

RUTLAND SQUARE RESIDENCE

18 RUTLAND SQUARE
BOSTON, MA, 02118

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Boston, MA 02210
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PERMIT SET

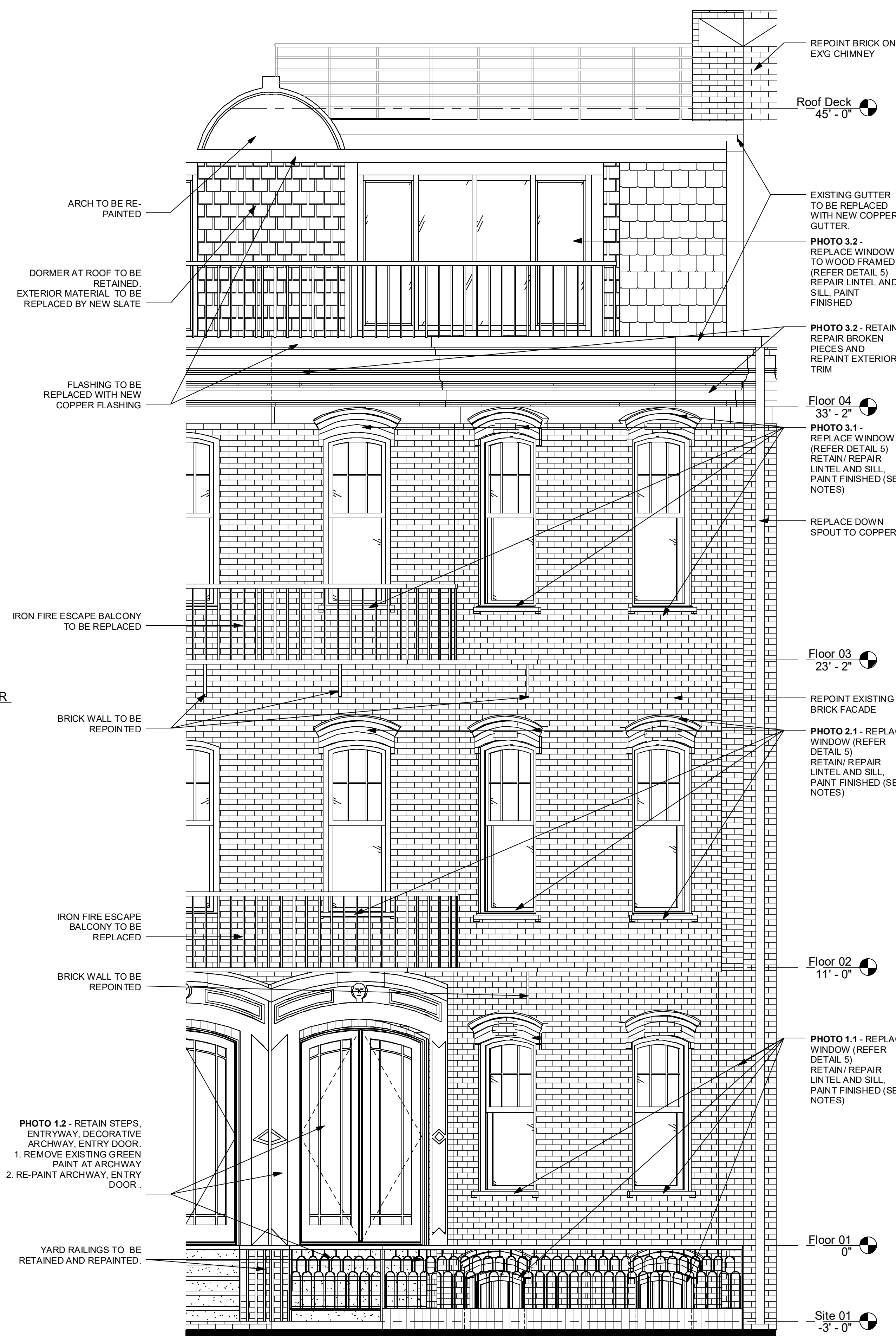
No.	Description	Date

Scale: As indicated
Project Number: 22.017
Date: 02/28/2023
Drawn by: PS
Checked by: DS

A-201 FRONT FACADE REMEDATION ELEVATION

FINISH NOTES

1. ALL BROWNSTONE LINTELS & SILLS FINISH:
- 2 Coats: A24W01451 - Loxon XP Waterproofing Masonry Coating - Natural Stone Finish



2 FRONT ELEVATION
3/8" = 1'-0"

3 WINDOW REPLACEMENT BY JB SASH & DOOR
6" = 1'-0"

1 Axon - Garden Level Windows

PROPER BOSTONIAN
QUALITY THAT STANDS THE TEST OF TIME
Historic Replacement Windows
Locally manufactured by JB Sash & Door
We don't just make windows. We recreate history.

HISTORIC SOLUTION
Approved by the Architectural District Commissions of Boston
An on-site solution through the process of repair and replacement.

About Us
At JB Sash & Door we have over 60 years of historic preserving, restoring, painting and repairing windows and exterior masonry in Boston and surrounding areas.

Why Us
Our custom reproductions can match existing windows and fit any brick or wood opening. We'll work with you to secure necessary permits & help ensure your project is approved.

Turnkey Solution
1. FREE on-site measurements and advice
2. Thorough photography, drawing and application for Boston Architectural Commission approval
3. Complete permit application and approval service
4. Full design, construction, painting, delivery and installation



PHOTO 4.1 - REPLACE WINDOWS (REFER DETAIL 5) AND REPLACE ROOF TRIM



PHOTO 3.2 - RETAIN, REPAIR BROKEN PIECES AND REPAINT EXTERIOR TRIM

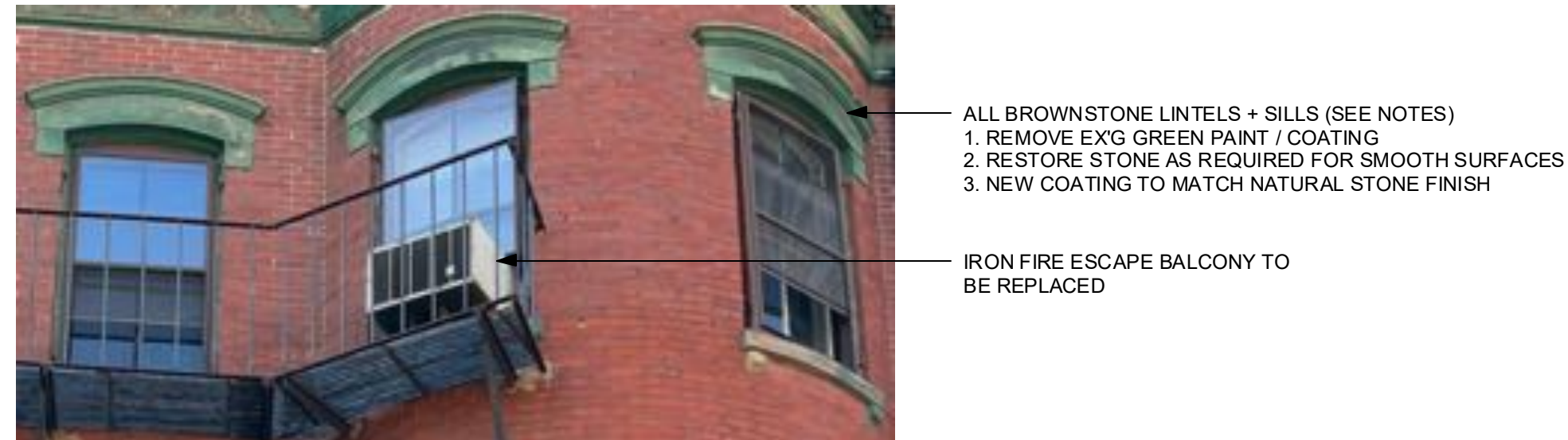


PHOTO 3.1 - REPLACE WINDOW (REFER DETAIL 5) RETAIN/ REPAIR LINTEL AND SILL, PAINT FINISHED (SEE NOTES)



PHOTO 2.1 - REPLACE WINDOW (REFER DETAIL 5) RETAIN/ REPAIR LINTEL AND SILL, PAINT FINISHED (SEE NOTES)



PHOTO 1.1 - REPLACE WINDOW (REFER DETAIL 5) RETAIN/ REPAIR LINTEL AND SILL, PAINT FINISHED (SEE NOTES)

