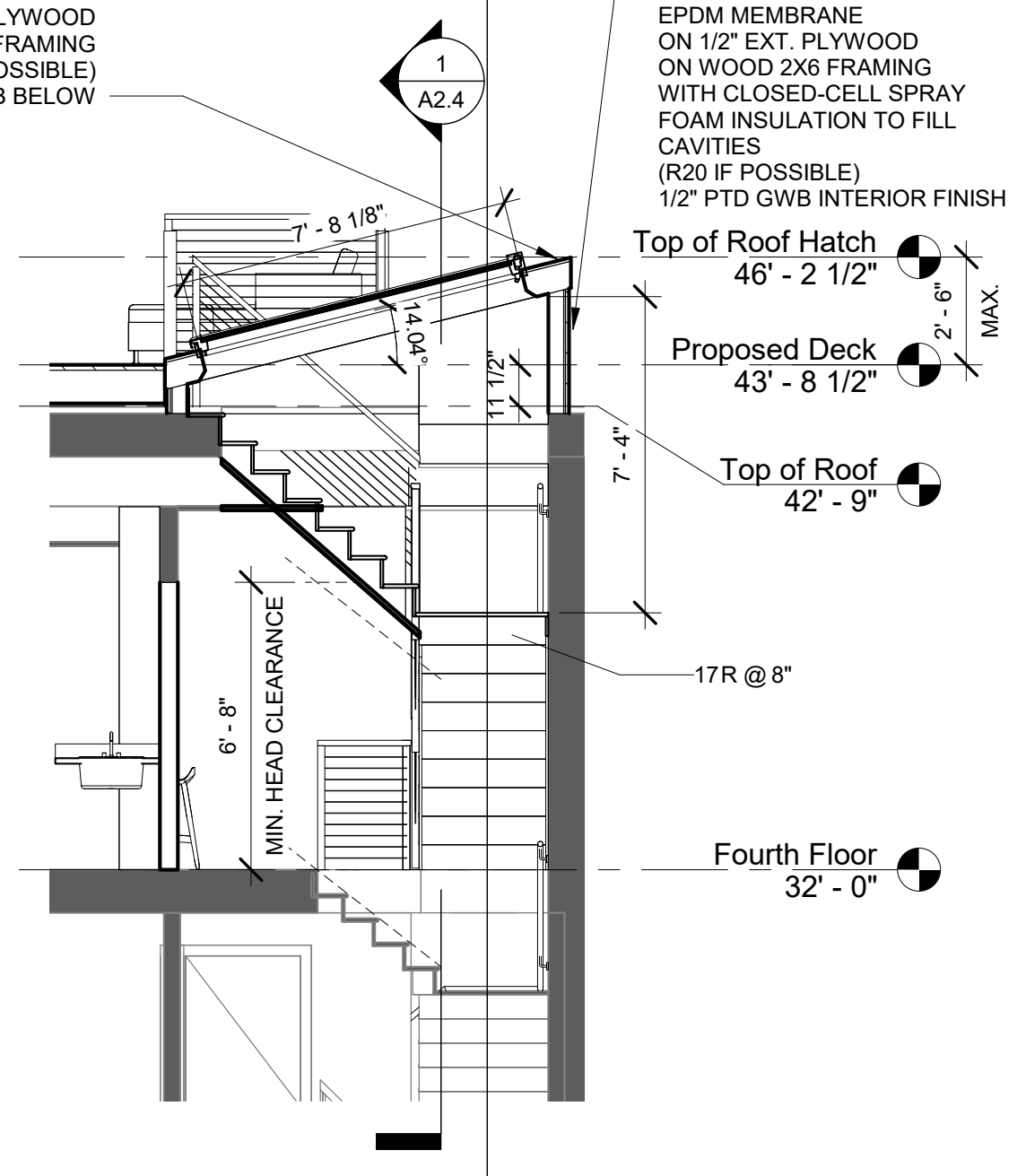


1 Proposed Section 1
1/4" = 1'-0"

HEADHOUSE:
EPDM MEMBRANE
ON 3/4" EXT. PLYWOOD
ON WOOD 2X8 FRAMING
WITH CLOSED-CELL SPRAY FOAM INSULATION TO FILL CAVITIES (R49 WHERE POSSIBLE)
WITH 1/2" GWB BELOW

