



STREET VIEW 2



STREET VIEW 1

RENOVATION TO UNITS 11 & 12 495-497 BEACON STREET, BOSTON, MA

PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
190 OLD COLONY AVENUE
BOSTON, MA 02127
TEL: 617-464-4363

RENOVATION TO UNITS 11 & 12
495-497 BEACON STREET
BOSTON, MA 02215

OWNER:
FOXCROFT, INC.
497 BEACON STREET, UNITS 11 & 12
BOSTON, MA 02215
TEL: 617-304-9460

PROJECT INFO:

Address: 495-497 Beacon Street, Boston, MA
Exist. Occupancy:
Proposed Occupancy:

Lot:
Parcel:
District:
Ward:

SCHEDULE OF DRAWINGS

- A00 PROJECT INFORMATION
- C01 SITE/ BUILDING SECTION
- X01 PHOTOS AT FRONT
- X02 PHOTOS AT REAR
- X03 PHOTOS: PARTIAL DEMOLITION
- A01 CRAWLSPACE FLOOR PLAN
- A02 LOWER LEVEL FLOOR PLAN
- A03 FIRST FLOOR PLAN
- A04 SECOND FLOOR PLAN
- A05 THIRD FLOOR PLAN
- A06 FOURTH FLOOR PLAN
- A07 FIFTH FLOOR & LOWER ROOF PLAN
- A08 UPPER ROOF PLAN
- A09 1-1 BUILDING SECTION
- A10 2-2 BUILDING SECTION
- A11 3-3 BUILDING SECTION
- A12 4-4 BUILDING SECTION
- A13 NORTH (BEACON STREET) ELEVATION
- A14 EAST (ALLEY) ELEVATION
- A15 SOUTH (ALLEY) ELEVATION
- A16 WEST ELEVATION
- A17 SCHEDULES
- A18 WALL/ FLOOR TYPES
- A19 WALL/FLOOR TYPES

REVISIONS

△	12/04/20	△	08/21/23
△	12/24/20	△	
△	01/09/21	△	
△	02/25/21	△	
△	11/02/21	△	

Tim Johnson Architect, LLC



PRELIMINARY DWG. SET

DRAWING TITLE

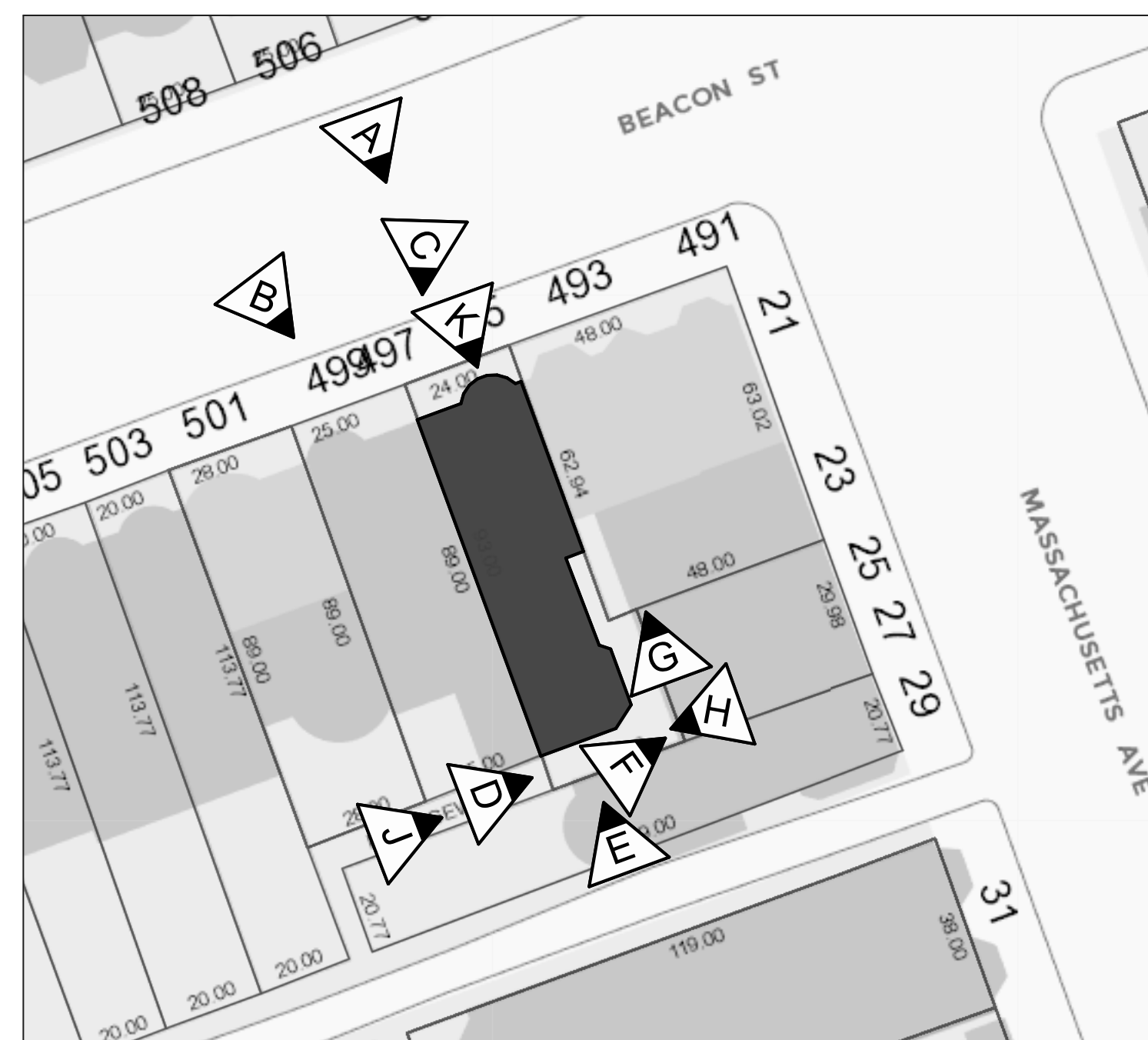
PROJECT INFORMATION

DATE: 10/02/20 SC: N. T. S.

A00

Net Square Footage*		
Level	GSF	FAR SF*
LL	1,798.0 sf	1,718.0 sf
1	1,798.0 sf	1,798.0 sf
2	1,702.0 sf	1,702.0 sf
3	1,702.0 sf	1,702.0 sf
4	1,702.0 sf	1,702.0 sf
5	910.0 sf	910.0 sf
Totals	9,612.0 sf	9,532.0 sf

*FAR square footage is measured to ext. face of walls and dimising walls and excludes basement, storage, laundry and mechanical areas.



FOR PHOTOGRAPHS, SEE SHEET X01 & EXTERIOR ELEVATION SHEETS A12-A15

9/25/20					
497 Beacon St., Boston, MA					
BOSTON ZONING CODE REVIEW					
1.) Parcel 3888 is located in the B-8-1206 zoning subdistrict/Boston Proper.					
2.) The lot contains: 2,412 sf +/-.					
2.) The proposed renovation of Units 11 & 12 with the multi-family building contains a total of 9,612.0 FAR sf.					
3.) Any dwelling converted for more families in separate dwelling units is an allowed use.					
4.) Article: Underlying Zoning: (any dwelling)					
√	Item	Zone	Article: Underlying Zoning Req'd/Allowed	Reno'd 12-unit bldg.	Remarks
	a.) Lot size min.	B-8-120b	None	2,412 sf +/-	
	b.) Lot area min./add'l unit	H-3-65	None	N/A	
	c.) Lot width min.	H-3-65	None	24 ft	
	d.) Floor to area ratio	B-8-120b	8.0	4.0	Note 4
	e.) Height of building max.	"	No stories/120 ft	5 st/58.5 ft	
	f.) Usable open space/D.U.	H-3-65	50 sf/D.U.	73 sf/D.U.	Note 6
	g.) Front yard min. depth	"	20 ft	10 ft +/- existing	Note 2
	h.) Side yard min. depth	"	None	6' (Lt) & 0.0' (Rt)	Note 1
	i.) Rear yard min. depth	H-3-65	25% lot depth or 23.25'	7'-10" +/- existing	
	j.) Parapet setback	B-8-120b	N/A	N/A	
	k.) Off-street parking	Art. 23	0.0 sp/D.U.	N/A	Note 5
√ DENOTES ZONING RELIEF REQUIRED.					
Note 1: Section 19-4, no side yards in H districts except after 90 ft, 10 ft yard req.					
Note 2: Footnote #10 - 20 ft on E-W streets; bay may protrude into a front yard.					
Note 3: Section 13-4, dwellings in non-residential districts.					
Note 4: 9,612 sf ÷ 2,412 sf lot = 4.0 FAR					
Note 5: Art. 23-6 - Max. FAR of 8.0, off-street parking not required for such lot.					
Note 6: 875 sf total (incl. yard and decks) ÷ 12 units = 73 sf open space/D.U.					



Granite and Brick Paver example, details will vary



Cafe Set Example for scale



Upright Beech



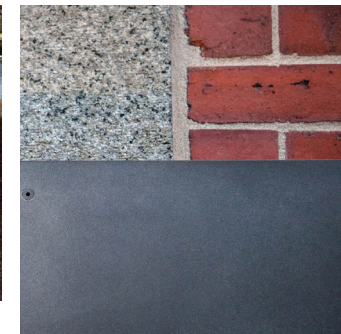
Blue Hosta



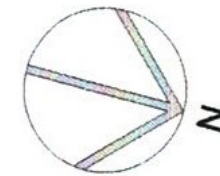
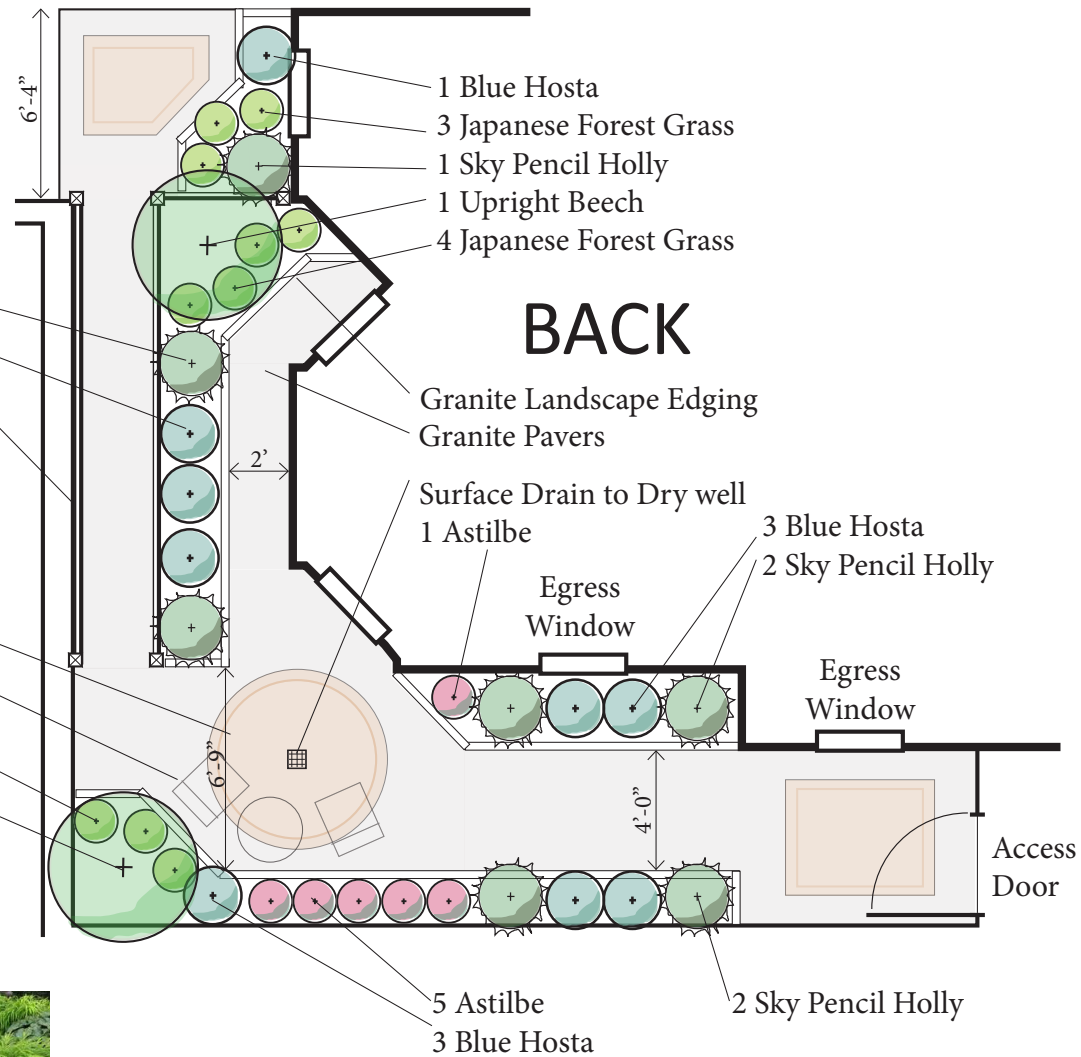
Japanese Forest Grass



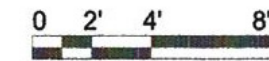
Granite Edging



Color palette



LANDSCAPE PLAN



PLANT LIST

	Qty	Size
Astilbe Visions in Red	8	1 gal
Blue Hosta	11	2 gal
Boxwood Green Gem	4	18-24"
Japanese Forest Grass	12	1 gal
Sky Pencil Holly	7	3-4'
Upright Beech Tree	2	2" cal.
Vinca minor	15	1 gal



Astilbe Visions in Red



Green Gem Boxwood
Buxus x 'Green Gem'



Vinca Groundcover



Sky Pencil Holly

Skinner Overlook

Landscape & Design, Inc.