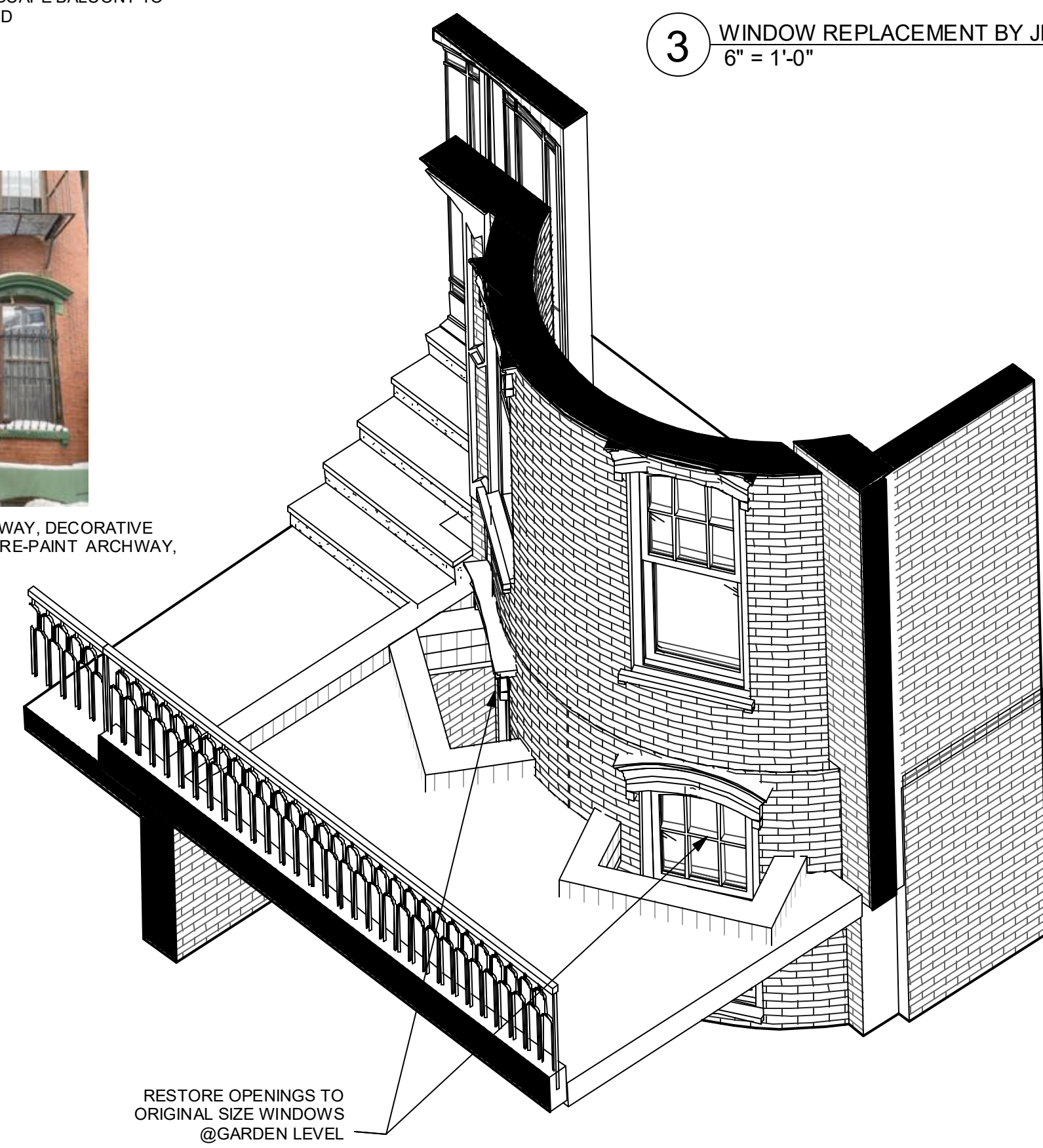
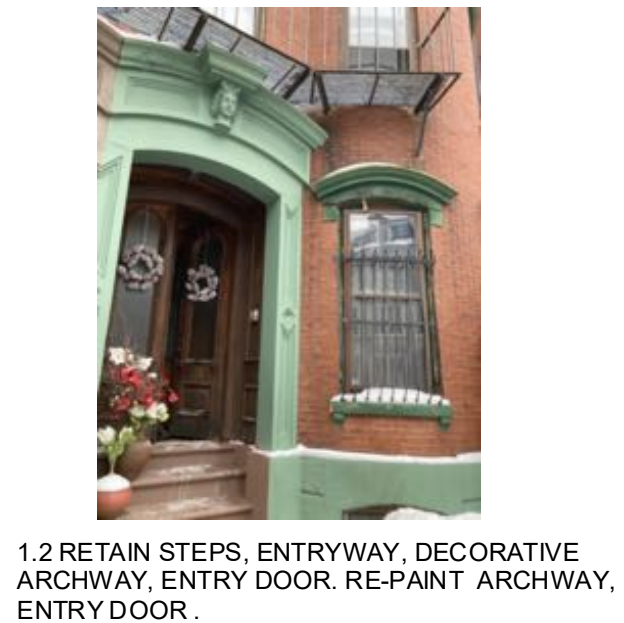


PHOTO 1.1 - REPLACE WINDOW (REFER DETAIL 5) RETAIN/ REPAIR LINTEL AND SILL, PAINT FINISHED (SEE NOTES)

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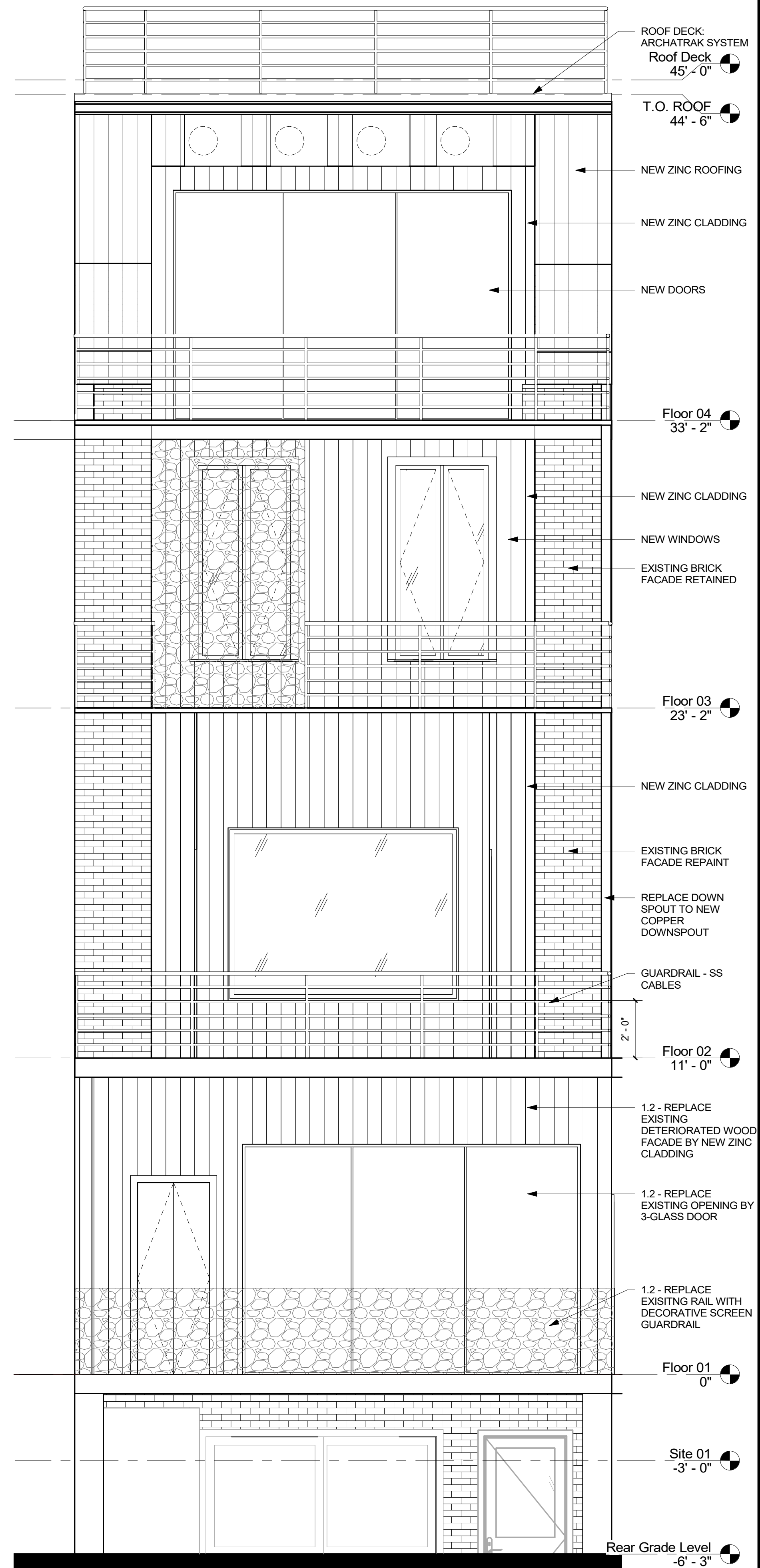
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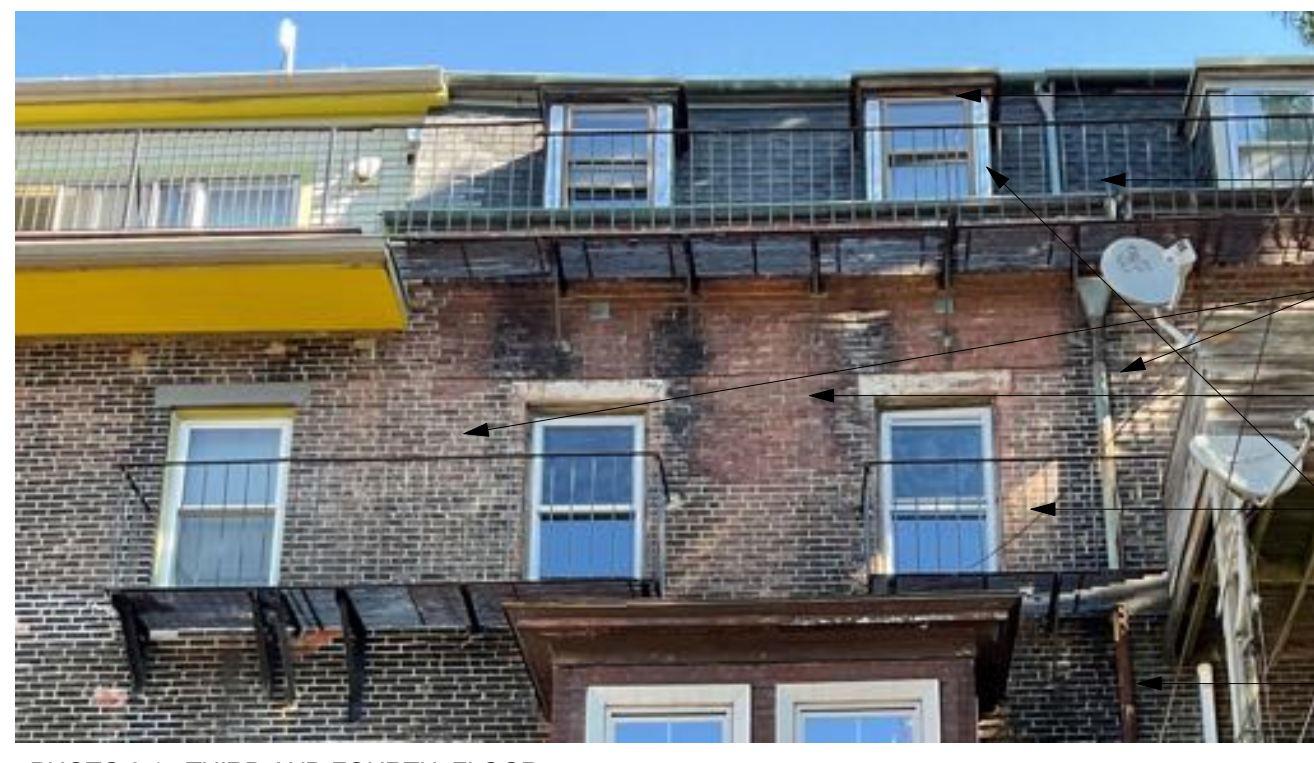
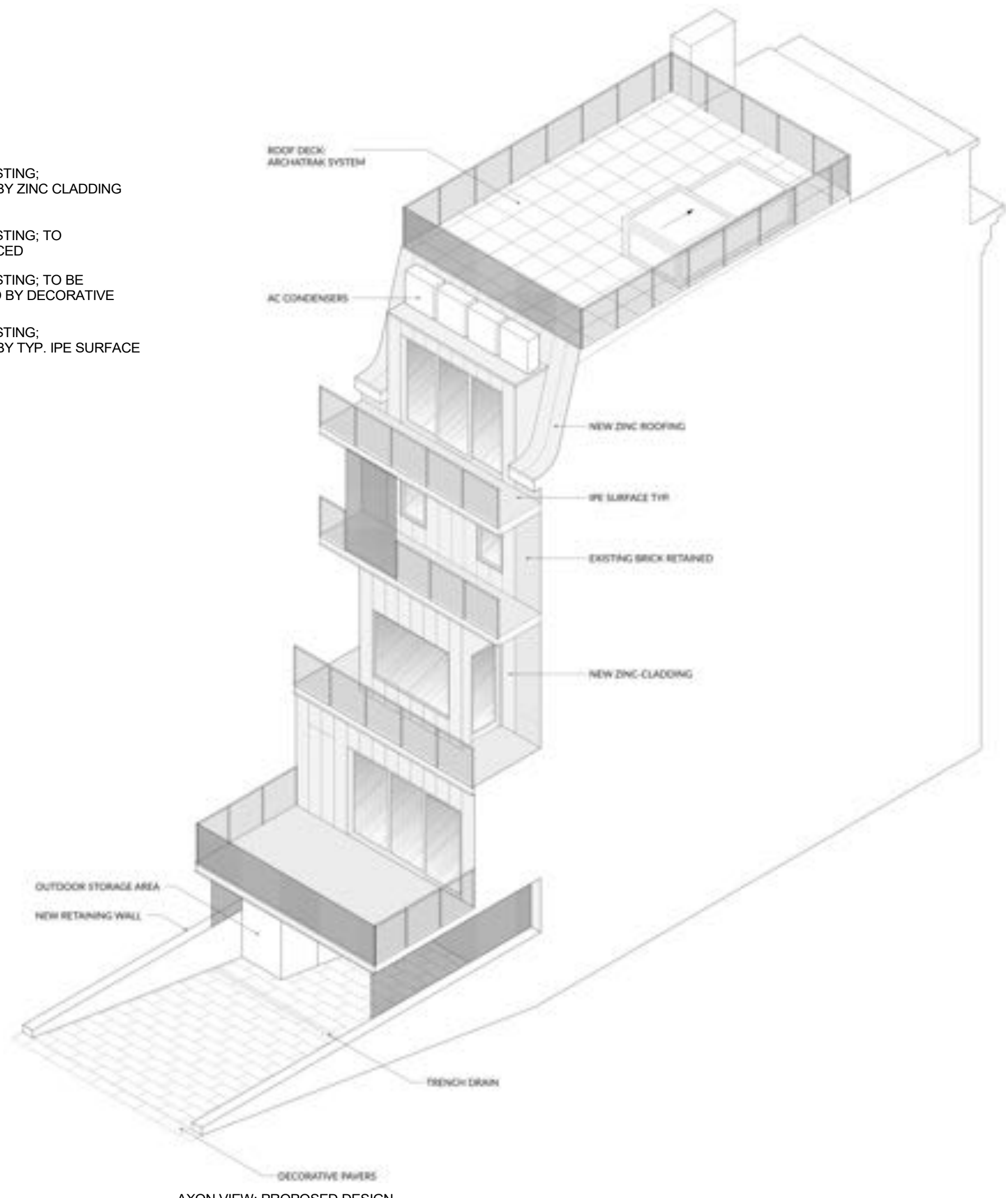
No.	Description	Date

