



**BEACON HILL ARCHITECTURAL COMMISSION
PUBLIC HEARING/MEETING MINUTES**

Boston City Hall, 1 City Hall Plaza Room 709
Boston, MA, 02201 (ONLINE ONLY HEARING)

JANUARY 21, 2021

Commissioners Present: Arian Allen, Matthew Blumenthal, Alice Richmond, PT Vineburgh

Commissioners Absent: Danielle Santos, Miguel Rosales, Wen Wen

Staff Present: Nicholas Armata, Gabriela Amore

A full recording of the hearing is available at [Boston.gov/landmarks](https://www.boston.gov/landmarks)

5:02 PM: Commissioner Vineburgh called the public hearing to order. She explained that, pursuant to the Commonwealth of Massachusetts Executive Order Suspending Certain Provisions of the Open Meeting Law, that the public hearing was being conducted virtually via the online meeting platform Zoom in order to review Design Review applications. He also briefly explained how to participate in the online hearing.

Following this brief introduction He called the first design review application.

1. DESIGN REVIEW

APP # 21.0475 BH 69 HANCOCK STREET

APPLICANT: Lisa Jessogne

PROPOSED WORK: Install shutters to front façade.

Project Representatives: Lisa Jessogne, Jenna Levin

Documents Presented: Existing conditions photographs, specs for proposed

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Discussion Topics (brief):

- Precedent on block/other homes on Beacon Hill
- Installation methods
- Historic shutters appropriate?

Public Comment: BHAC: Shutters are not appropriate for this style of architecture (Greek Revival)

COMMISSIONER BLUMENTHAL MOTIONED TO DENY THE APPLICATION AND STATED THAT UNLESS THERE IS EVIDENCE THAT THE SHUTTERS EXISTED PREVIOUSLY, THEY CANNOT BE INSTALLED COMMISSIONER ALLEN SECONDED THE MOTION. THE VOTE WAS 4-0-0

APP # 21.0558 BH 4-5 BYRON STREET

APPLICANT: John Holland

PROPOSED WORK: Demolish and rebuild elevator head house.

Project Representatives: John Holland

Documents Presented: existing conditions photos, elevations, perspective renderings, shop drawings.

Discussion Topics:

- Significance of contemporary architecture; Graham Gund
- Visibility from public way
- Documenting existing conditions
- Use
- Lighting location
- Previous approval
- Cladding of head house
- Head house roof style

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Public Comment: BHAC: Recommended that the application be denied/withdrawn because it would likely need zoning signoff.

Commissioner Blumethal motioned to approve the application with the provisos that the head house has a flat room and copper finish and that the head house is as short as possible. The existing headhouse is to be documented prior to deconstruction and submitted to staff for final approval. Commissioner Richmond seconded the motion. The vote was 4-0-0.

**APP # 21.0559 BH 20 CHESTNUT STREET
APPROVED WITH PROVISOS 4-0-0 (AA, MB1, AR, PV2)**

Applicant: Frank McGuire

Proposed Work: At rear façade visible from Beacon Street, replace skylight in kind, build a new shed dormer (See Additional Items under Administrative Review)

Project Representatives: Frank McGuire

Documents Presented: Existing conditions, mock up photos, shop drawings and dormer options drawings

Discussion Topics:

- Visibility of dormer from Beacon Street
- Materials used for roofing
- Style of dormer
- Interior layout and structural stability (outside the purview of the Commission)

Public Comment: BHAC: Visible from Beacon Street, should be denied

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COMMISSIONER BLUMENTHAL MOTIONED APPROVE THE APPLICATION WITH THE PROVISOS THAT THE DORMER WAS APPROVED AS A “NANTUCKET” STYLE DORMER THAT IS BUILT BETWEEN THE TWO EXISTING DOG HOUSE DORMERS. SKYLIGHTS ARE APPROVED FOR REPLACEMENT, IF THERE IS DOCUMENTATION THAT SHOWS THEY WERE PREVIOUSLY APPROVED BY THE COMMISSION OR BUILT BEFORE 1955. COMMISSIONER VINEBURGH SECONDED THE MOTION. THE VOTE WAS 4-0-0.

**APP # 21.0560 BH 83 PHILLIPS STREET
CONTINUED 4-0-0 (AA, MB2, AR, PVI)**

APPLICANT: Harry Dileo

PROPOSED WORK: *At roof level, increase the height of the head house, reclad headhouse, new seating, wall sconce, pergola,*

Project Representatives: *Harry Dileo*

Documents Presented: *Existing conditions, shop drawings, renderings*

Discussion Topics:

- *Zoning approval*
- *Visibility*

Public Comment: *BHAC: Is visible from Cambridge Street.*

COMMISSIONER VINEBURGH MOTIONED TO CONTINUE THE APPLICATION UNTIL ZONING REVIEWS THE APPLICATION COMMISSIONER BLUMENTHAL SECONDED THE MOTION. THE VOTE WAS 4-0-0



APP # 21.0561 BH 64 WEST CEDAR STREET
APPROVED WITH PROVISOS 4-0-0 (AA, MB2, AR, PVI)
APPLICANT: Keith Lattuca
PROPOSED WORK: At roof level, rebuild roof deck.