Transforming Properties

www.SkinnerOverlook.com

1373 Washington Street, Weymouth, MA 02189

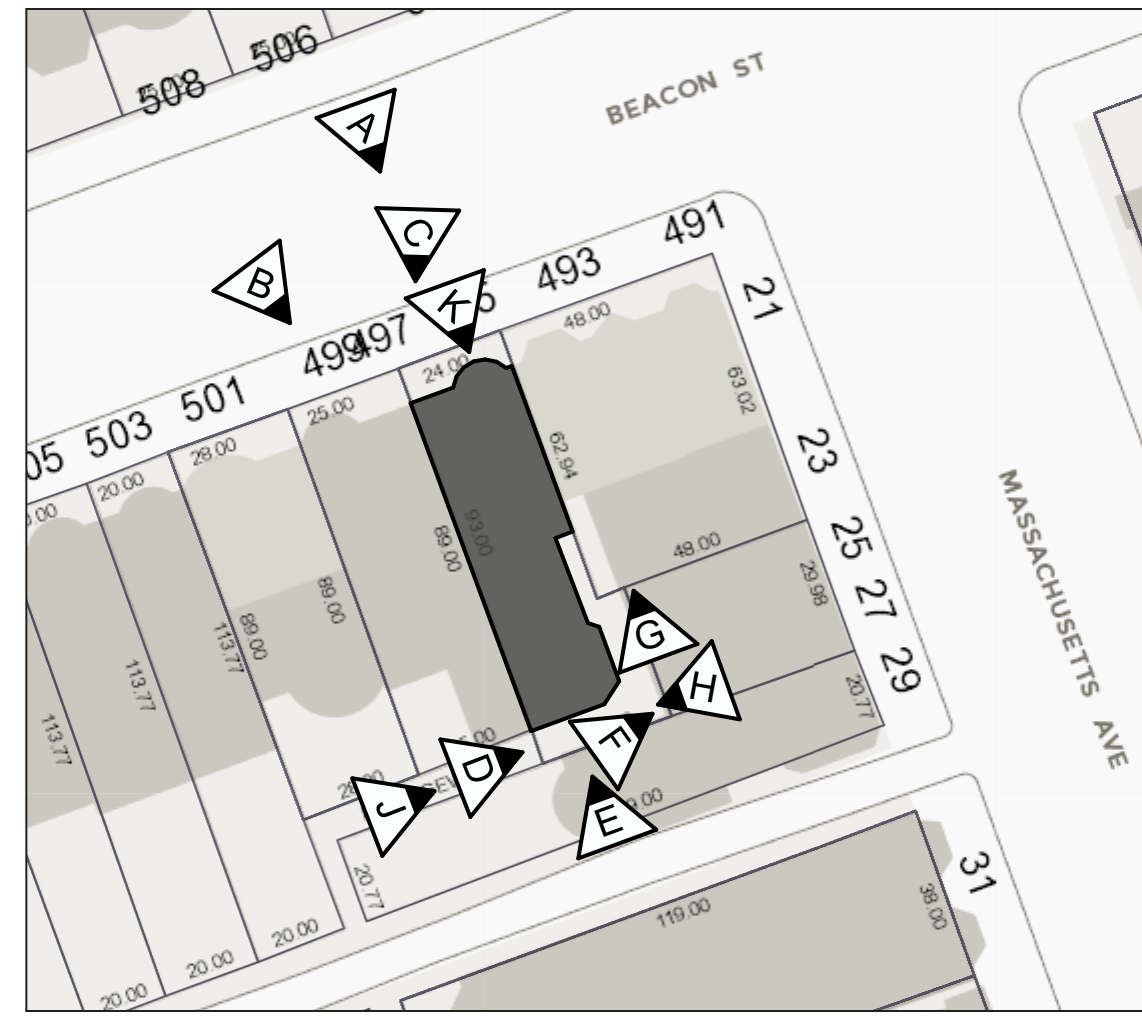
P: (781) 843-7770

F: (781) 843-7770

497 Beacon Street

Boston, MA

August 15, 2023



FOR PHOTOGRAPHS, SEE SHEET X01 & EXTERIOR ELEVATION SHEETS A12-A15



HISTORICAL VIEW-A



VIEW-A



VIEW-B



VIEW-C



VIEW-K

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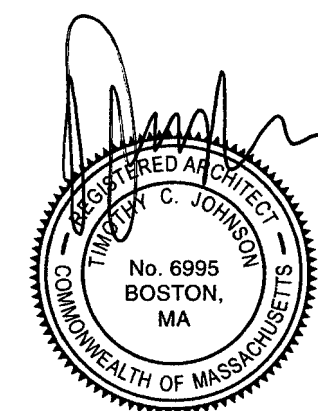


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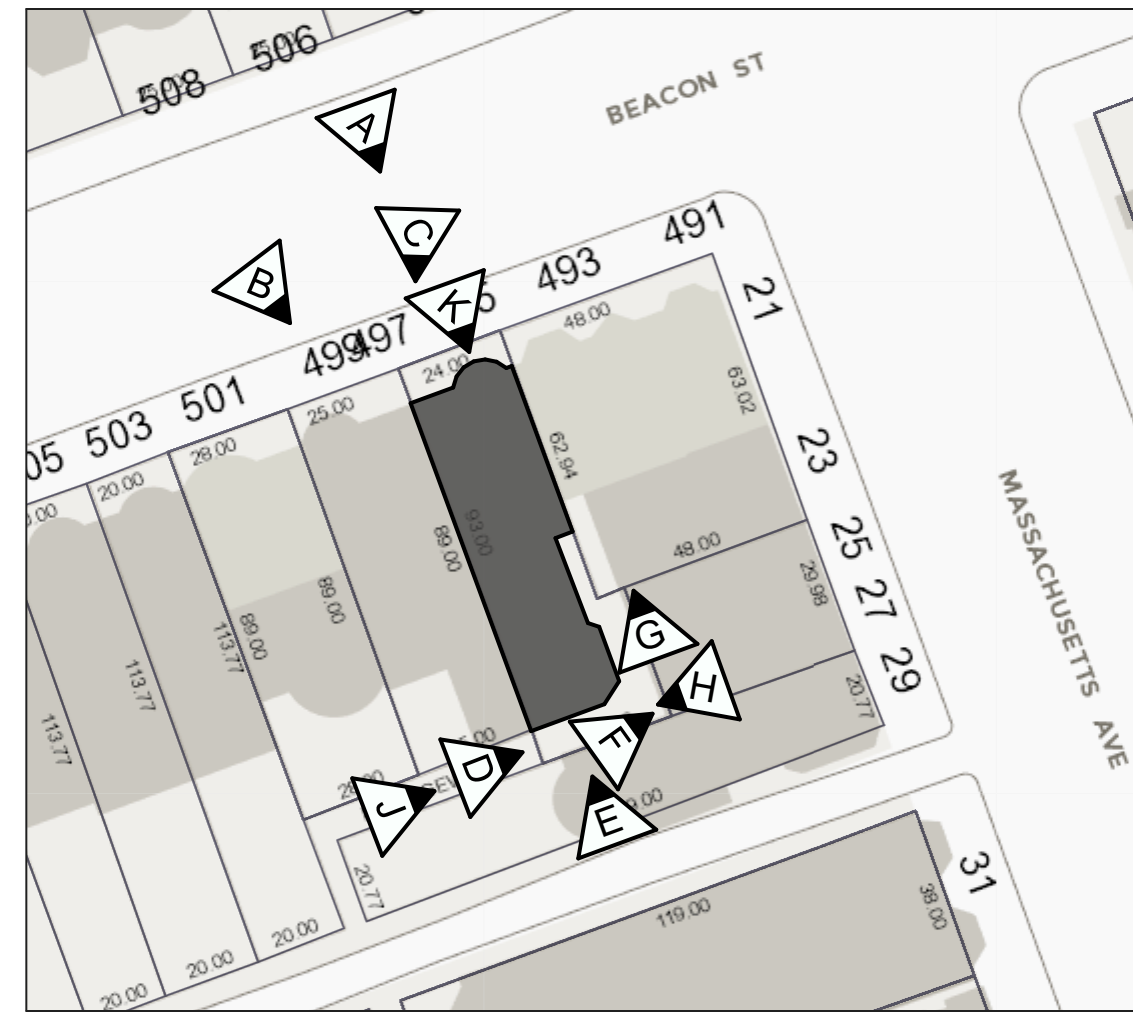
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PHOTOS AT
FRONT

DATE: 10/02/20 SC: N. T. S.



X01



FOR PHOTOGRAPHS, SEE SHEET X01 & EXTERIOR ELEVATION SHEETS A12-A15



VIEW-D



VIEW-E



VIEW-F



VIEW-G



VIEW-H



VIEW-J

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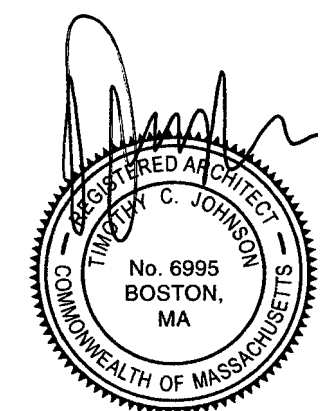


PRELIMINARY DWG. SET

DRAWING TITLE

PHOTOS AT REAR

DATE: 10/02/20 SC: N. T. S.



X02



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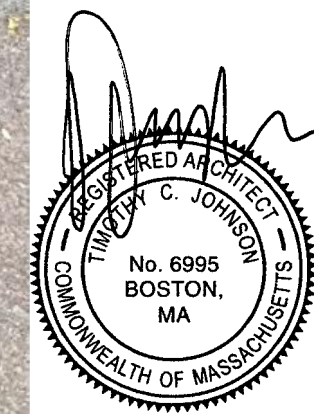
Tim Johnson Architect, LLC



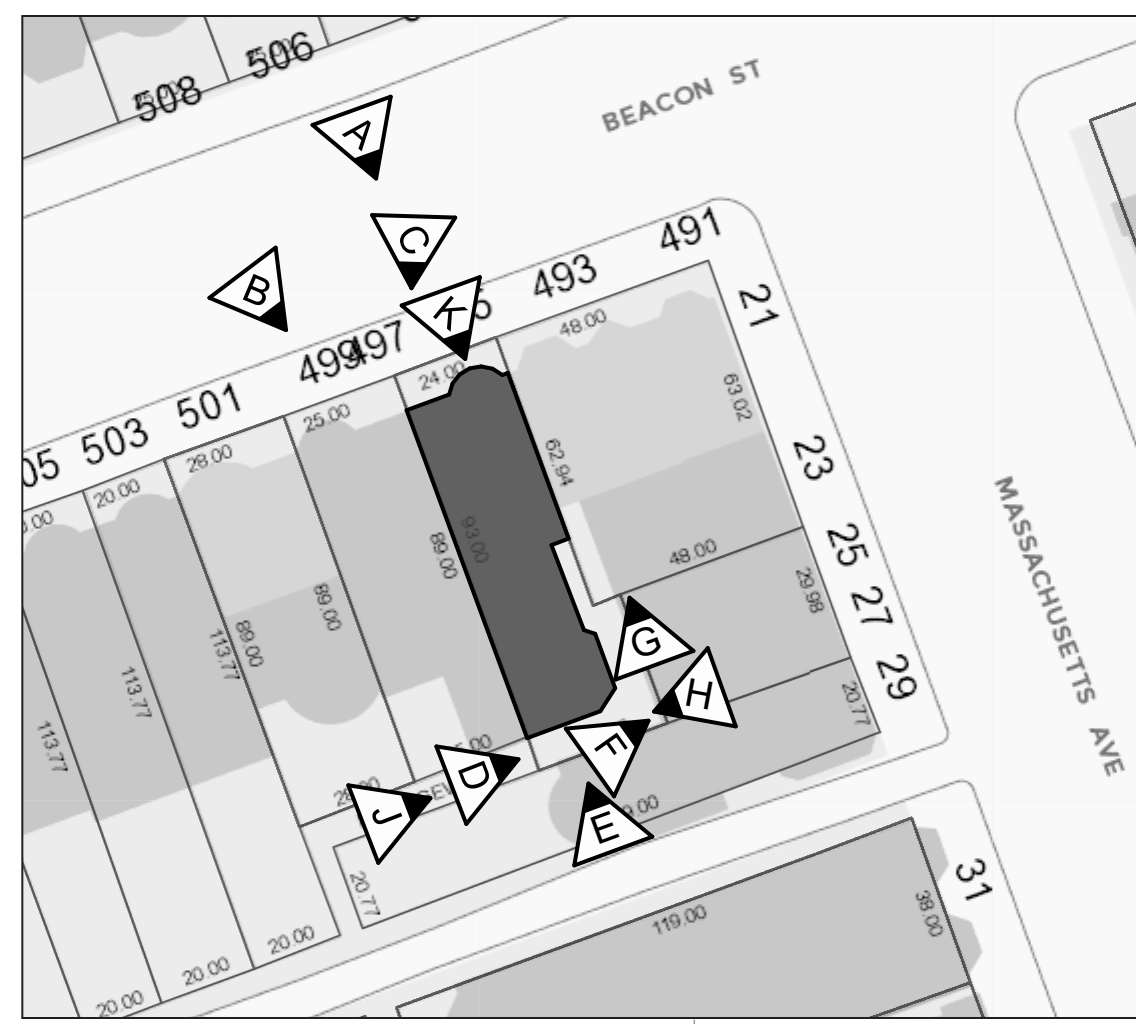
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**PHOTOS: PARTIAL
DEMOLITION**

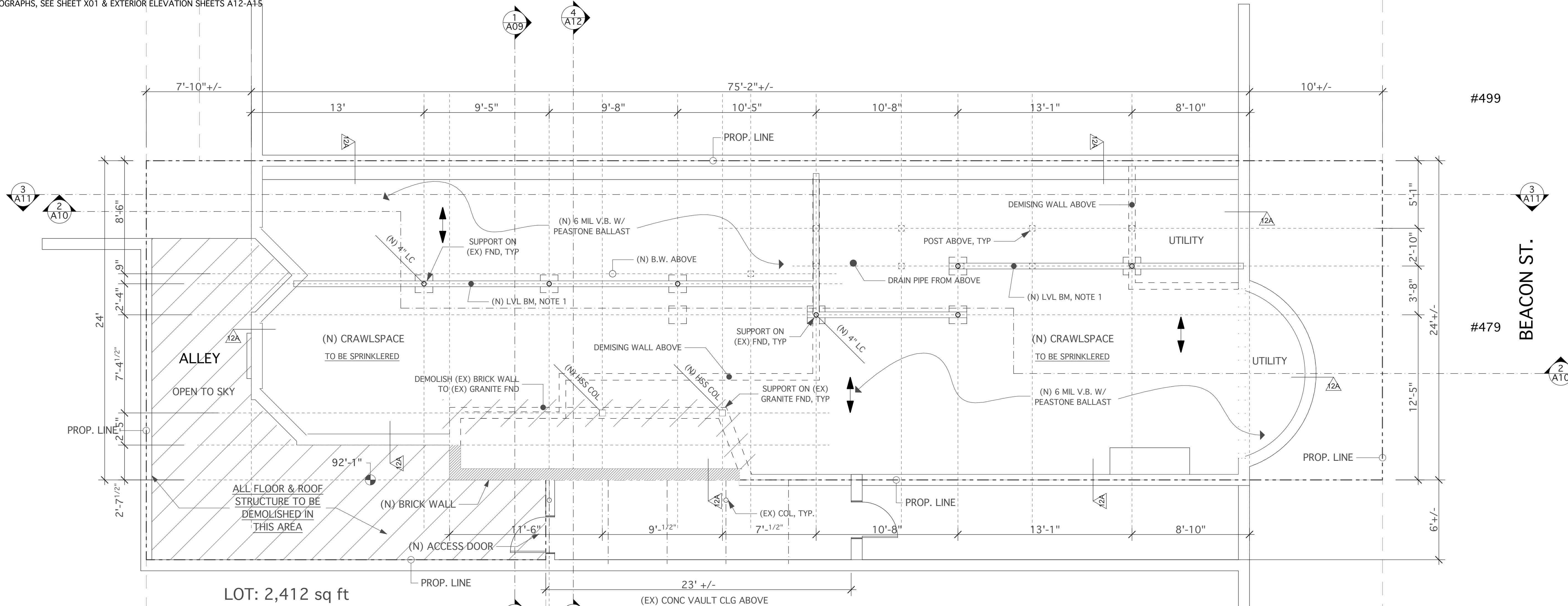
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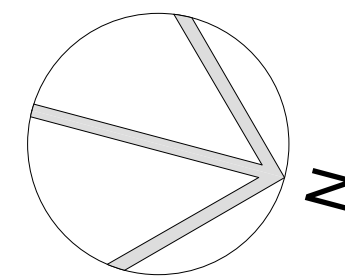
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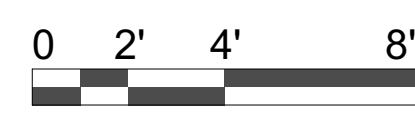
FOR PHOTOGRAPHS, SEE SHEET X01 & EXTERIOR ELEVATION SHEETS A12-A15



LOT: 2,412 sq ft



CRAWLSPACE FLOOR PLAN



LEGEND: GENERAL

	NEW WALLS	(EX)	EXISTING
	EXISTING WALLS	(R)	RELOCATE
	1-HR FIRE-RATED WALLS	(N)	NEW
	2-HR FIRE-RATED WALLS		
	MASONRY WALLS		
	JOIST DIRECTION		
	EXHAUST FAN TO EXTERIOR		

- GENERAL NOTES:**
- 1: SEE STRUCTURAL DRAWINGS
 - 2: SEE CIVIL ENGINEERING DRAWINGS
 - 3: SEE LARCH DRAWINGS
 - 4: SEE MECH/ELEC/PLUMBING DRAWINGS
 - 5: 36" H RAILING @ NOSING
 - 6: 42" H RAILING W/ 4" @ MAX. OPENINGS
 - 7: 36" H RAILING W/ 4" @ MAX. OPENINGS
 - 8: RAILING PER 521CMR 24.5.
 - 9: DNSPOUT LOCATIONS COORD. W/ CIVIL ENG'S DWGS.
 - 10: VENT TO EXTERIOR
 - 11: EGRESS WINDOWS PER IBC SEC. 1030

#499

#479

BEACON ST.

PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 190 OLD COLONY AVENUE BOSTON, MA 02127 TEL: 617-464-4363	OWNER: FOXCROFT, INC. 497 BEACON STREET, UNITS 11 & 12 BOSTON, MA 02215 TEL: 617-304-9460
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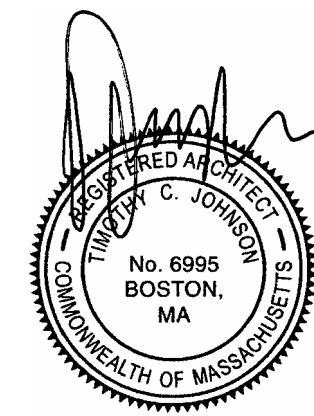
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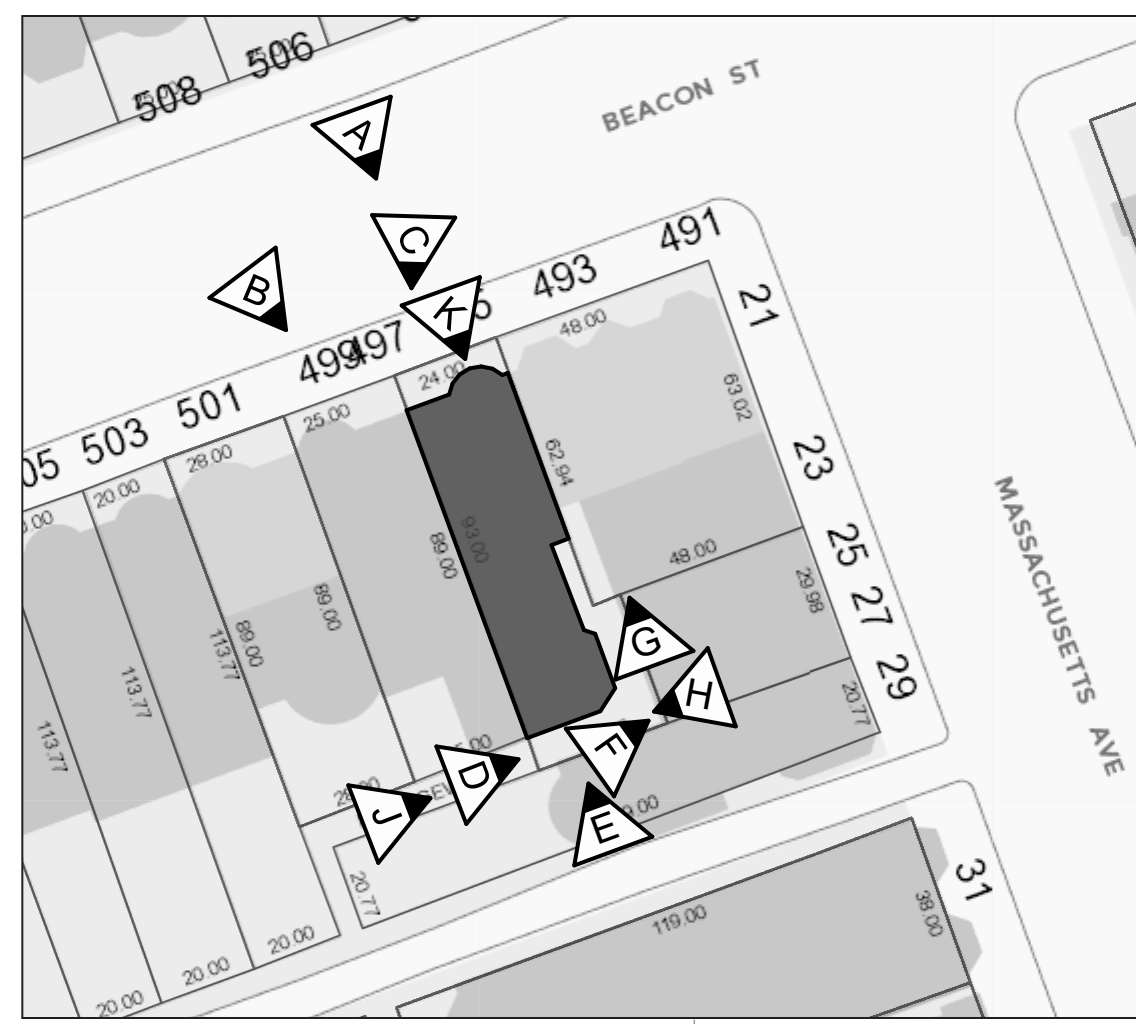
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CRAWLSPACE FLOOR PLAN

DATE: 10/02/20 SC: 1/4" = 1'-0"



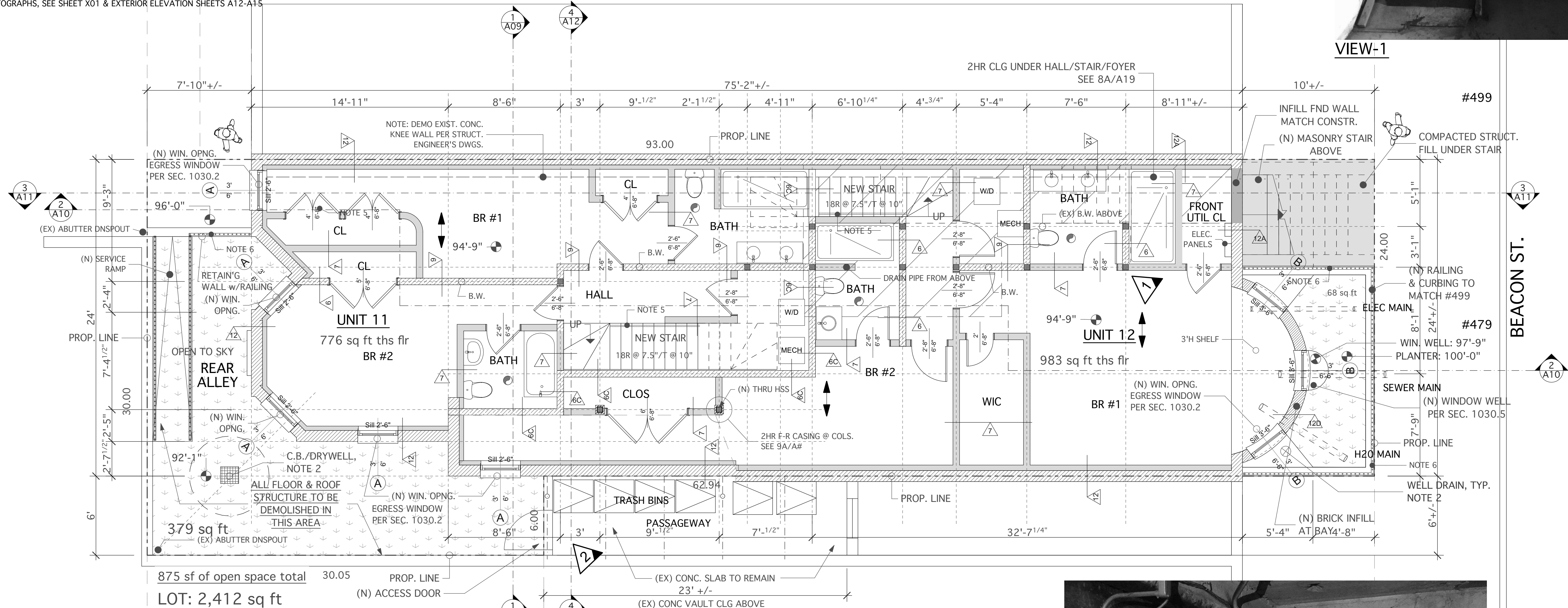
A01



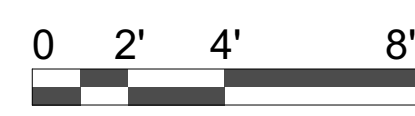
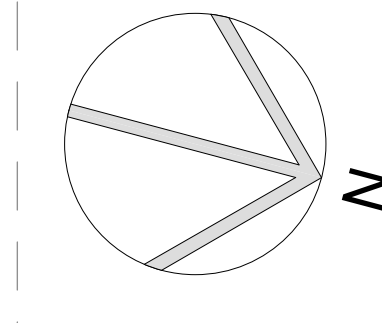
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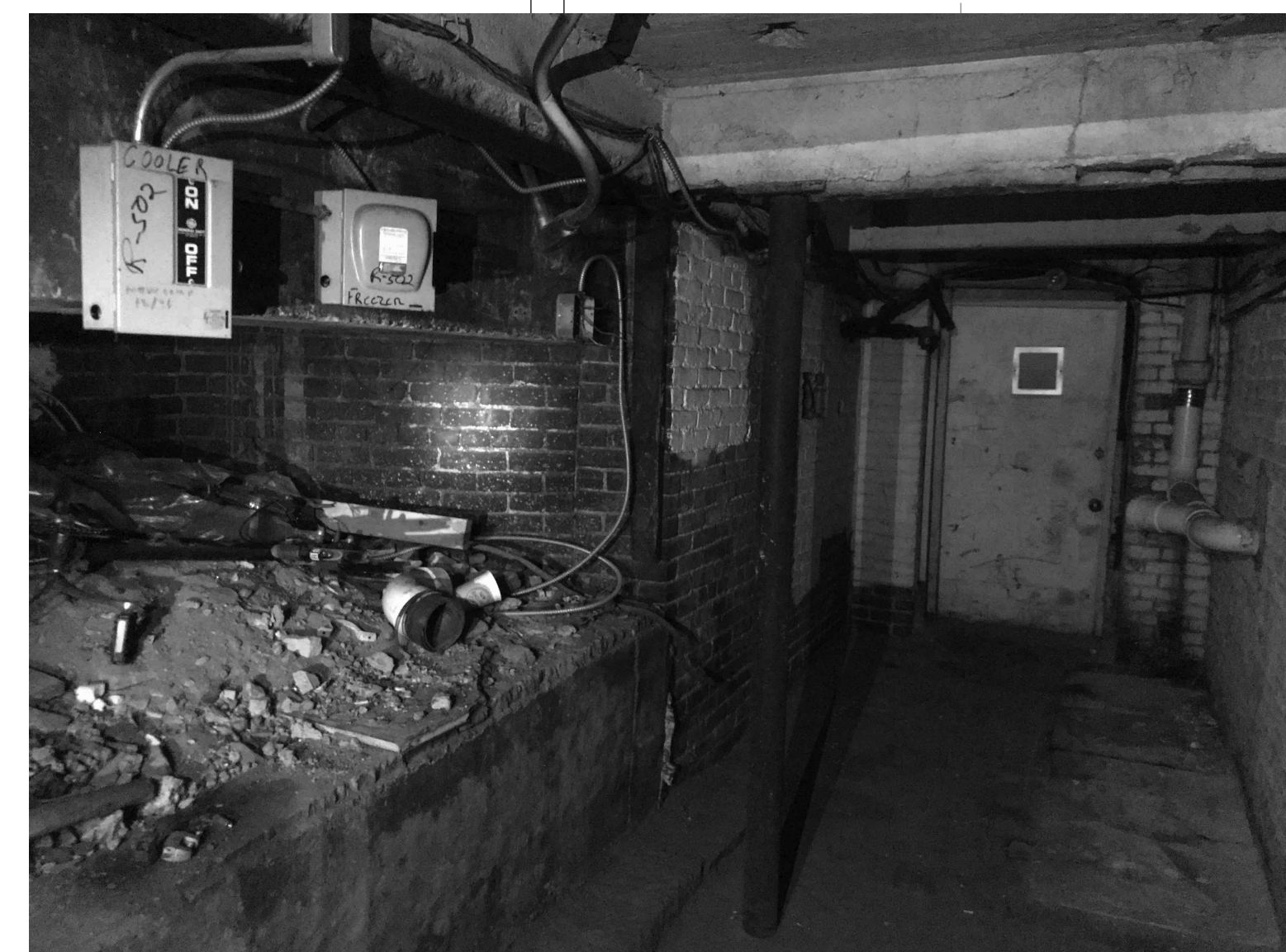
VIEW-1



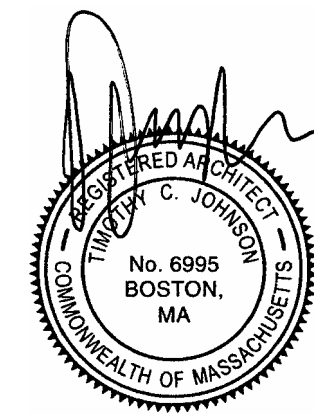
875 sf of open space total
 LOT: 2,412 sq ft
LOWER LEVEL FLR PLAN
 1,798 sq ft gross ths flr



- LEGEND: GENERAL**
- NEW WALLS
 - EXISTING WALLS
 - 1-HR FIRE-RATED WALLS
 - 2-HR FIRE-RATED WALLS
 - MASONRY WALLS
 - JOIST DIRECTION
 - EXHAUST FAN TO EXTERIOR
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VIEW-2