Scale	3/8" = 1'-0"
Project Number	22.017
Date	02/28/2023
Drawn by	PS
Checked by	DS

A-202 REAR FACADE REMEDATION ELEVATION



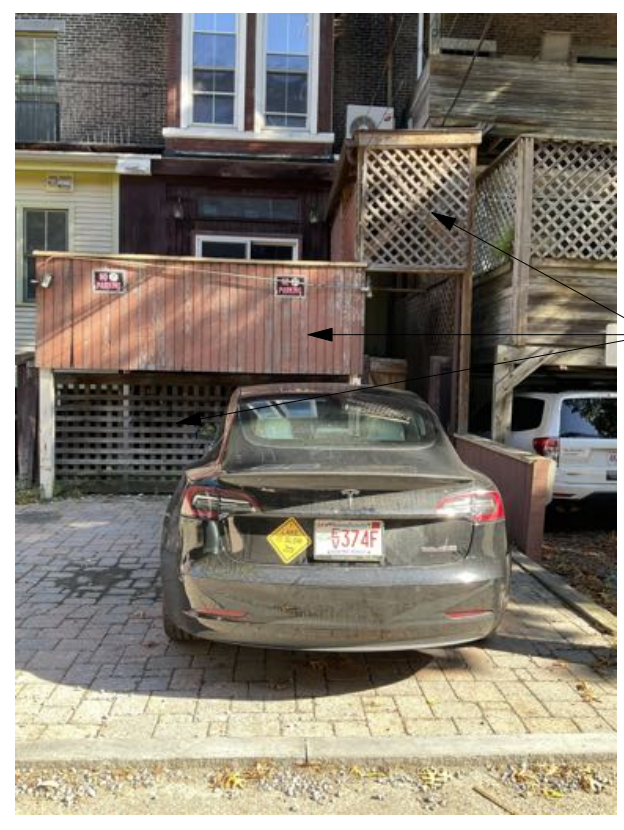
1 REAR ELEVATION
3/8" = 1'-0"



- RETAIN DORMERS, MODIFY TO WIDER OPENINGS
- REPLACE DAMAGED ROOF BY ZINC ROOFING
- RETAIN ORIGINAL BRICK ON THE SIDES, REPOINT AND REPAINT. REFER AXON.
- REPLACE DAMAGED BRICK FACADE IN THE MIDDLE WITH ZINC CLADDING
- IRON FIRE ESCAPE BALCONY TO BE RETAINED AND REPAINTED
- REPLACE CORRODED DOWN SPOUT BY NEW



- REPLACE DORMER EXTERIOR TO ZINC CLADDING
- REPLACE CORRODED DOWN SPOUT BY NEW
- RETAIN BRICK, REPOINT AND REPAINT
- IRON FIRE ESCAPE BALCONY TO BE RETAINED AND REPAINTED
- REPLACE CORRODED FLASHING BY NEW



DEMO EXISTING



- DEMO EXISTING: REPLACE BY ZINC CLADDING
- DEMO EXISTING: TO BE REPLACED
- DEMO EXISTING: TO BE REPLACED BY DECORATIVE SCREEN
- DEMO EXISTING: REPLACE BY TYP. IPE SURFACE

RUTLAND SQUARE RESIDENCE

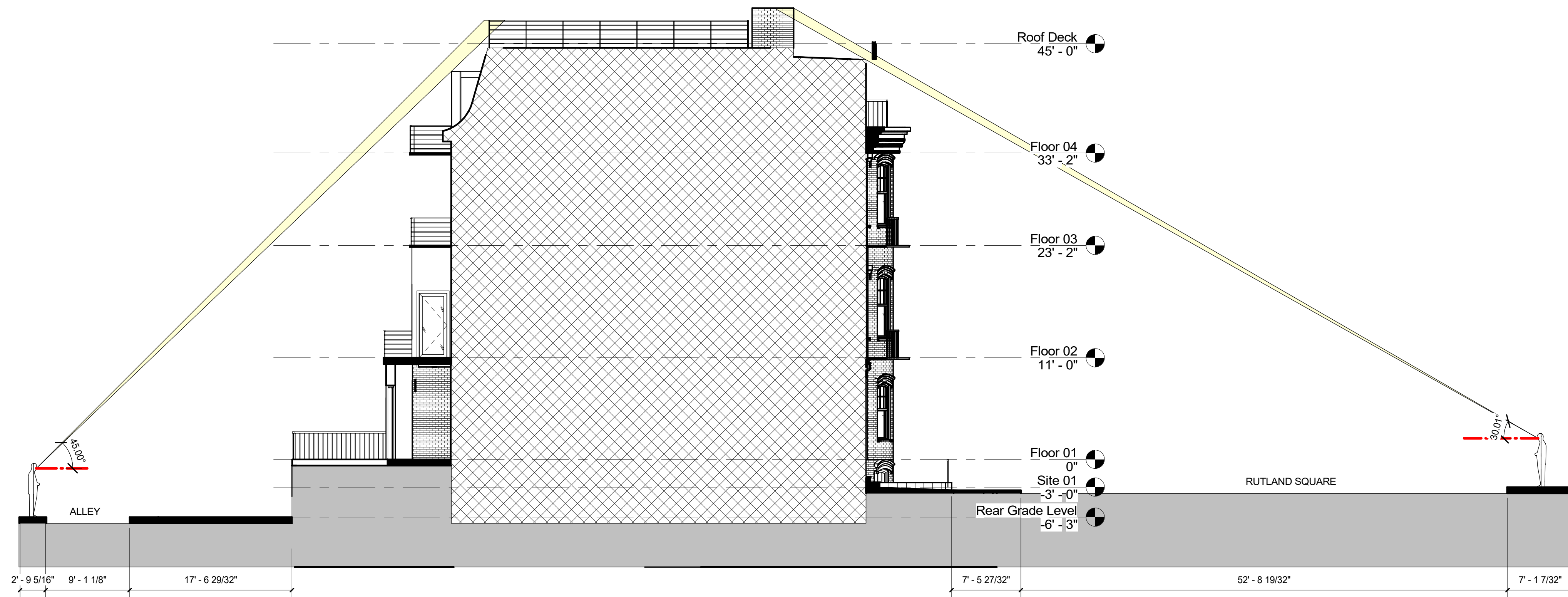
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BOSTON, MA, 02118