- Top of Roof Hatch 46' - 2 1/2"
- Proposed Deck 43' - 8 1/2"
- Top of Roof 42' - 9"

Fourth Floor 32' - 0"



2 Proposed Section 2
1/4" = 1'-0"

HEADHOUSE SIDES:
EPDM MEMBRANE
ON 1/2" EXT. PLYWOOD
ON WOOD 2X6 FRAMING
WITH CLOSED-CELL SPRAY FOAM INSULATION TO FILL CAVITIES (R20 IF POSSIBLE)
1/2" PTD GWB INTERIOR FINISH

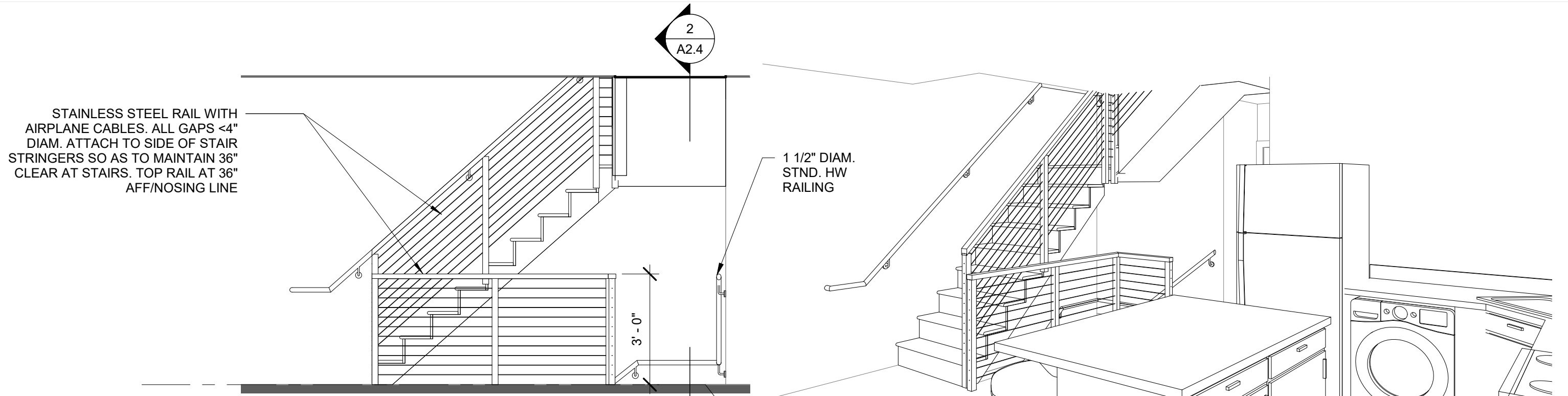
- Top of Roof Hatch 46' - 2 1/2"
- Proposed Deck 43' - 8 1/2"
- Top of Roof 42' - 9"

Fourth Floor 32' - 0"



[Handwritten Signature]