Project Representatives: Keith Lattuca

Documents Presented: Existing conditions, shop drawings, renderings, previous approval.

Discussion Topics:

- Zoning approval
- Visibility
- Mock-up
- Existing conditions photographs
- Previous BHAC approval.

Public Comment: BHAC recommended that the rail be pushed back, and that mockup be remanded to staff.

COMMISSIONER VINEBURGH MOTIONED TO REMAND THE DETAILS TO STAFF FOR FINAL APPROVAL COMMISSIONER BLUMENTHAL SECONDED THE MOTION. THE VOTE WAS 4-0-0

II. ADMINISTRATIVE REVIEW/APPROVAL: In order to expedite the review process, the commission has delegated the approval of certain work items, such as those involving ordinary maintenance and repair, restoration or replacement, or which otherwise have a minimal impact on a building's appearance, to commission staff pending ratification at its monthly public hearing. Having been identified as meeting these eligibility criteria and all applicable guidelines, the following applications will be approved at this hearing:

► Applicants whose projects are listed under this heading **NEED NOT APPEAR at the hearing.** Following the hearing, you will be issued a Determination Sheet to present at the Inspectional Services Department (1010 Massachusetts Avenue) as proof of project approval when applying for permits. ISD personnel will send an electronic copy of your building-permit application to the commission staff for review. (To avoid potential confusion, the text of your



building-permit application should be consistent with the project description given below.) Commission staff will accordingly authorize the execution of the work, attaching any applicable provisos, reflecting the relevant guidelines and precedents.

► PLEASE NOTE THAT FOLLOWING ISSUANCE OF THE DETERMINATION SHEET NO FURTHER CORRESPONDENCE WILL BE ISSUED FOR THE APPLICATIONS LISTED BELOW. *The electronic building-permit application as annotated by commission staff will constitute your Certificate of Appropriateness; this will be valid for one year from the date of the hearing. The applicant is required to notify the commission of any project changes; failure to do so may affect the status of the approval.*

► If you have any questions not addressed by the above information, please contact staff at 617.635.3850 or BeaconHillAC@boston.gov Thank you.

APP # 21.0562 BH 19 REVERE STREET At front and side façade, level 1, replace eight aluminum clad, 1 over 1 windows, with wood 1 over 1 windows.

APP # 21.0563 BH 32-34 HANCOCK STREET At rear façade, spot repoint brick, replace all cracked lintels in kind.

APP # 21.0564 BH 42 IRVING STREET At front façade garden level, replace one non-original, 6 over 6, true divided light wood, window with one, 6 over 6, wood, true divided light, window.

APP # 21.0565 BH 63 CHESTNUT STREET At Charles Street façade, install two Provia storm windows as indicated on the application.

APP # 21.0566 BH 140 MOUNT VERNON STREET At Mount Vernon Street façade, top floor, replace five, 6 over 6, wood windows with five, 6 over 6, true divided light, wood windows.

APP # 21.0567 BH 20 REVERE STREET At street level, install a tree guard using the specifications established by the Commission as well as the Beacon Hill Civic Association.

APP # 21.0 568 BH 22 IRVING STREET At front façade, level three, replace four, 2 over 2, true divided light, aluminum clad windows with four, 2 over 2, wood, true divided light windows (at the recommendation of the Commission at the 11-2020 hearing).

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APP # 21.0559 BH 20 CHESTNUT STREET At front façade, dormer level, replace 2 vinyl 6 over 6 windows with two, wood, 6 over 6, wood windows with true divided lights, replace rear shingles in kind, repaint/repair metal rail in kind, (See Additional Items Under Design Review).

COMMISSIONER VINEBURGH MOTIONED TO APPROVE THE ADMINISTRATIVE REVIEW ITEMS. COMMISSIONER ALLEN SECONDED THE MOTION. THE VOTE WAS 5-0-0.

II. RATIFICATION OF 12/17/2020 PUBLIC HEARING MINUTES

COMMISSIONER VINEBURGH MOTIONED TO APPROVE THE MEETING MINUTES. COMMISSIONER ALLEN SECONDED THE MOTION. THE VOTE WAS 4-0-0.

III. STAFF UPDATES

IV. ADJOURNMENT: 6:55 PM

COMMISSIONER VINEBURGH MOTIONED TO ADJOURN MEETING COMMISSIONER ALLEN SECONDED THE MOTION. THE VOTE WAS 4-0-0.

DATE ORIGINALLY POSTED: 11/9/2020