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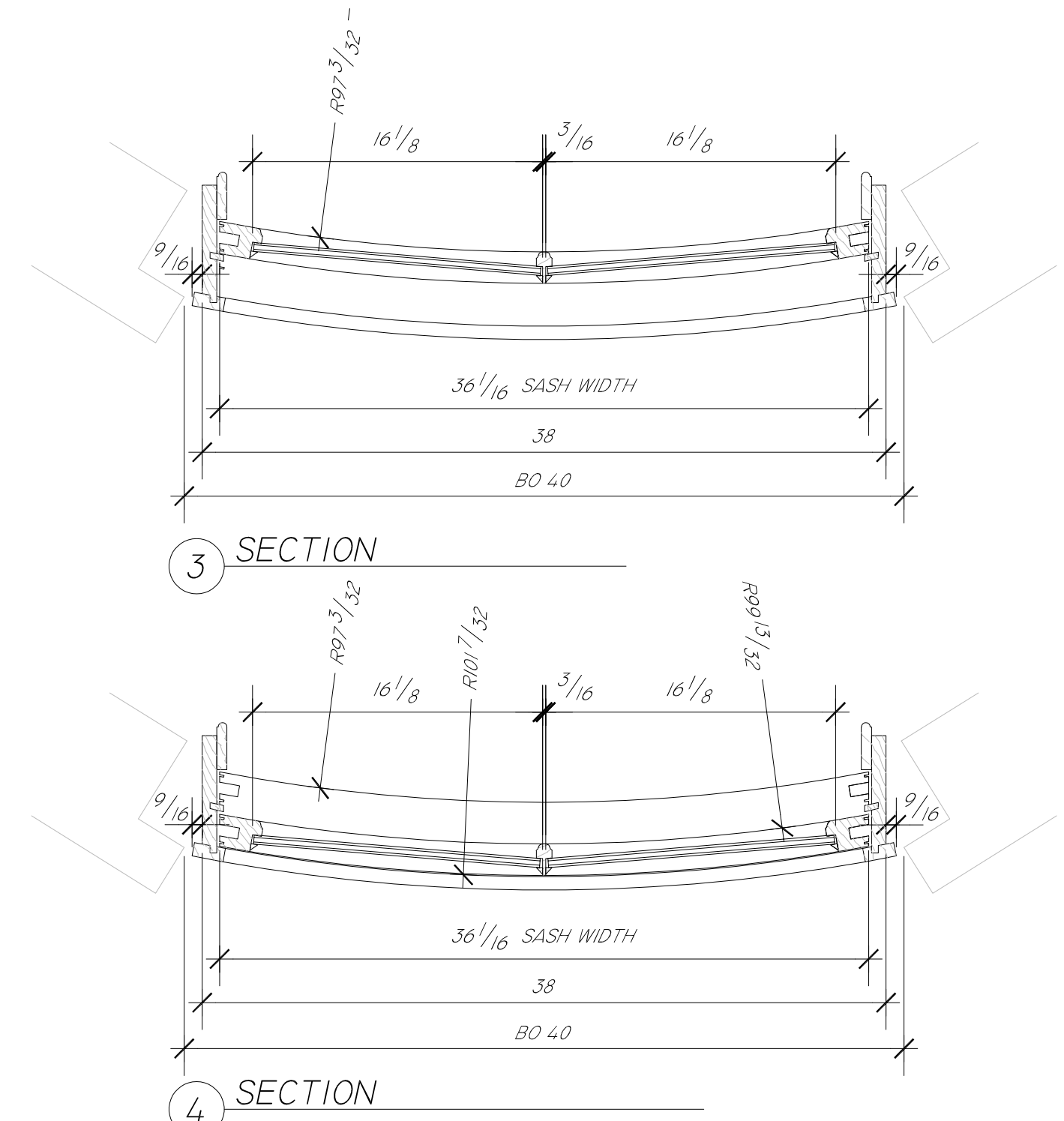
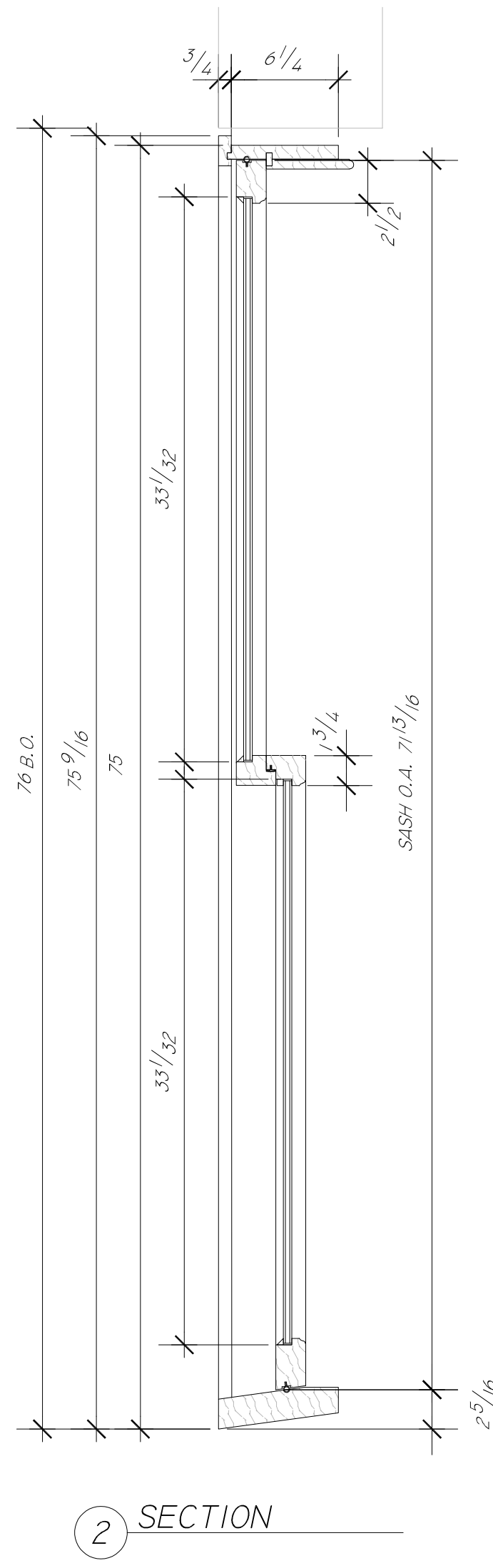
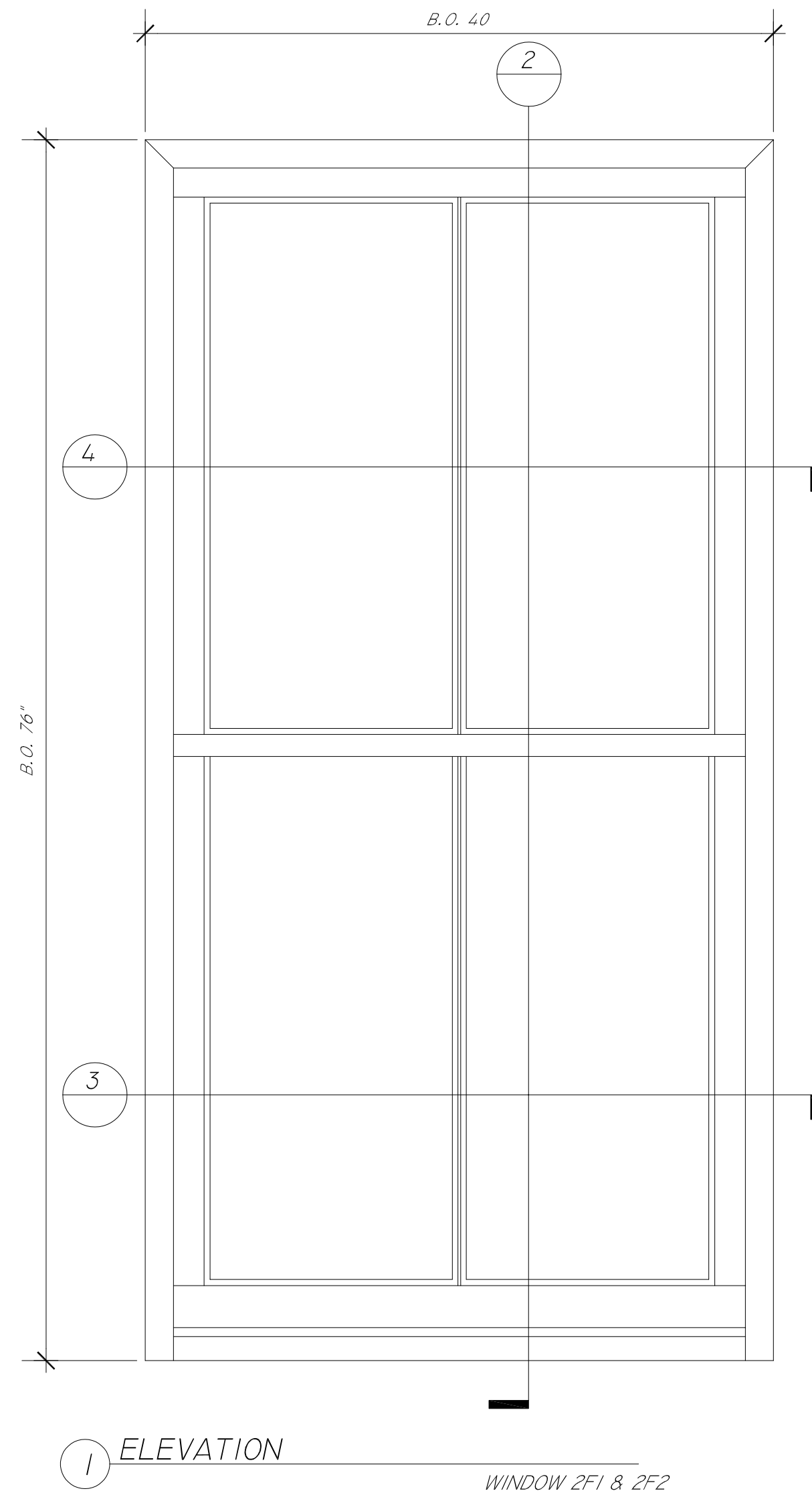


PERMIT SET

No.	Description	Date

Scale 1/8" = 1'-0"
Project Number 22.017
Date 02/28/2023
Drawn by PS
Checked by DS

A-203
VERTICAL FIELD OF VISION



GENERAL NOTES:
 WOOD SPECIES: _____
 INTERIOR FINISH: _____
 EXTERIOR FINISH: _____
 GLASS TYPE: _____
 SASH LOCK(S): _____
 SASH PULL(S): _____
 SCREEN(S): _____