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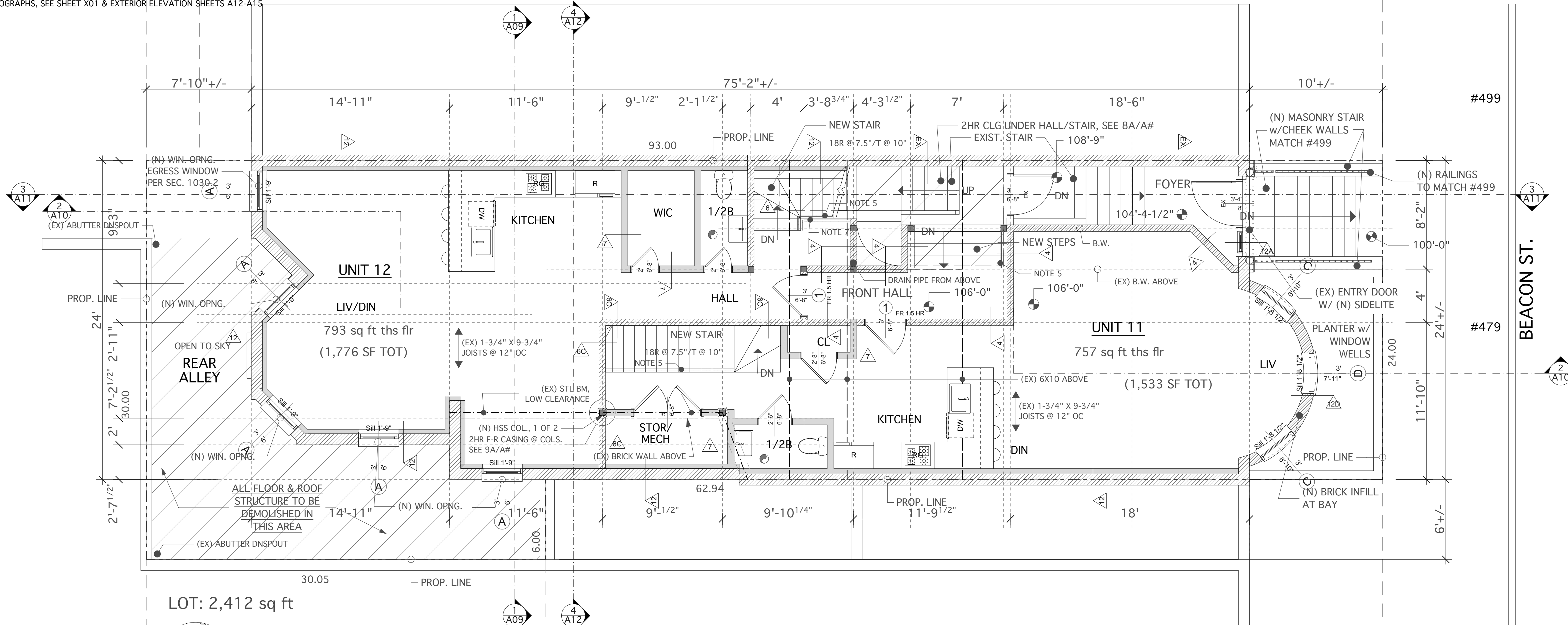
LOWER LEVEL FLOOR PLAN

DATE: 10/02/20 SC: 1/4" = 1'-0"

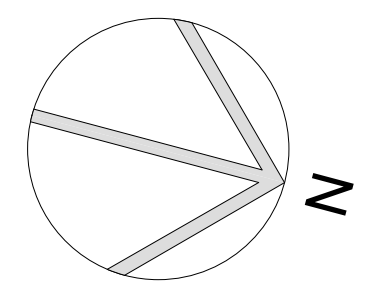
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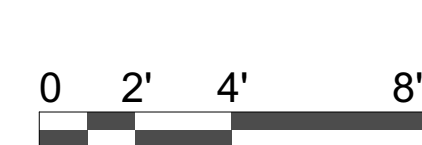
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LOT: 2,412 sq ft



FIRST FLOOR PLAN



1,798 sq ft gross ths flr

LEGEND: GENERAL

- NEW WALLS
- EXISTING WALLS
- 1-HR FIRE-RATED WALLS
- 2-HR FIRE-RATED WALLS
- MASONRY WALLS
- JOIST DIRECTION
- EXHAUST FAN TO EXTERIOR
- (EX) EXISTING
- (R) RELOCATE
- (N) NEW

GENERAL NOTES:

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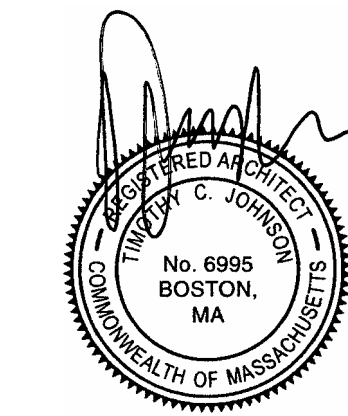
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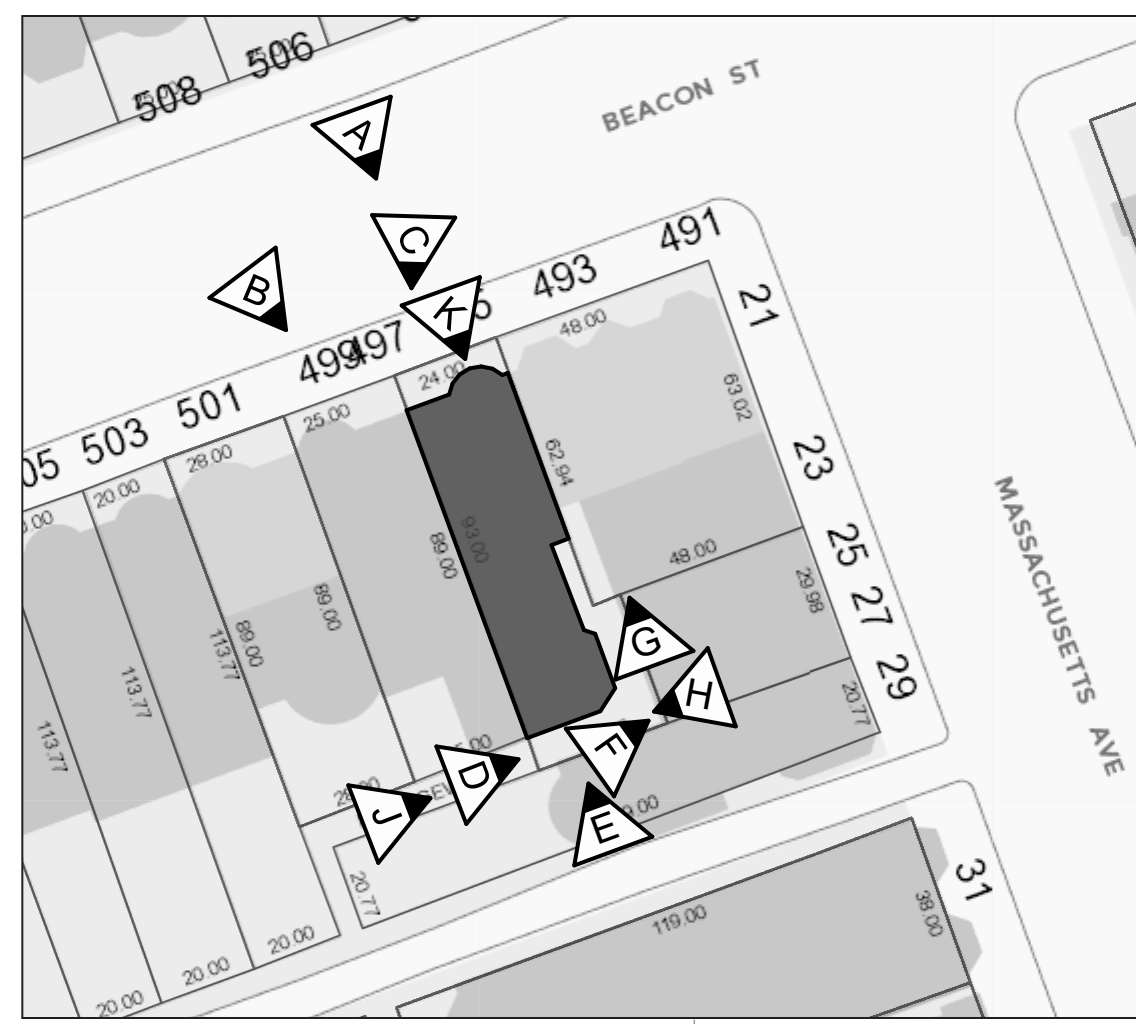
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FIRST FLOOR PLAN

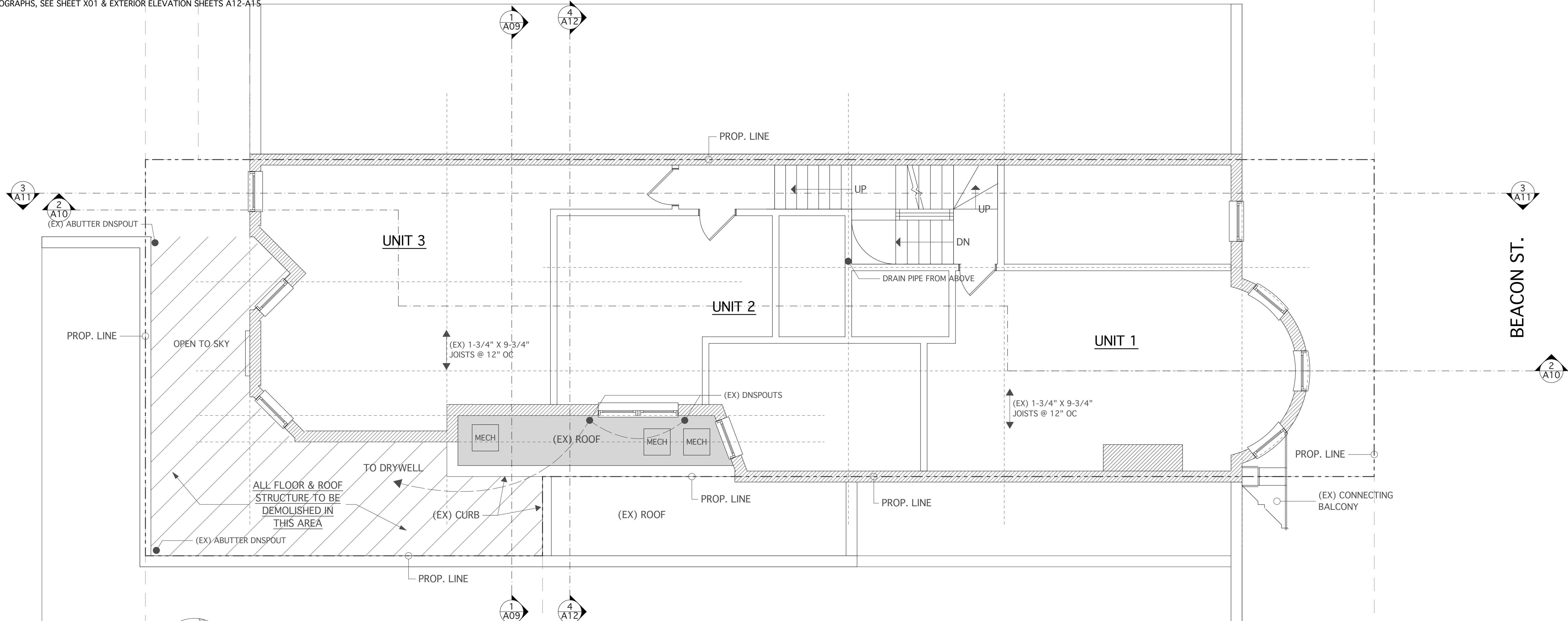
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A03



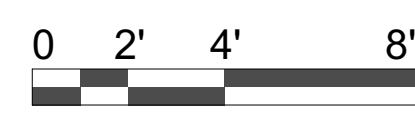
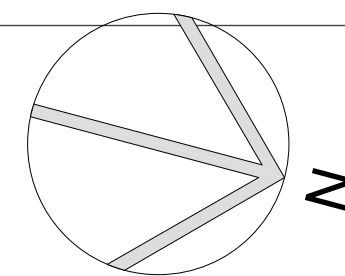


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SECOND FLOOR PLAN

1,702 sq ft gross ths fir



LEGEND: GENERAL

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	EXISTING WALLS	(R)	RELOCATE
	1-HR FIRE-RATED WALLS	(N)	NEW
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	MASONRY WALLS		
	JOIST DIRECTION		
	EXHAUST FAN TO EXTERIOR		

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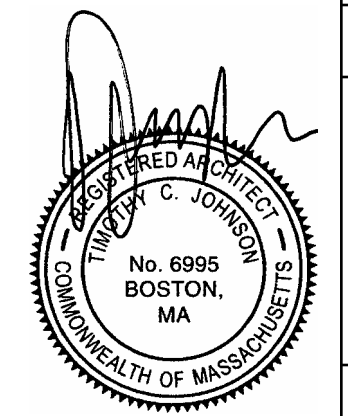
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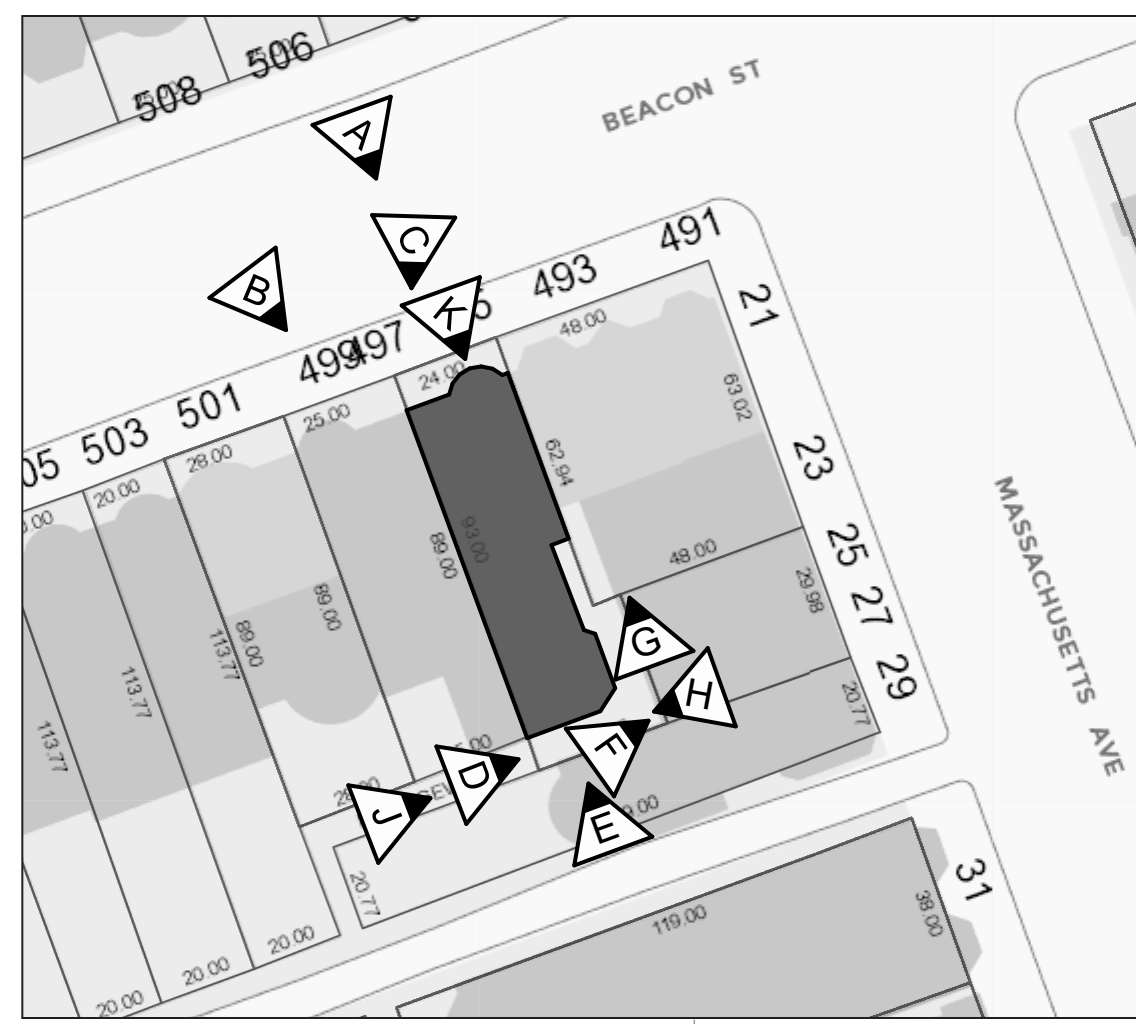
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SECOND FLOOR PLAN