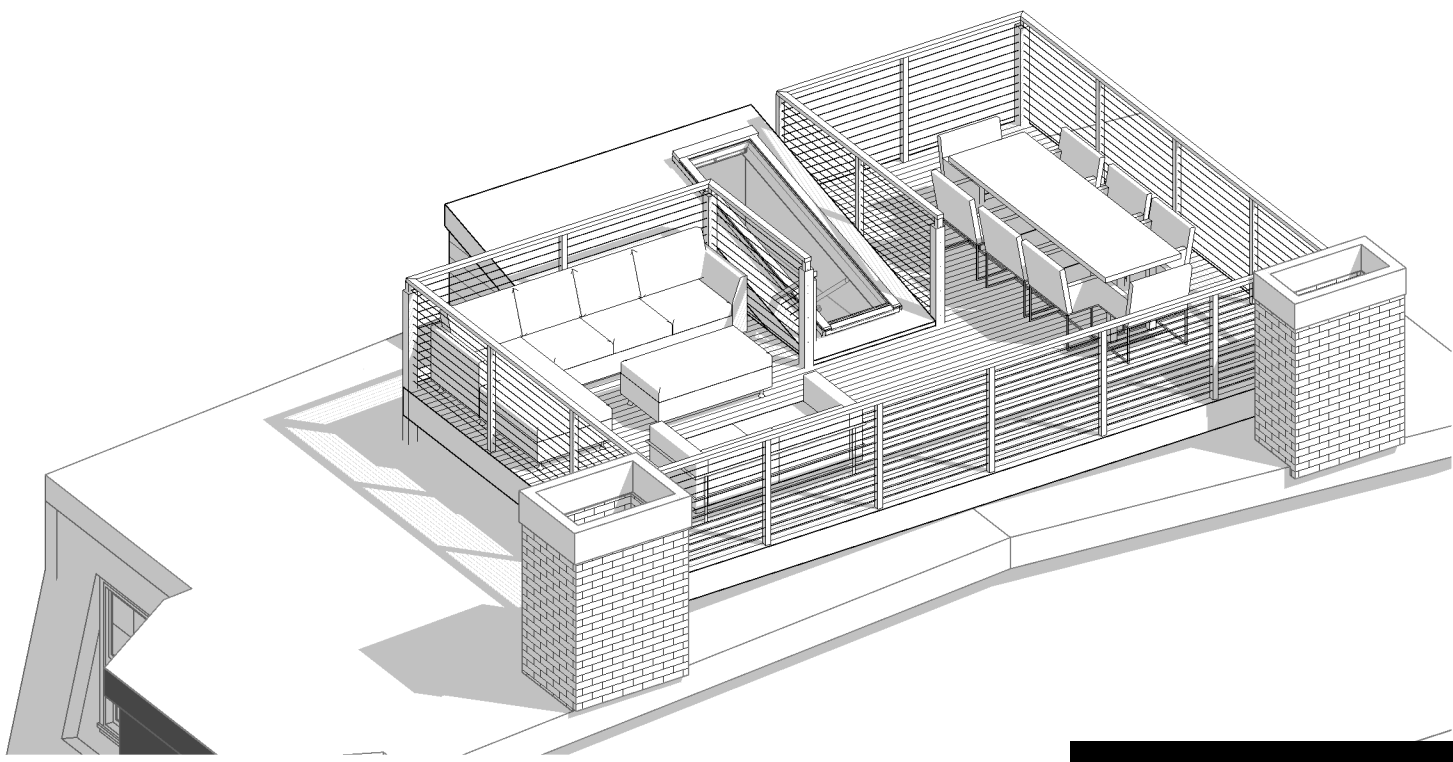
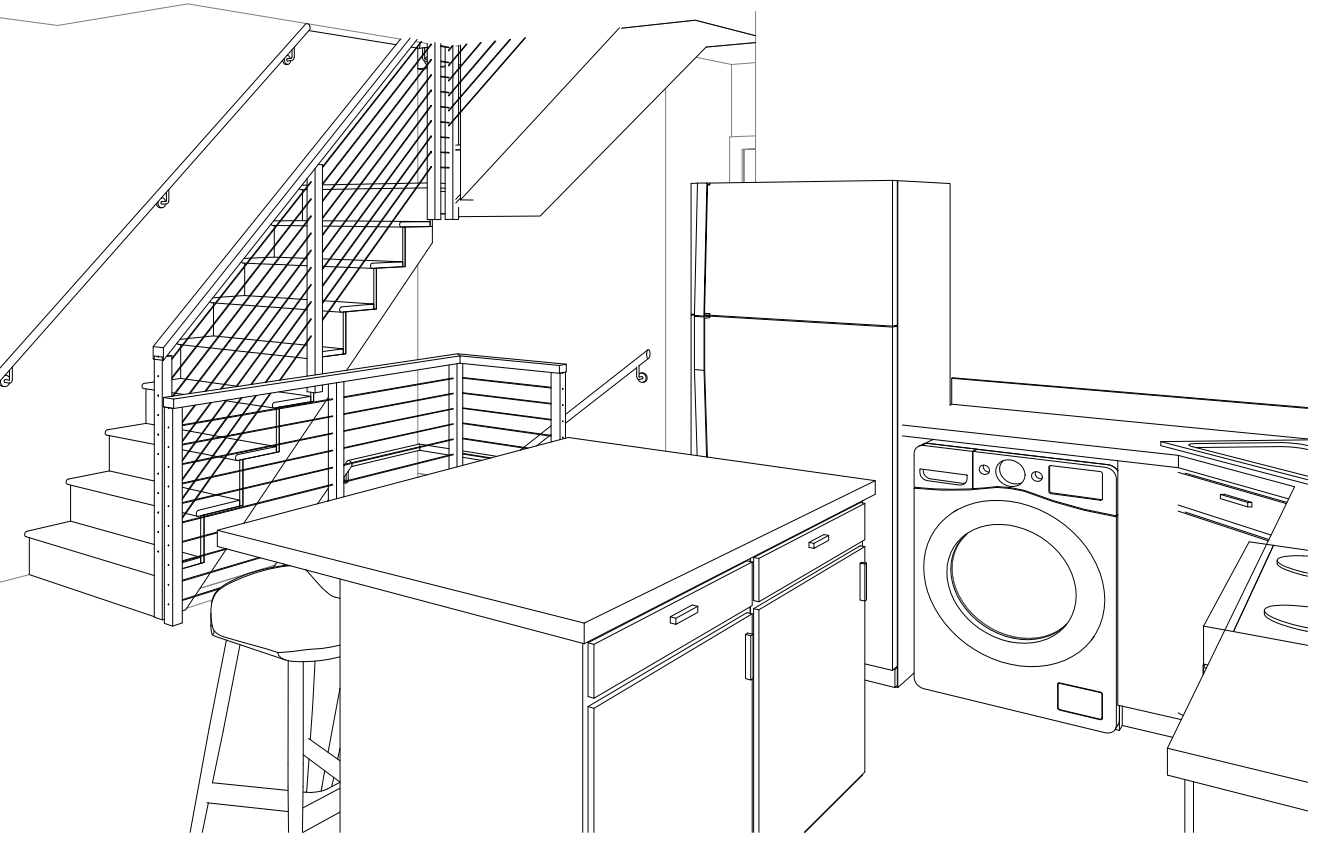
DEREK RUBINOFF ARCHITECT 82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derekubino.com	Proposed Sections 181 Warren Ave 181 Warren Ave, Boston MA 02116		JOB #: 2013 SCALE: 1/4" = 1'-0" DATE: 04/16/2020 DWN BY: ABN CROSS REF:	A2.4
	4/16/2020 6:00:31 PM C:\Users\DRACComputer7-PC\Documents\2020-04-16_181 Warren Ave.#4_Permit set_john73EQ2.rvt			



1 Interior Elevation of Proposed Stair to Roof
3/8" = 1'-0"

Fourth Floor
32' - 0"

2 Proposed Interior 3D View



3 Proposed Roof Deck 3D View



DEREK RUBINOFF ARCHITECT <small>82 Spring Street, West Roxbury, MA 02132-4316 617-504-2599 inquiries@derekubinoff.com</small>	Proposed Elevation & Views		A2.6	
	181 Warren Ave			JOB #: 2013
	181 Warren Ave, Boston MA 02116			SCALE: 3/8" = 1'-0"
				DATE: 04/16/2020
				DWN BY: ABN
		CROSS REF:		