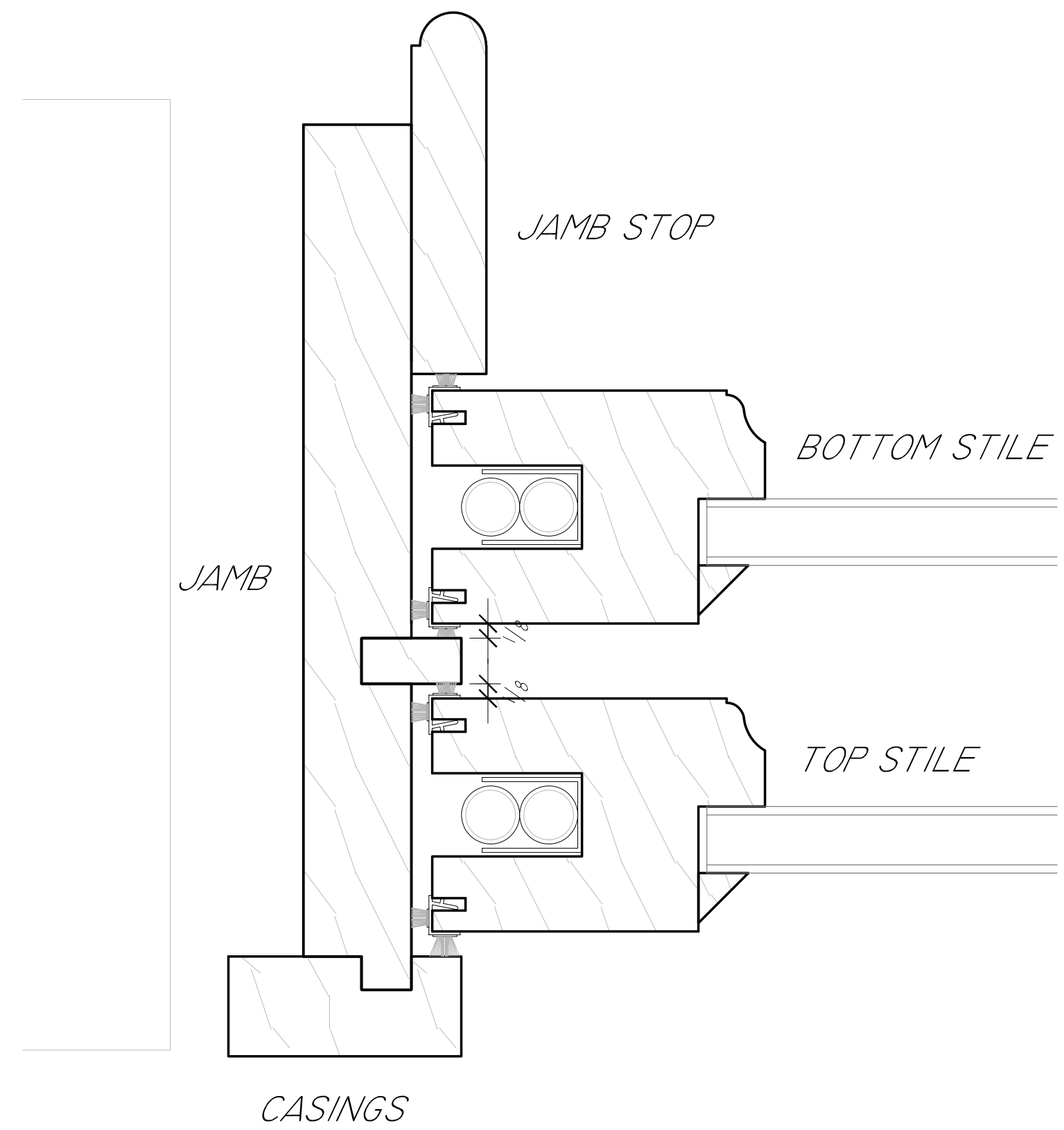
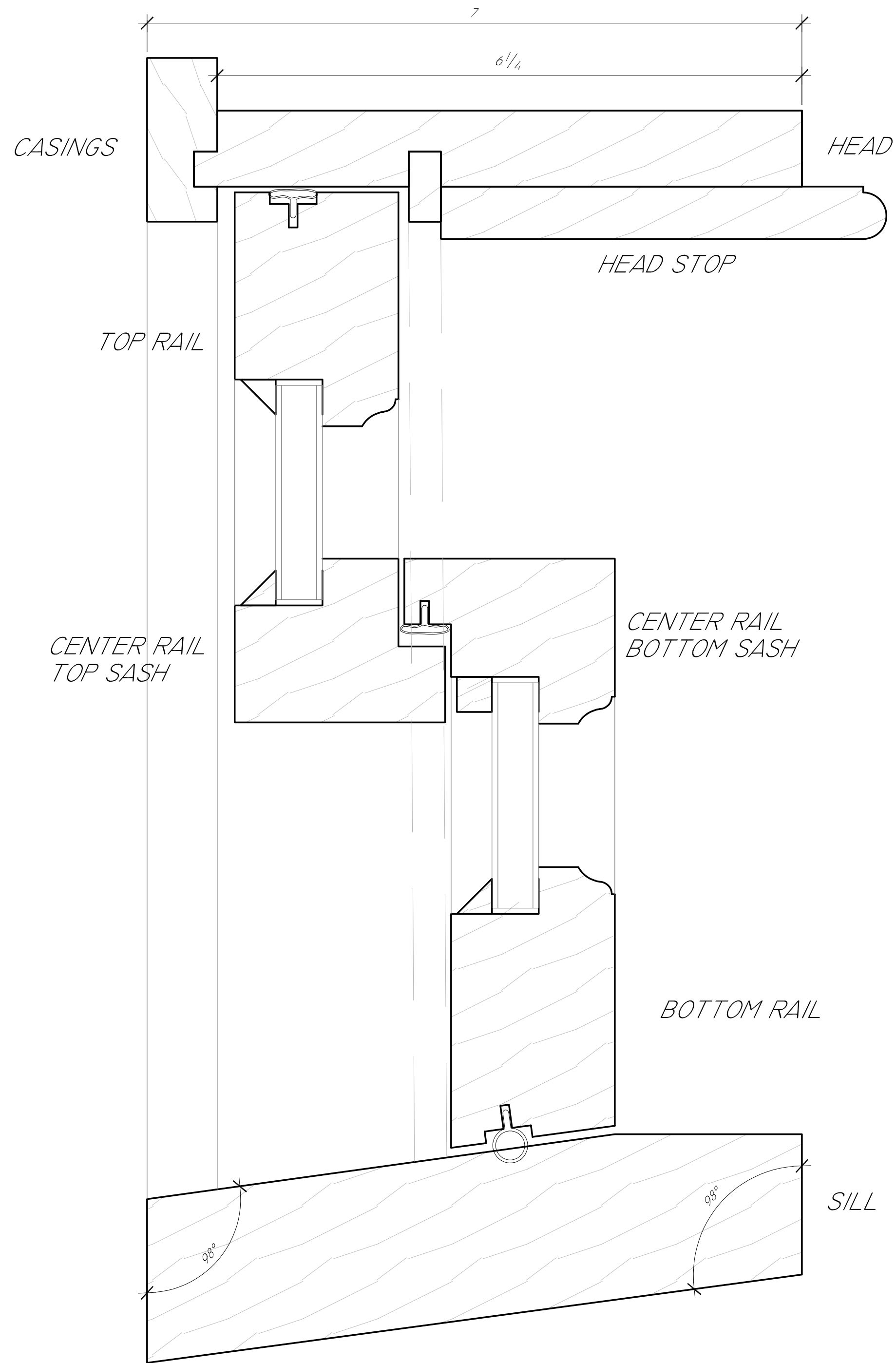
DOOR SWING: _____
 LOCKSET: _____
 HINGES: _____
 WEATHERSTRIPS: _____
 DOOR BOTTOM: _____
 THRESHOLD: _____
 INT CASING: _____
 EXT CASING: _____

JOB NUMBER:
 23001
 PM:
 GREGG MARTIN
 ENGINEER:
 DWG DATE: 03/28/2023
 REV 1: _____

DRAFTER:
 KTD
 REV 2: _____
 REV 3: _____
 REV 4: _____

PROJECT NAME:
 18 RUTLAND SQ., BOSTON, MA
 TITLE:
 WINDOW ELEVATION AND SECTIONS
 DRAWING NUMBER:

BOWED WINDOW



GENERAL NOTES:
 WOOD SPECIES: _____
 INTERIOR FINISH: _____
 EXTERIOR FINISH: _____
 GLASS TYPE: _____
 SASH LOCK(S): _____
 SASH PULL(S): _____
 SCREEN(S): _____

DOOR SWING: _____
 LOCKSET: _____
 HINGES: _____
 WEATHERSTRIPS: _____
 DOOR BOTTOM: _____
 THRESHOLD: _____
 INT CASING: _____
 EXT CASING: _____