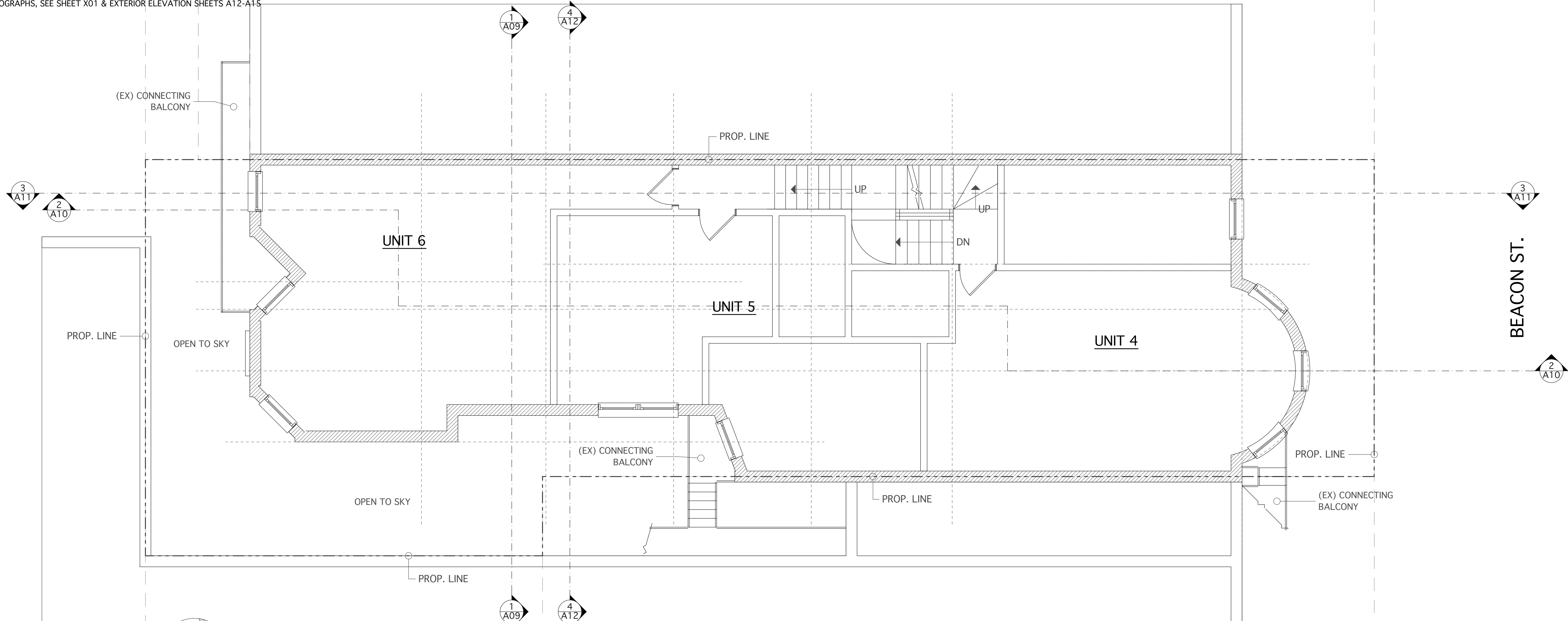
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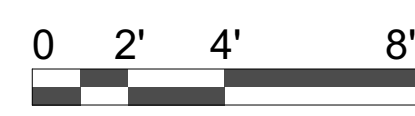
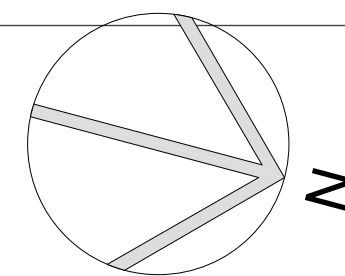


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THIRD FLOOR PLAN

1,702 sq ft gross ths fir



LEGEND: GENERAL

	NEW WALLS	(EX)	EXISTING
	EXISTING WALLS	(R)	RELOCATE
	1-HR FIRE-RATED WALLS	(N)	NEW
	2-HR FIRE-RATED WALLS		
	MASONRY WALLS		
	JOIST DIRECTION		
	EXHAUST FAN TO EXTERIOR		

- GENERAL NOTES:**
- 1: SEE STRUCTURAL DRAWINGS
 - 2: SEE CIVIL ENGINEERING DRAWINGS
 - 3: SEE LARCH DRAWINGS
 - 4: SEE MECH/ELEC/PLUMBING DRAWINGS
 - 5: 36" H RAILING @ NOSING
 - 6: 42" H RAILING W/ 4" @ MAX. OPENINGS
 - 7: 36" H RAILING W/ 4" @ MAX. OPENINGS
 - 8: RAILING PER 521CMR 24.5.
 - 9: DNSPOUT LOCATIONS COORD. W/ CIVIL ENG'S DWGS.
 - 10: VENT TO EXTERIOR
 - 11: EGRESS WINDOWS PER IBC SEC. 1030

BEACON ST.

PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
190 OLD COLONY AVENUE
BOSTON, MA 02127
TEL: 617-464-4363

RENOVATION TO UNITS 11 & 12
495-497 BEACON STREET
BOSTON, MA 02215

OWNER:
FOXROFT, INC.
497 BEACON STREET, UNITS 11 & 12
BOSTON, MA 02215
TEL: 617-304-9460

REVISIONS

△	12/04/20	△	08/21/23
△	12/24/20	△	
△	01/09/21	△	
△	02/25/21	△	
△	11/02/21	△	

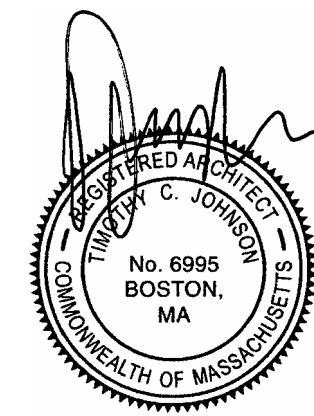
Tim Johnson Architect, LLC



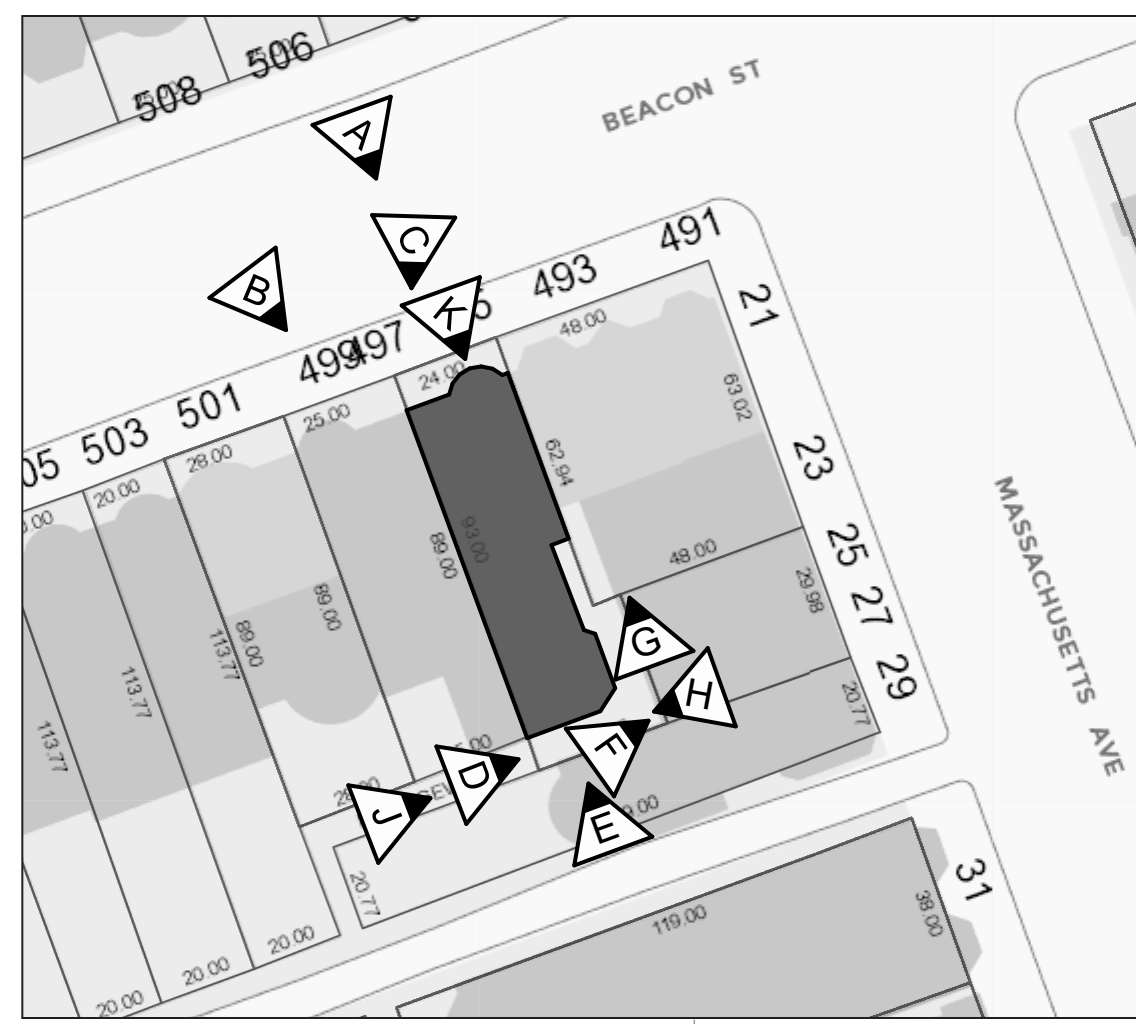
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DRAWING TITLE
THIRD FLOOR PLAN

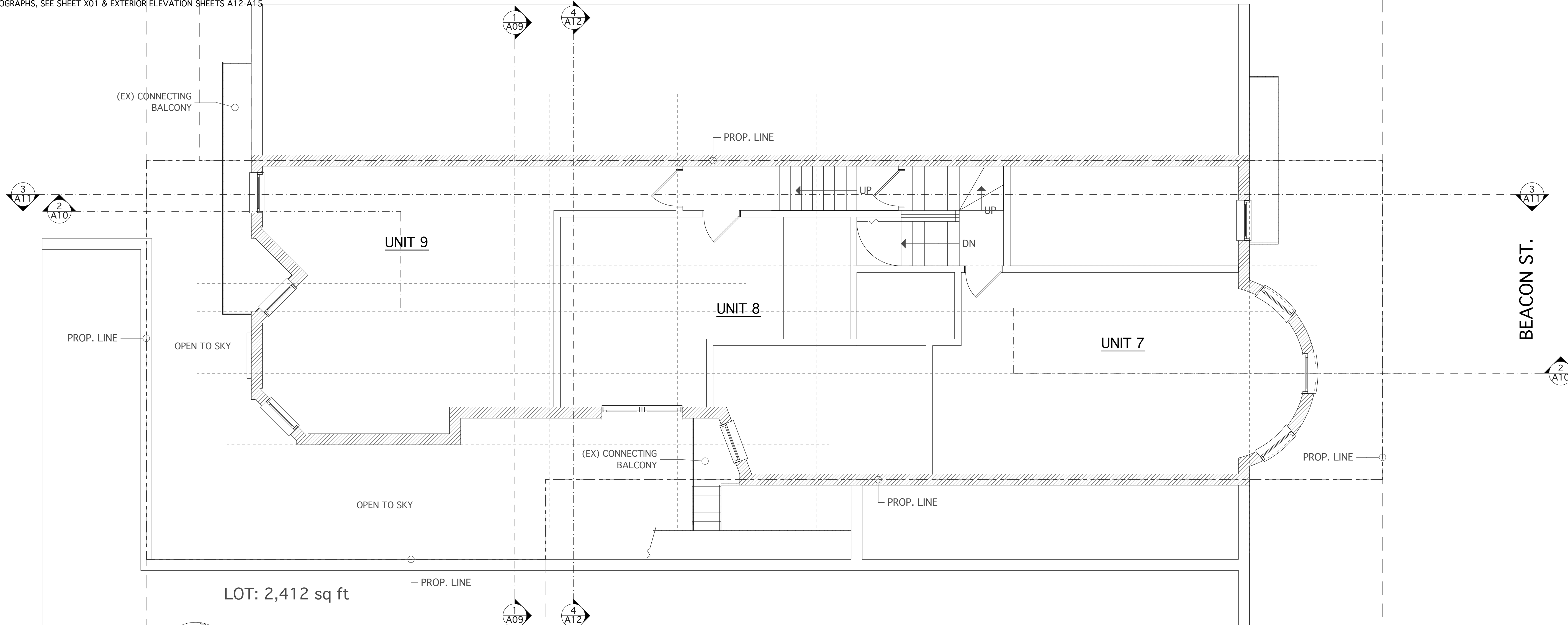
DATE: 10/02/20 SC: 1/4" = 1'-0"



A05

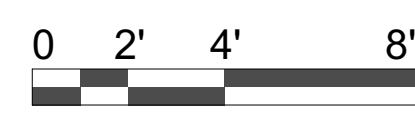
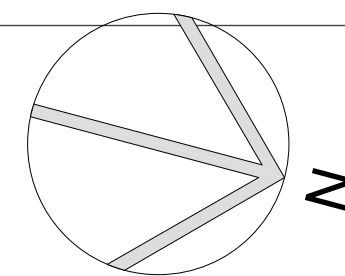


FOR PHOTOGRAPHS, SEE SHEET X01 & EXTERIOR ELEVATION SHEETS A12-A15



LOT: 2,412 sq ft

FOURTH FLOOR PLAN



1,702 sq ft gross ths fir

LEGEND: GENERAL

	NEW WALLS	(EX)	EXISTING
	EXISTING WALLS	(R)	RELOCATE
	1-HR FIRE-RATED WALLS	(N)	NEW
	2-HR FIRE-RATED WALLS		
	MASONRY WALLS		
	JOIST DIRECTION		
	EXHAUST FAN TO EXTERIOR		

- GENERAL NOTES:**
- 1: SEE STRUCTURAL DRAWINGS
 - 2: SEE CIVIL ENGINEERING DRAWINGS
 - 3: SEE LARCH DRAWINGS
 - 4: SEE MECH/ELEC/PLUMBING DRAWINGS
 - 5: 36" H RAILING @ NOSING
 - 6: 42" H RAILING W/ 4" @ MAX. OPENINGS
 - 7: 36" H RAILING W/ 4" @ MAX. OPENINGS
 - 8: RAILING PER 521CMR 24.5.
 - 9: DNSPOUT LOCATIONS COORD. W/ CIVIL ENG'S DWGS.
 - 10: VENT TO EXTERIOR
 - 11: EGRESS WINDOWS PER IBC SEC. 1030

BEACON ST.

PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
190 OLD COLONY AVENUE
BOSTON, MA 02127
TEL: 617-464-4363

RENOVATION TO UNITS 11 & 12
495-497 BEACON STREET
BOSTON, MA 02215

OWNER:
FOXCROFT, INC.
497 BEACON STREET, UNITS 11 & 12
BOSTON, MA 02215
TEL: 617-304-9460

REVISIONS

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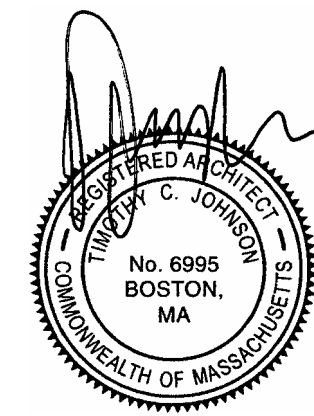
Tim Johnson Architect, LLC



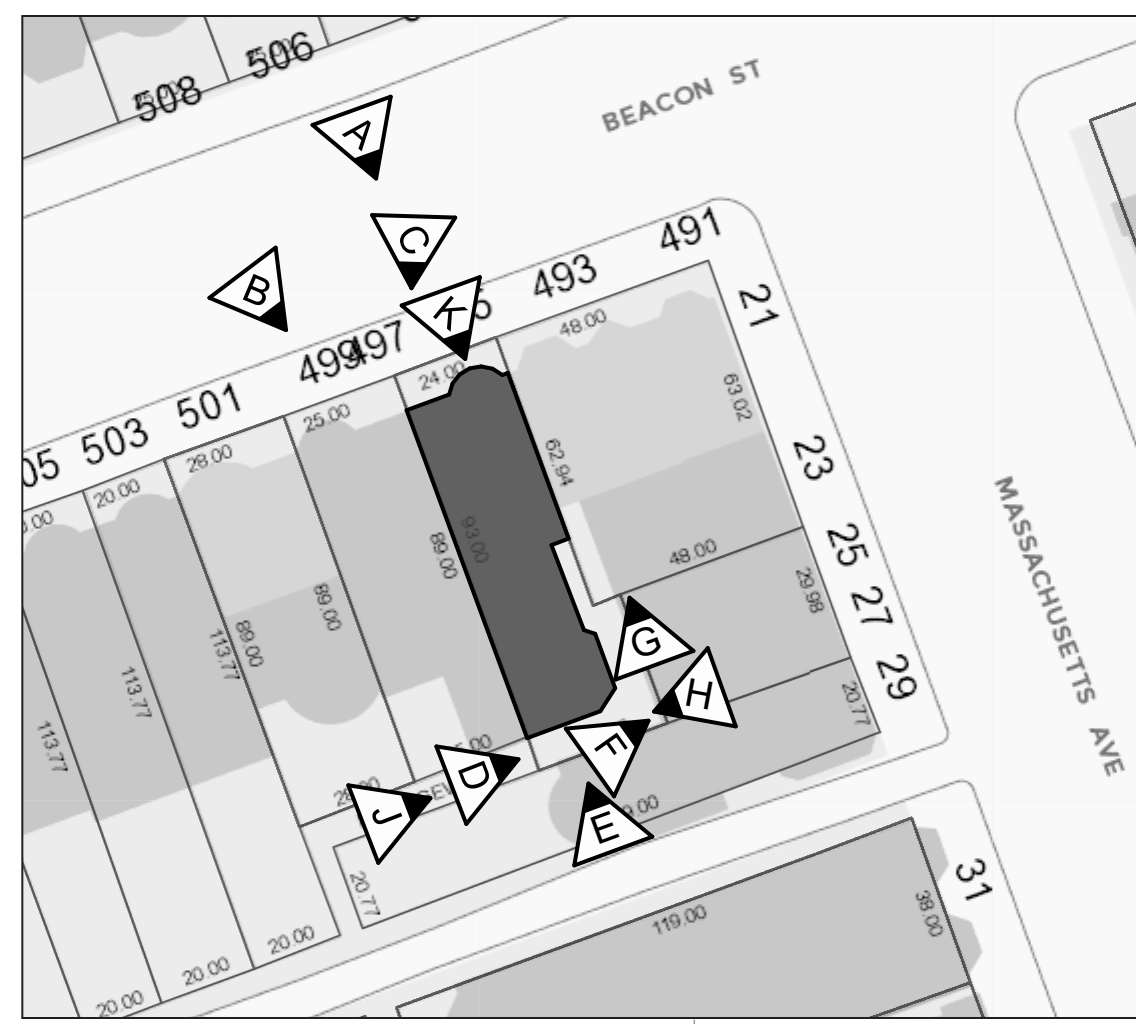
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DRAWING TITLE
FOURTH FLOOR PLAN

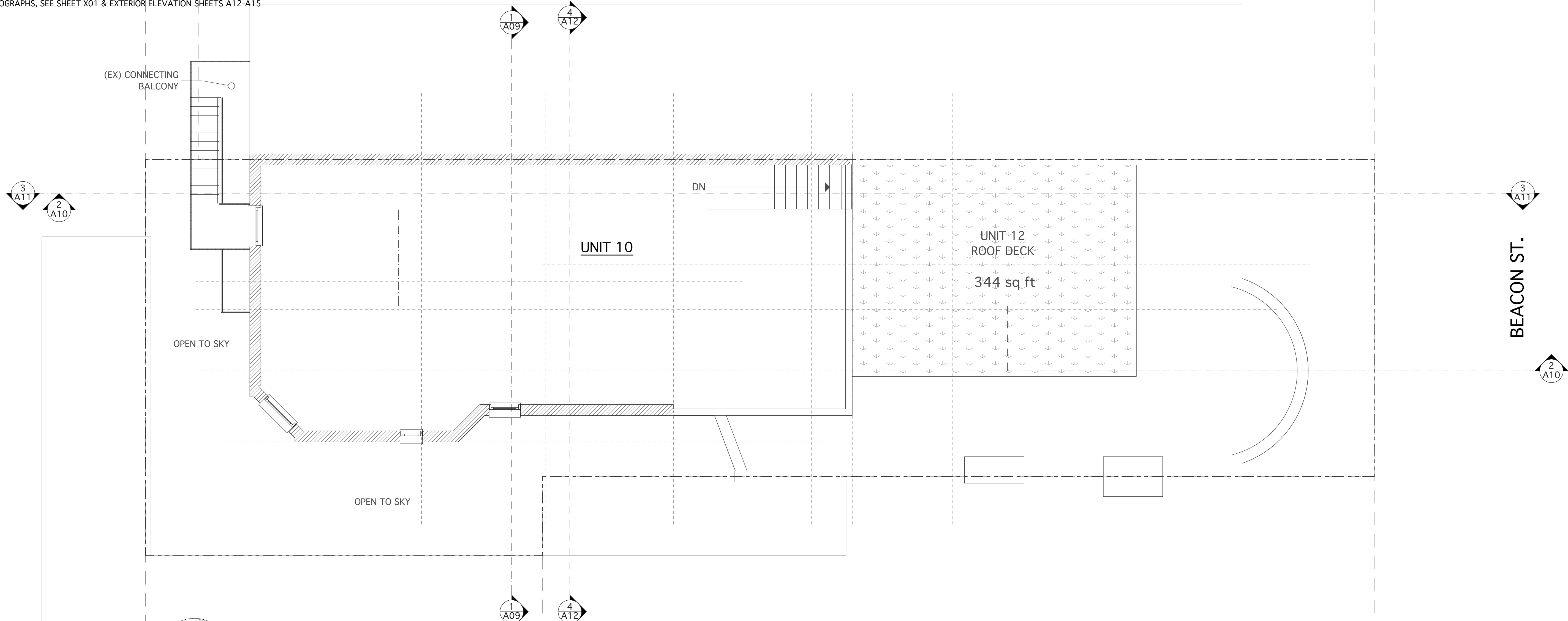
DATE: 10/02/20 SC: 1/4" = 1'-0"



A06



FOR PHOTOGRAPHS, SEE SHEET X01 & EXTERIOR ELEVATION SHEETS A12-A15



FIFTH FLOOR & LOWER ROOF PLAN

910 sq ft gross ths flr

- LEGEND: GENERAL**
- NEW WALLS
 - EXISTING WALLS
 - 1-HR FIRE-RATED WALLS
 - 2-HR FIRE-RATED WALLS
 - MASONRY WALLS
 - JOIST DIRECTION
 - EXHAUST FAN TO EXTERIOR
 - (EX) EXISTING
 - (R) RELOCATE
 - (N) NEW

- GENERAL NOTES:**
- 1: SEE STRUCTURAL DRAWINGS
 - 2: SEE CIVIL ENGINEERING DRAWINGS
 - 3: SEE LARCH DRAWINGS
 - 4: SEE MECH/ELEC/PLUMBING DRAWINGS
 - 5: 36" H RAILING @ NOSING
 - 6: 42" H RAILING W/ 4" @ MAX. OPENINGS
 - 7: 36" H RAILING W/ 4" @ MAX. OPENINGS
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 - 9: DNSPOUT LOCATIONS COORD. W/ CIVIL ENG'S DWGS.
 - 10: VENT TO EXTERIOR
 - 11: EGRESS WINDOWS PER IBC SEC. 1030

BEACON ST.

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BOSTON, MA 02127
TEL: 617-464-4363

RENOVATION TO UNITS 11 & 12
495-497 BEACON STREET
BOSTON, MA 02215

OWNER:
FOXCROFT, INC.
497 BEACON STREET, UNITS 11 & 12
BOSTON, MA 02215
TEL: 617-304-9460

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△	01/09/21	△	
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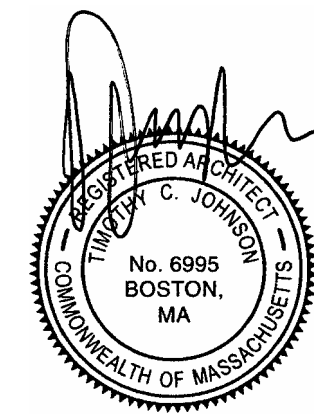
Tim Johnson Architect, LLC



PRELIMINARY DWG. SET

DRAWING TITLE
FIFTH FLOOR & LOWER ROOF PLAN

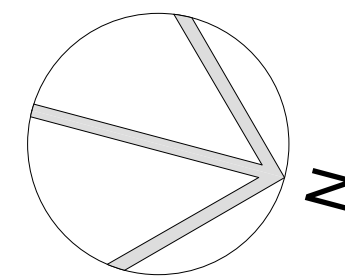
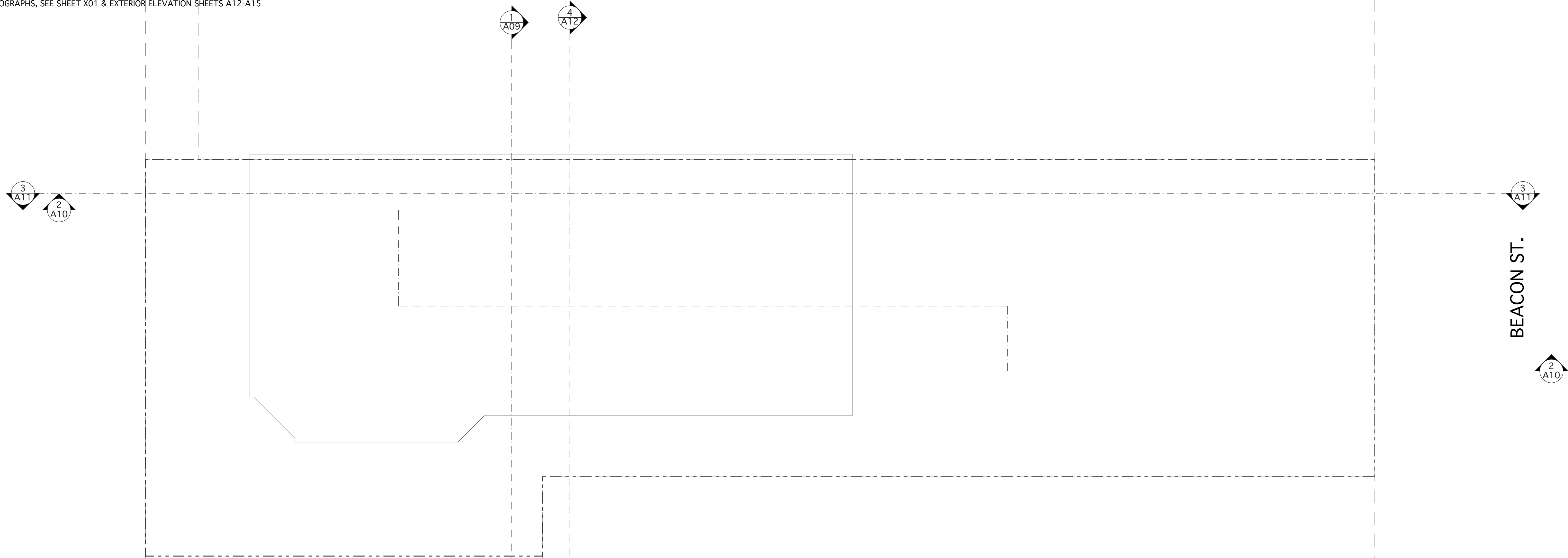
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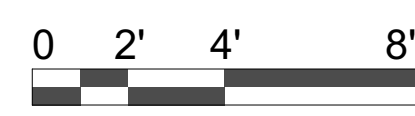
A07



FOR PHOTOGRAPHS, SEE SHEET X01 & EXTERIOR ELEVATION SHEETS A12-A15



UPPER ROOF PLAN



LEGEND: GENERAL

	NEW WALLS	(EX)	EXISTING
	EXISTING WALLS	(R)	RELOCATE
	1-HR FIRE-RATED WALLS	(N)	NEW
	2-HR FIRE-RATED WALLS		
	MASONRY WALLS		
	JOIST DIRECTION		
	EXHAUST FAN TO EXTERIOR		

- GENERAL NOTES:**
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 - 10: VENT TO EXTERIOR
 - 11: EGRESS WINDOWS PER IBC SEC. 1030

BEACON ST.

PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
190 OLD COLONY AVENUE
BOSTON, MA 02127
TEL: 617-464-4363

RENOVATION TO UNITS 11 & 12
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BOSTON, MA 02215

OWNER:
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497 BEACON STREET, UNITS 11 & 12
BOSTON, MA 02215
TEL: 617-304-9460

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△	01/09/21	△	
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△	11/02/21	△	

Tim Johnson Architect, LLC

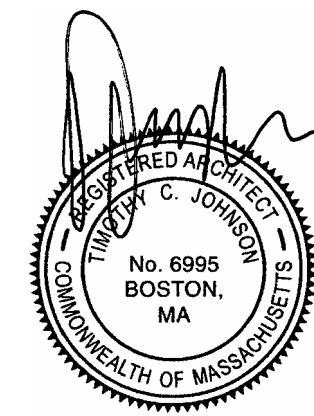


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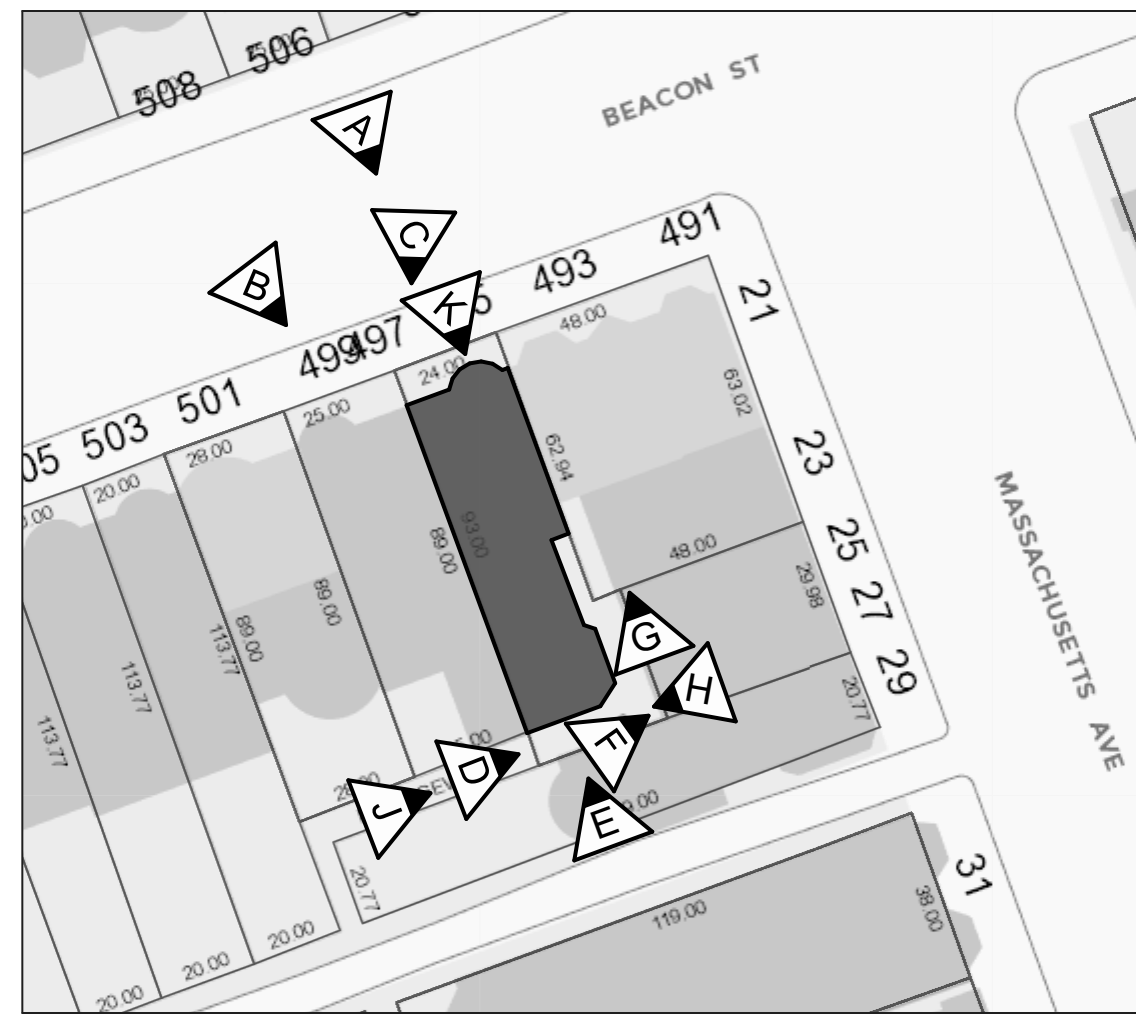
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UPPER ROOF PLAN

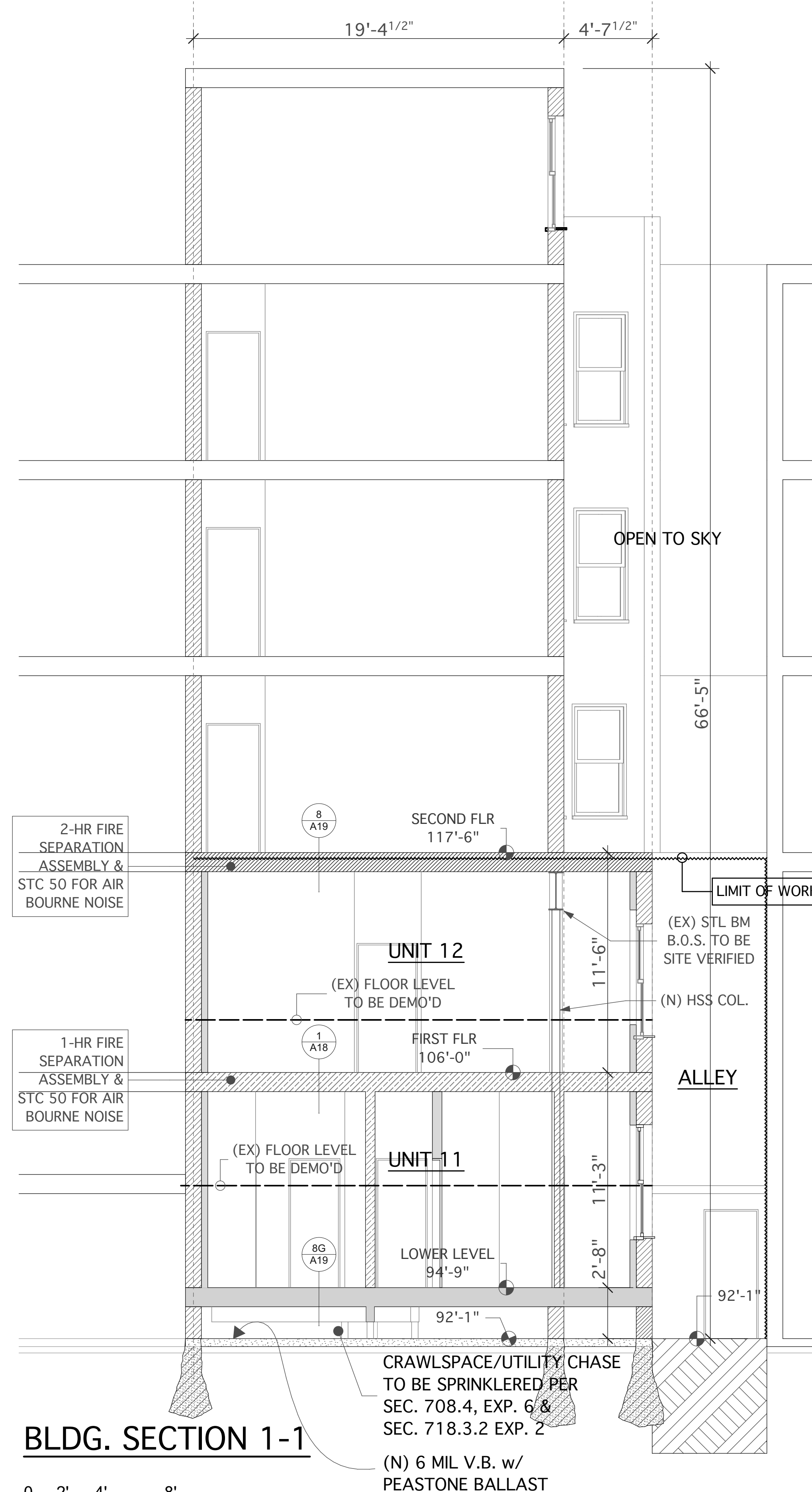
DATE: 10/02/20 SC: 1/4" = 1'-0"



A08



FOR PHOTOGRAPHS, SEE SHEET X01 & EXTERIOR ELEVATION SHEETS A12-A15



PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
190 OLD COLONY AVENUE
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TEL: 617-464-4363

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△	01/09/21	△	
△	02/25/21	△	
△	11/02/21	△	

Tim Johnson Architect, LLC



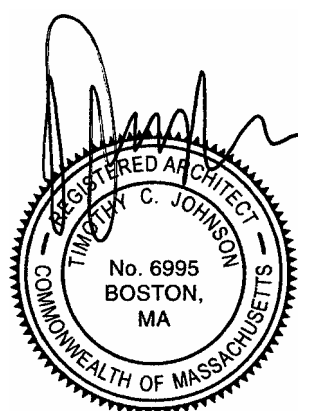
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DRAWING TITLE

1-1 BUILDING SECTION

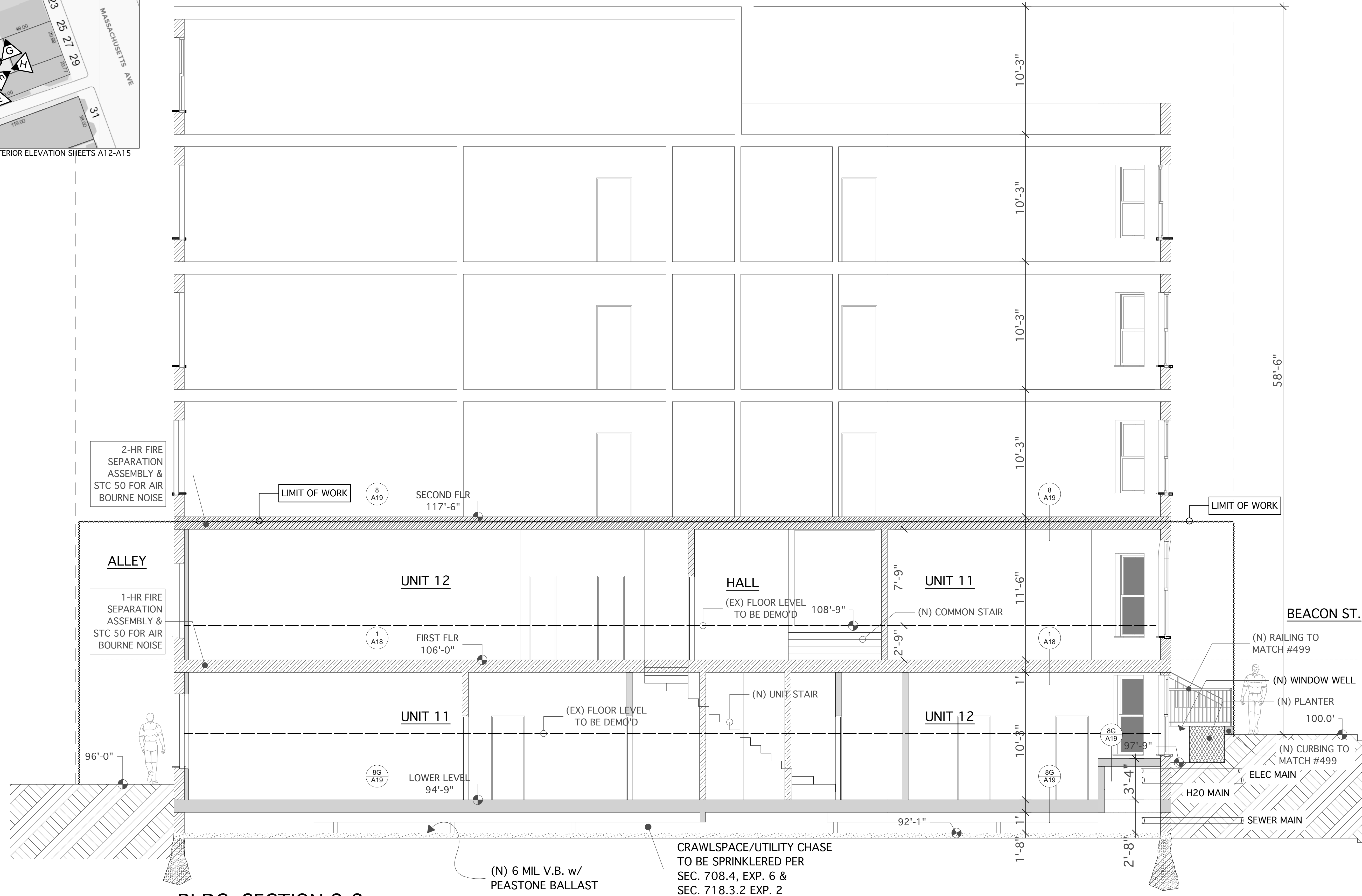
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A09