JOB NUMBER:
 23001

PM:
 GREGG MARTIN

ENGINEER:
 DWG DATE: 03/28/2023
 REV 1: _____

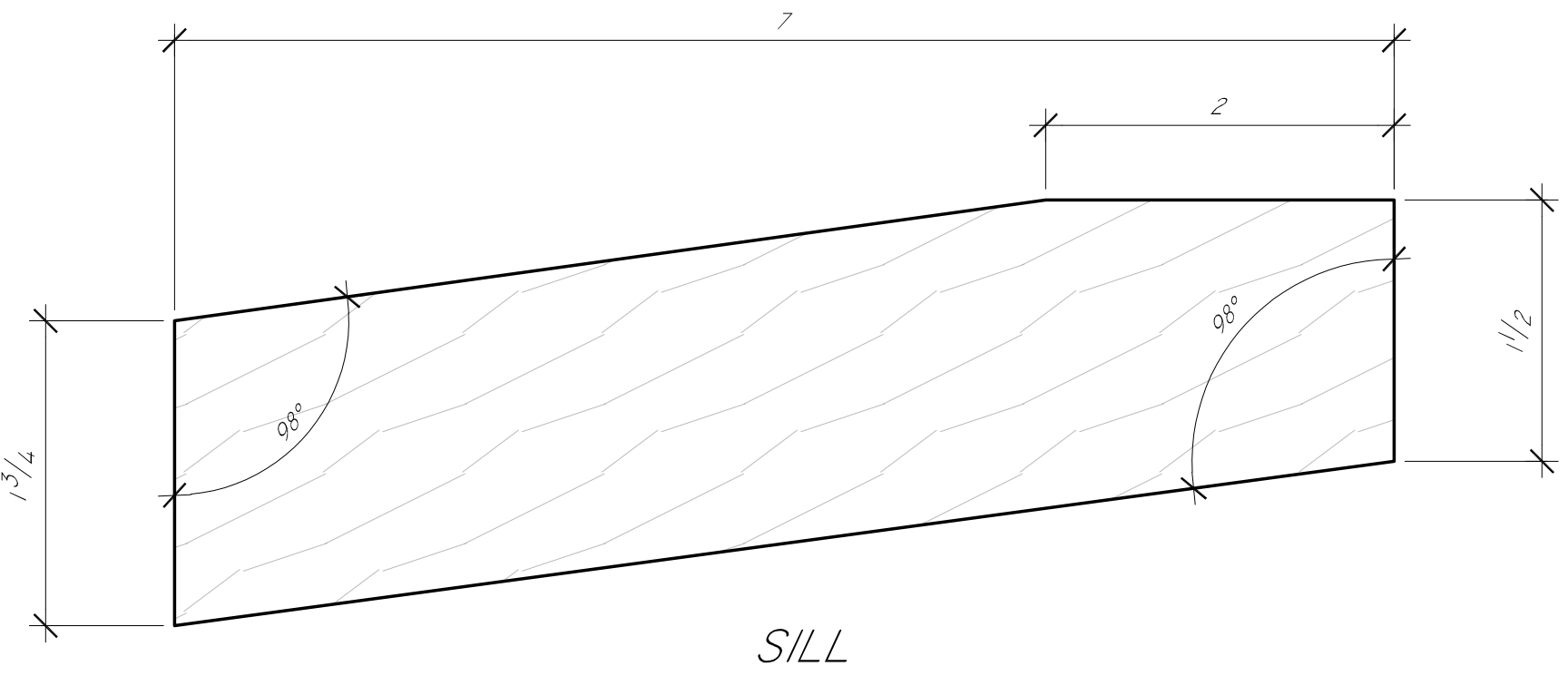
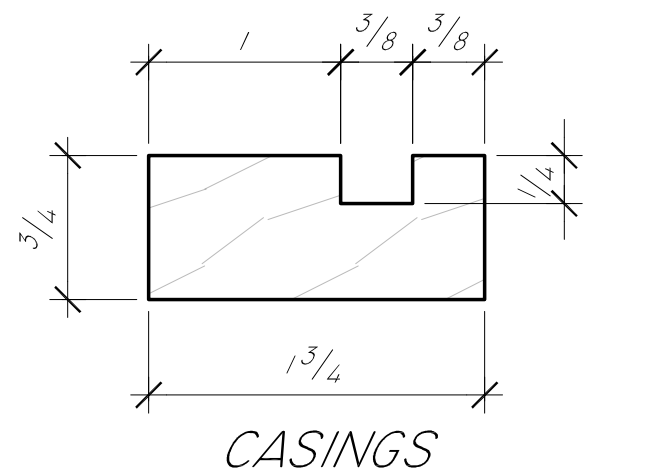
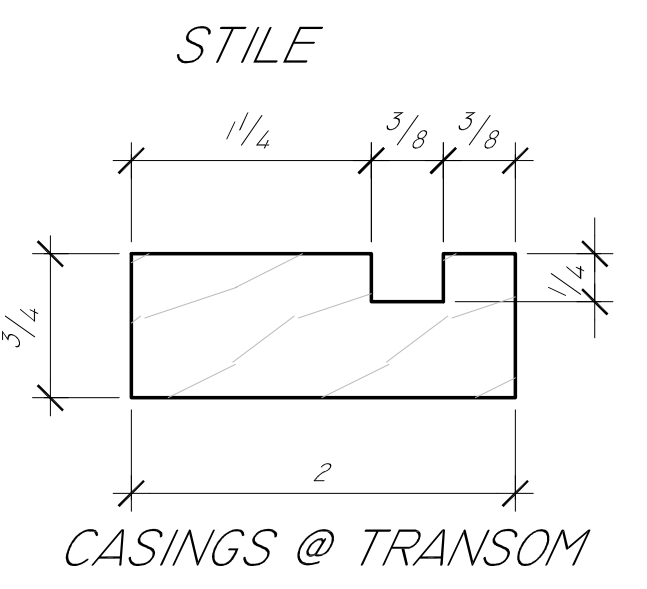
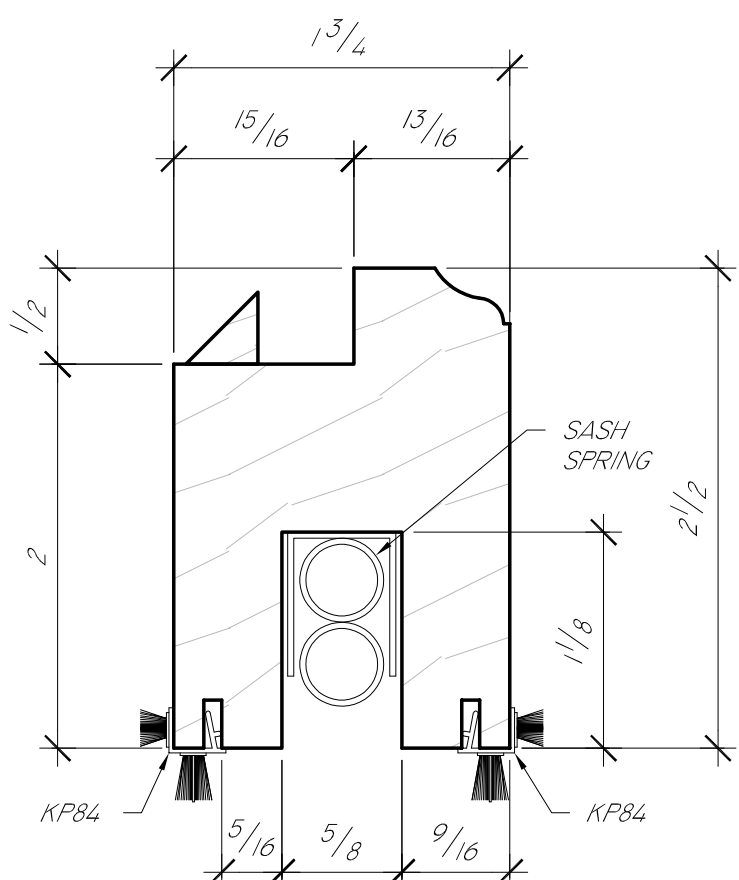
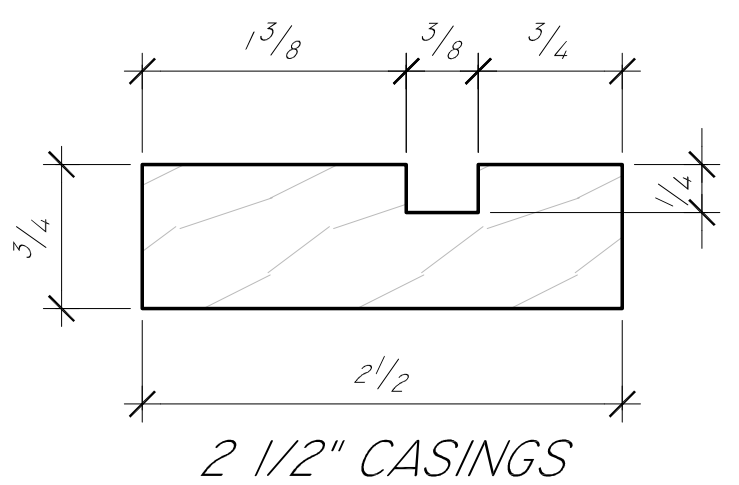
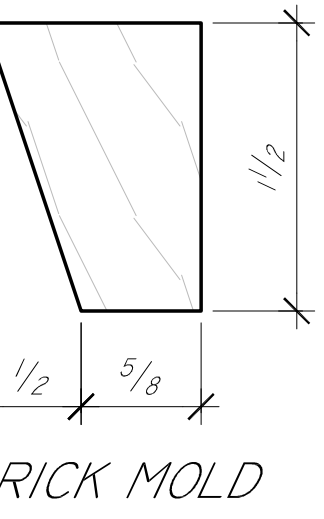
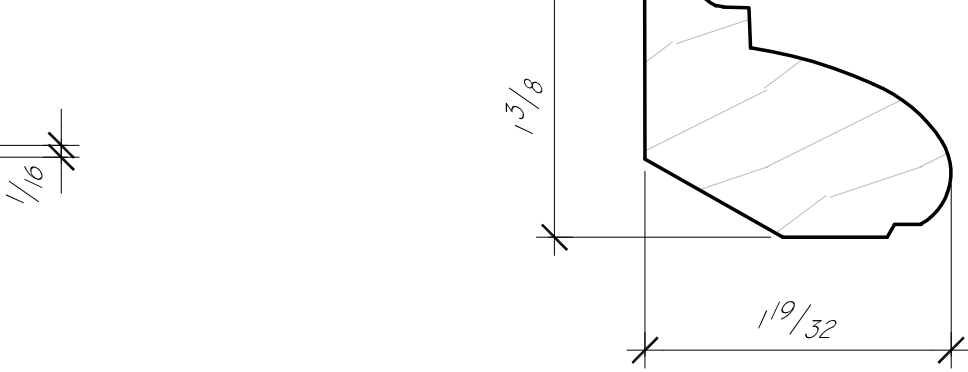
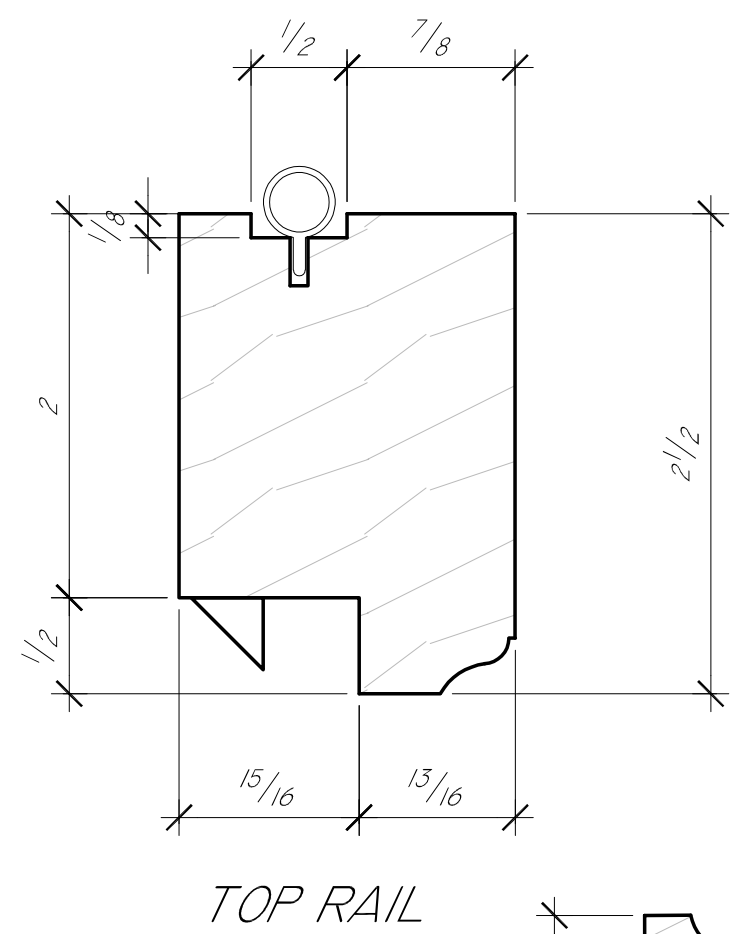
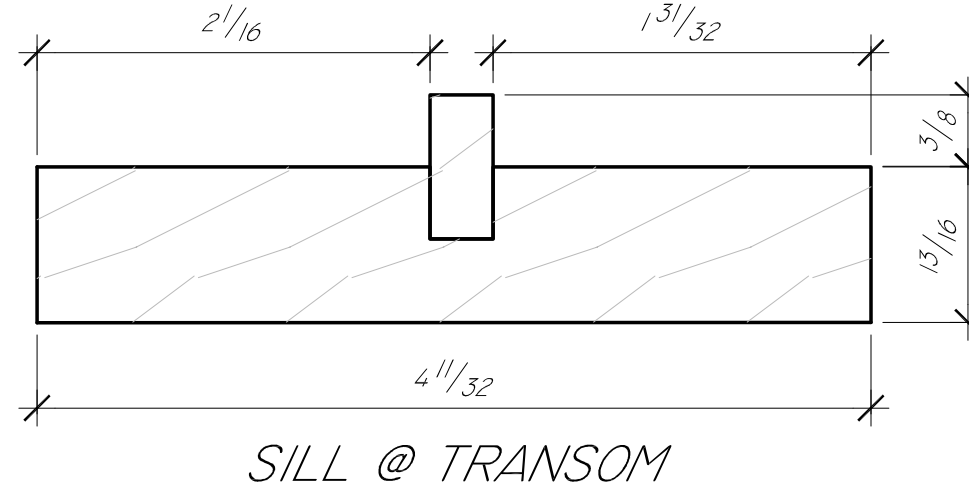
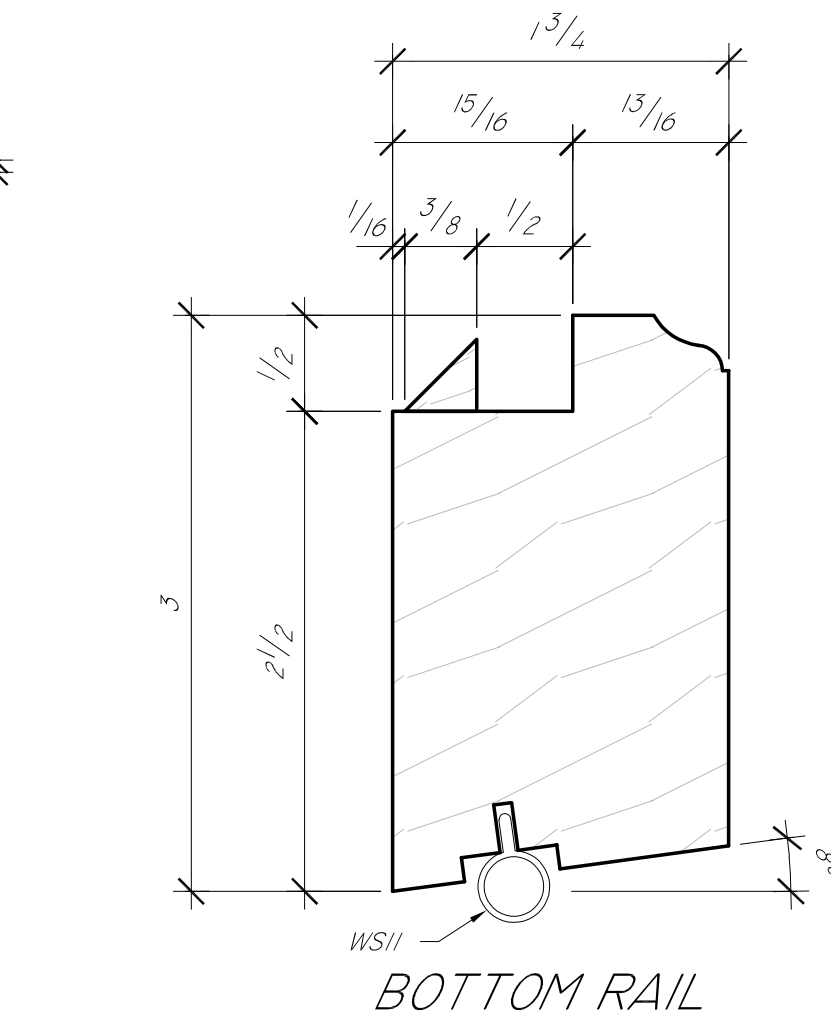
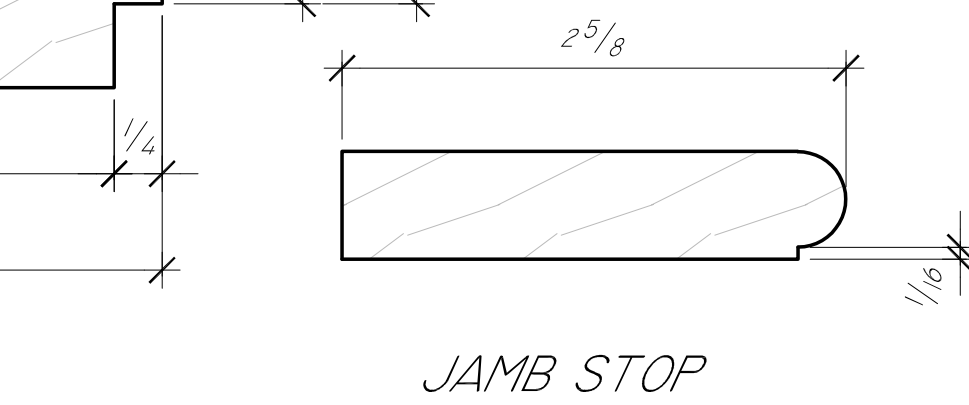
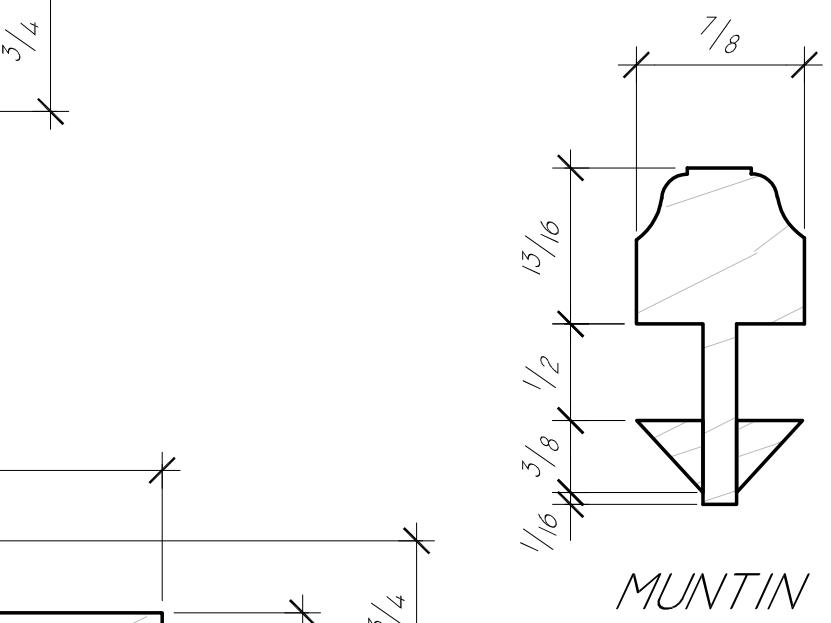
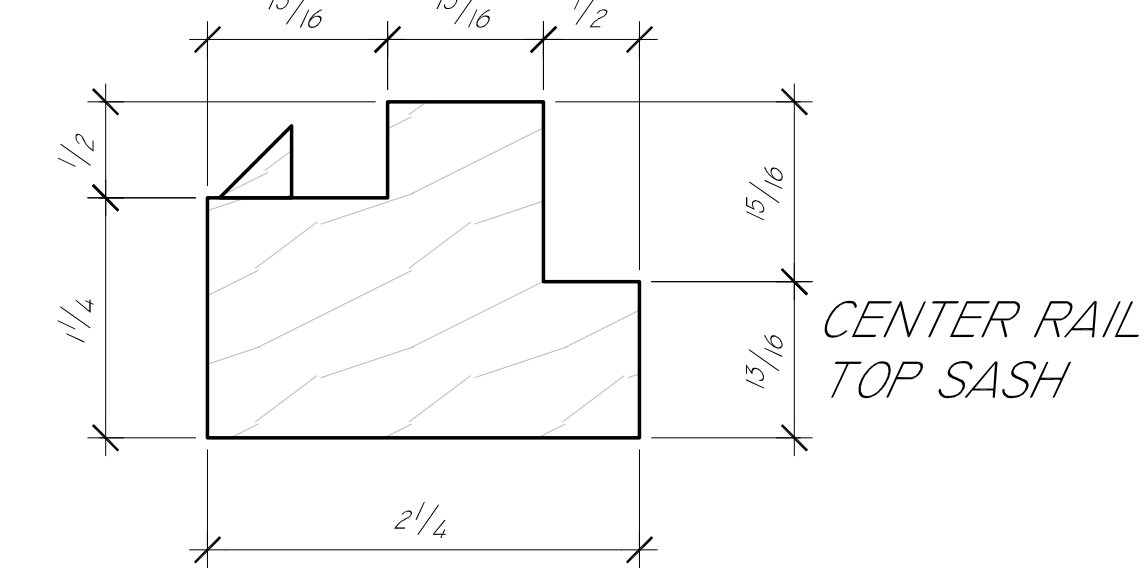
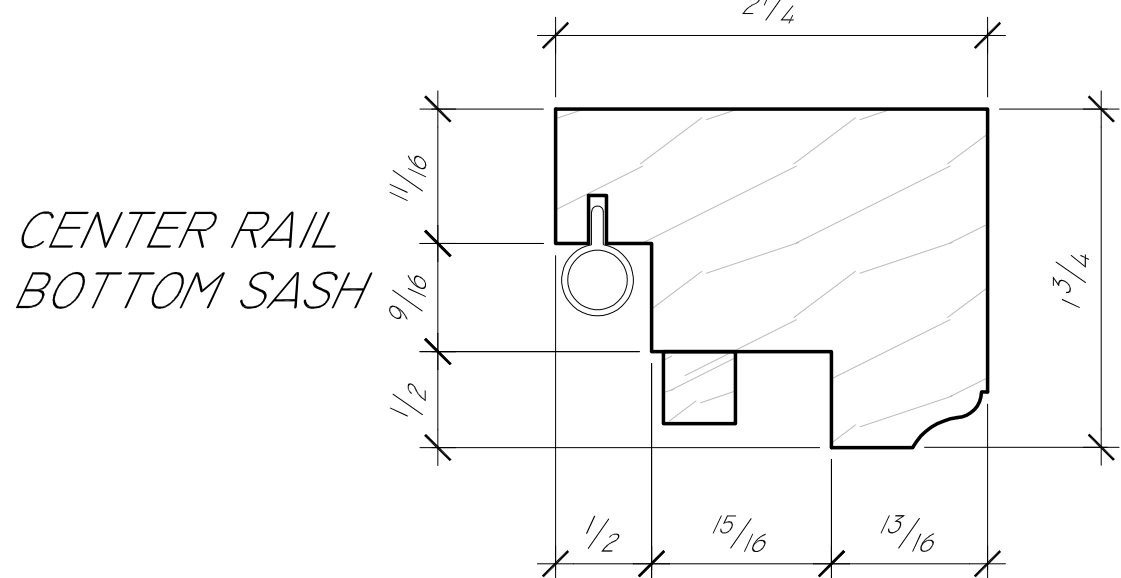
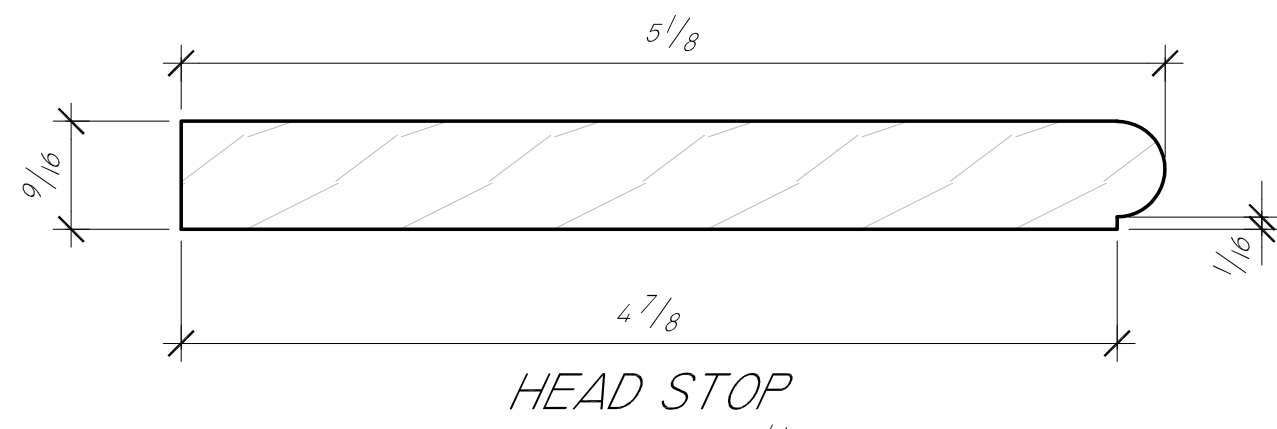
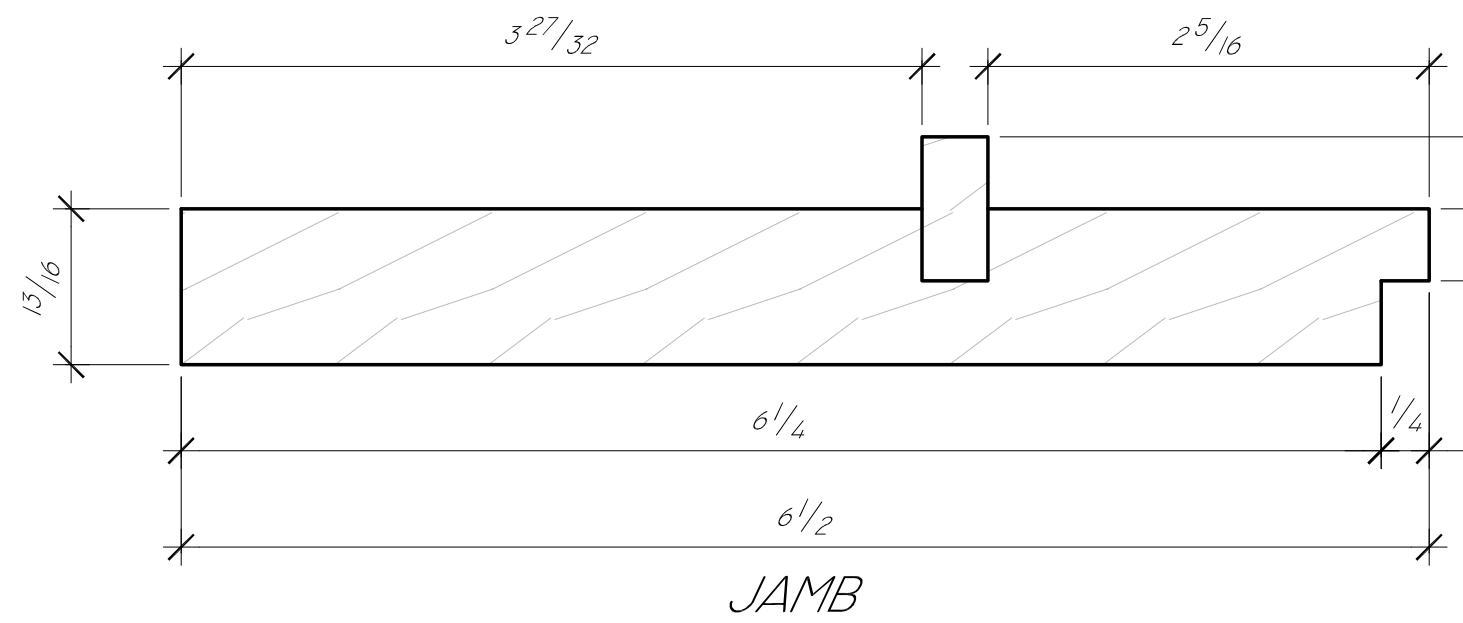
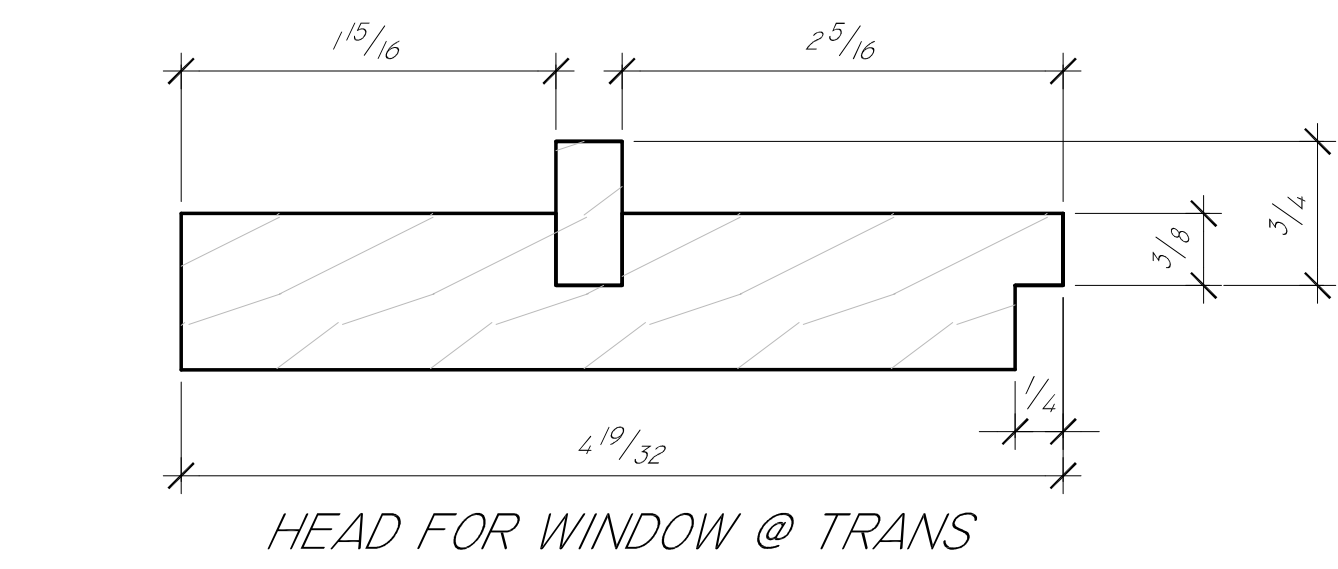
DRAFTER:
 KTD

REV 2: _____
 REV 3: _____
 REV 4: _____

PROJECT NAME:
 18 RUTLAND SQ., BOSTON, MA

TITLE:
 PART PROFILES

DRAWING NUMBER:



GENERAL NOTES:
 WOOD SPECIES: _____
 INTERIOR FINISH: _____
 EXTERIOR FINISH: _____
 GLASS TYPE: _____
 SASH LOCK(S): _____
 SASH PULL(S): _____
 SCREEN(S): _____

DOOR SWING: _____
 LOCKSET: _____
 HINGES: _____
 WEATHERSTRIPS: _____
 DOOR BOTTOM: _____
 THRESHOLD: _____
 INT CASING: _____
 EXT CASING: _____

JOB NUMBER:
 23001
 PM:
 GREGG MARTIN
 ENGINEER:
 DWG DATE: 03/28/2028
 REV 1: _____

DRAFTER:
 KTD
 REV 2: _____
 REV 3: _____
 REV 4: _____

PROJECT NAME:
 18 RUTLAND SQ., BOSTON, MA
 TITLE:
 PART PROFILES
 DRAWING NUMBER:
 PAGE 3 OF 3

PARTS

Difeo Architectural Millwork

34 Railroad Ave

Newfields, NH 03856

To whom it may concern;

March 23, 2023

We were asked by Holland Construction to do an assessment of the front windows at 18 Rutland Square.

This is what we came up with:

1. In every case the arched / Bowed windows had a square storm on them that completely covers the beauty of this window. The storm is a homemade looking thing that needs to be completely removed. These fragile windows will not hold up and be a good functioning window with out the help of those unsightly storms.

Overall, these windows are in poor condition and should be replaced. The sashes are not holding together well and can hardly be opened because of the caulk etc. that has been put on them in a hope of not letting the cold. The sills are rotting and the frames have been damaged along the way as well. The sashes no longer fit into the frame well enough to be weatherstipped.

Sincerely,

Zach Difeo