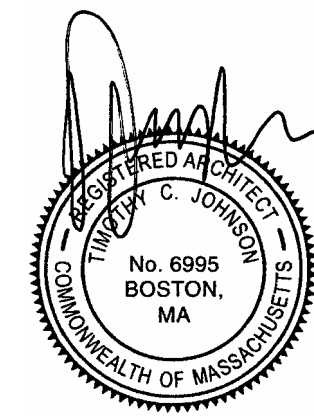
FOR PHOTOGRAPHS, SEE SHEET X01 & EXTERIOR ELEVATION SHEETS A12-A15

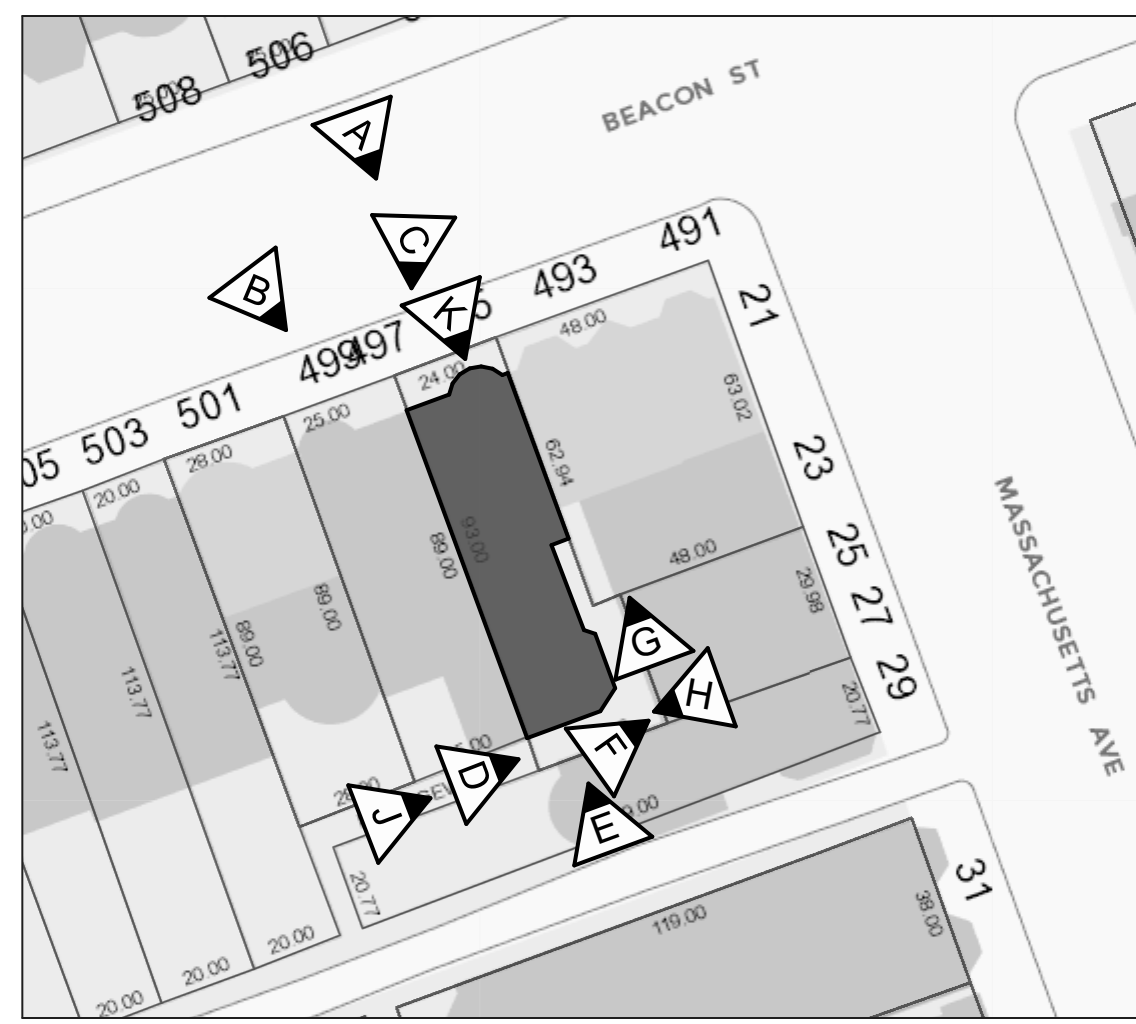


BLDG. SECTION 2-2

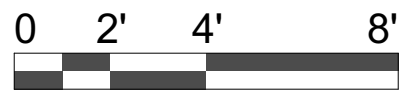
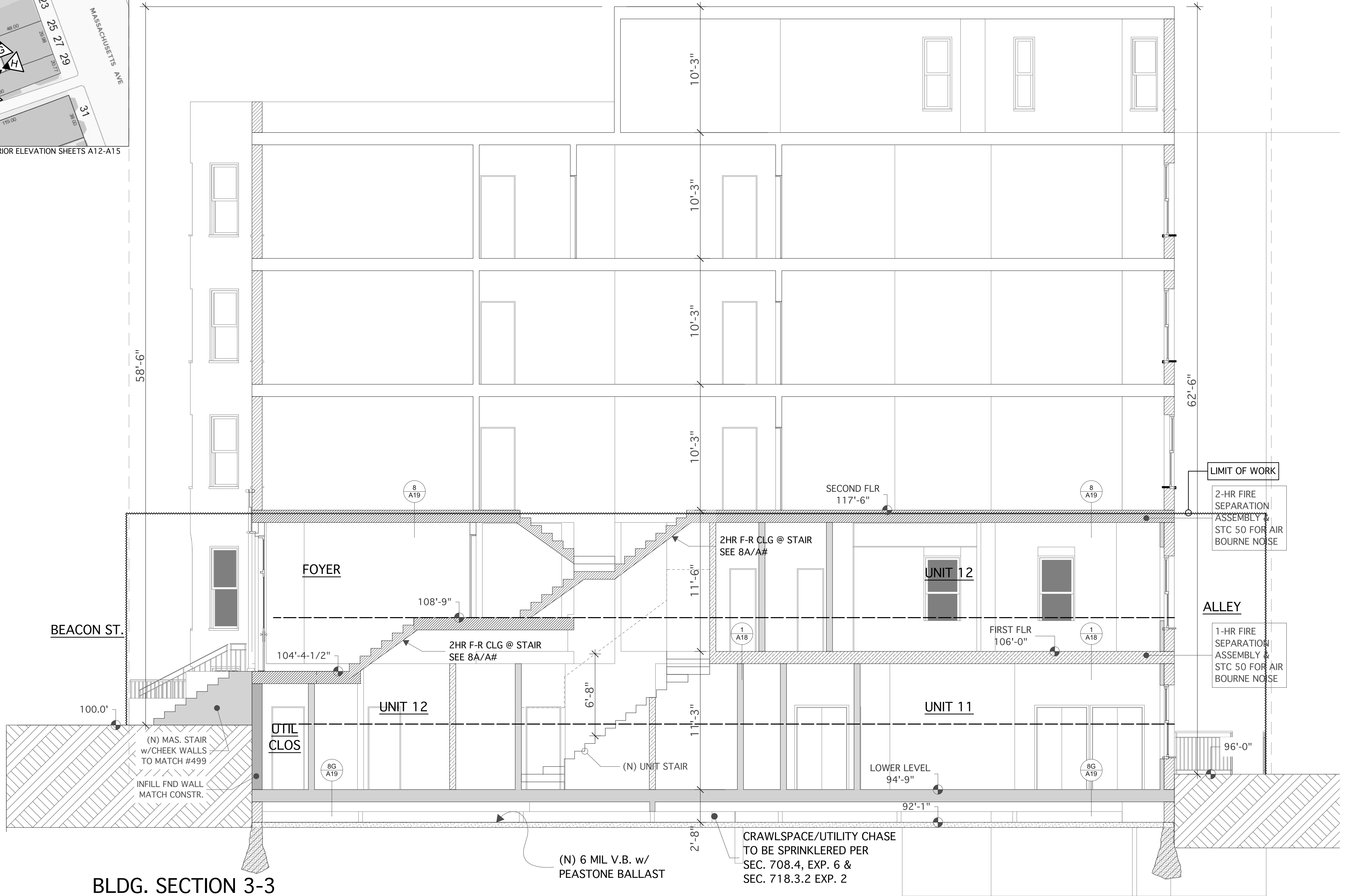


PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 190 OLD COLONY AVENUE BOSTON, MA 02127 TEL: 617-464-4363											
RENOVATION TO UNITS 11 & 12 495-497 BEACON STREET BOSTON, MA 02215	OWNER: FOX CROFT, INC. 497 BEACON STREET, UNITS 11 & 12 BOSTON, MA 02215 TEL: 617-304-9460										
REVISIONS <table border="1"> <tr> <td>△ 12/04/20</td> <td>△ 08/21/23</td> </tr> <tr> <td>△ 12/24/20</td> <td>△</td> </tr> <tr> <td>△ 01/09/21</td> <td>△</td> </tr> <tr> <td>△ 02/25/21</td> <td>△</td> </tr> <tr> <td>△ 11/02/21</td> <td>△</td> </tr> </table>		△ 12/04/20	△ 08/21/23	△ 12/24/20	△	△ 01/09/21	△	△ 02/25/21	△	△ 11/02/21	△
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△ 02/25/21	△										
△ 11/02/21	△										
Tim Johnson Architect, LLC											
PRELIMINARY DWG. SET											
DRAWING TITLE 2-2 BUILDING SECTION											
DATE: 10/02/20	SC: 1/4" = 1'-0"										
A10											





FOR PHOTOGRAPHS, SEE SHEET X01 & EXTERIOR ELEVATION SHEETS A12-A15



PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
190 OLD COLONY AVENUE
BOSTON, MA 02127
TEL: 617-464-4363

RENOVATION TO UNITS 11 & 12
495-497 BEACON STREET
BOSTON, MA 02215

OWNER:
FOXCROFT, INC.
497 BEACON STREET, UNITS 11 & 12
BOSTON, MA 02215
TEL: 617-304-9460

REVISIONS			
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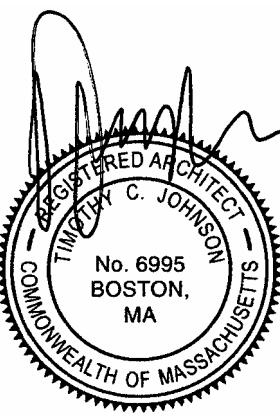
Tim Johnson Architect, LLC



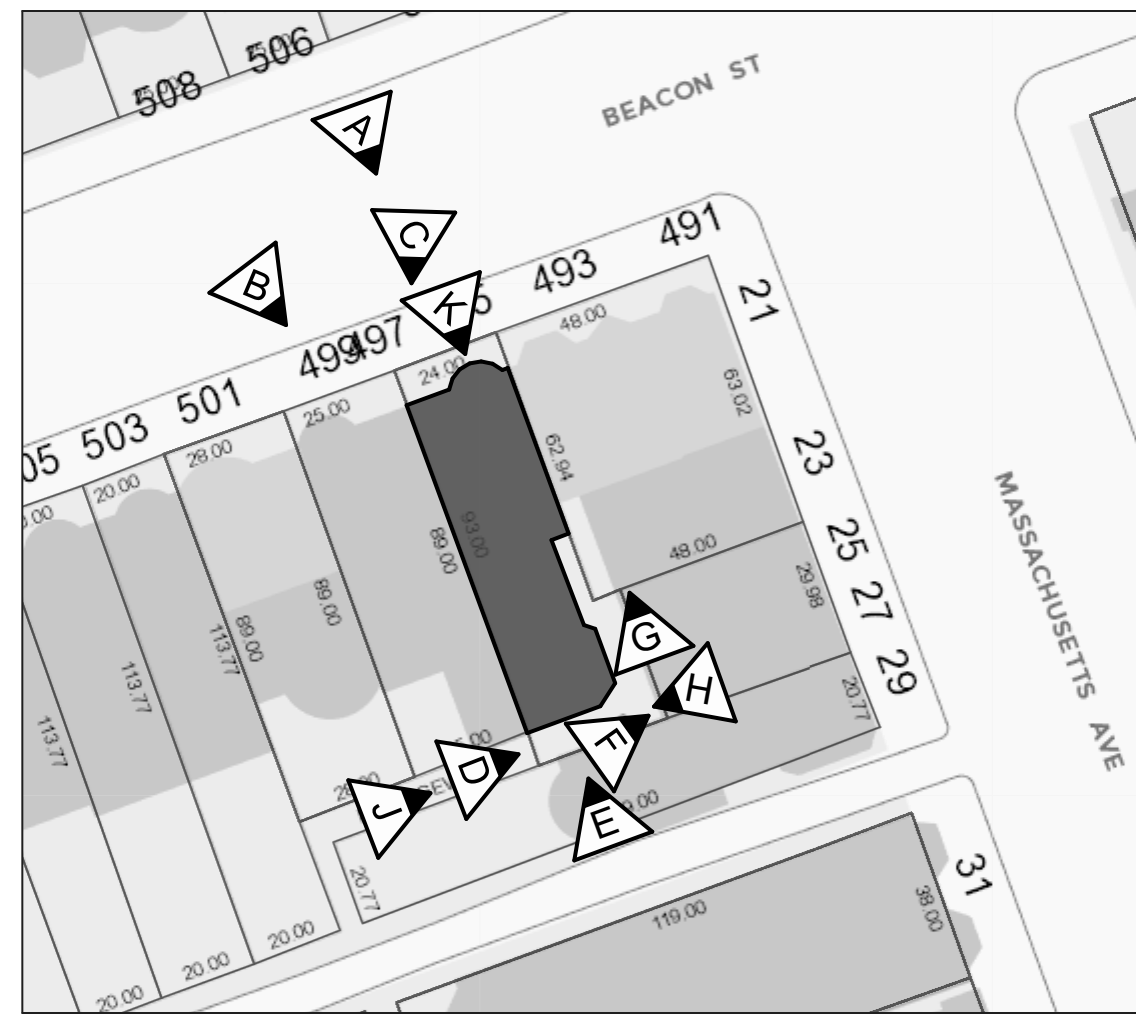
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DRAWING TITLE
3-3 BUILDING SECTION

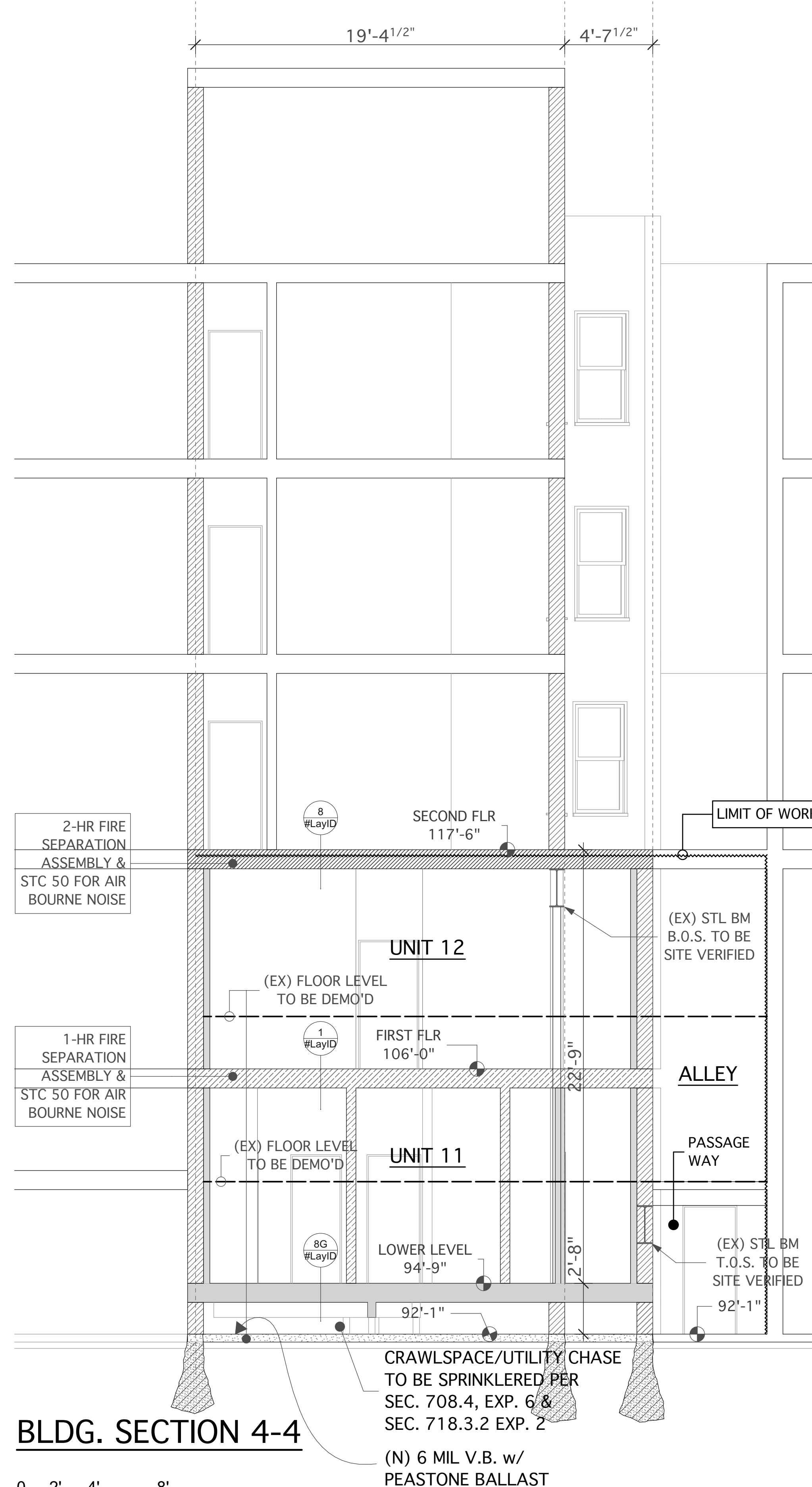
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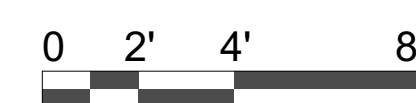
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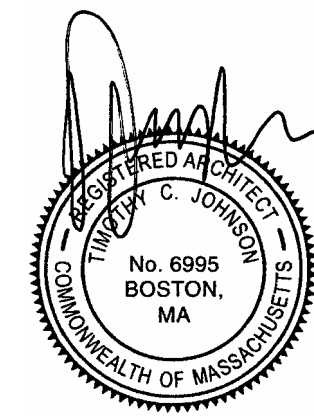
FOR PHOTOGRAPHS, SEE SHEET X01 & EXTERIOR ELEVATION SHEETS A12-A15

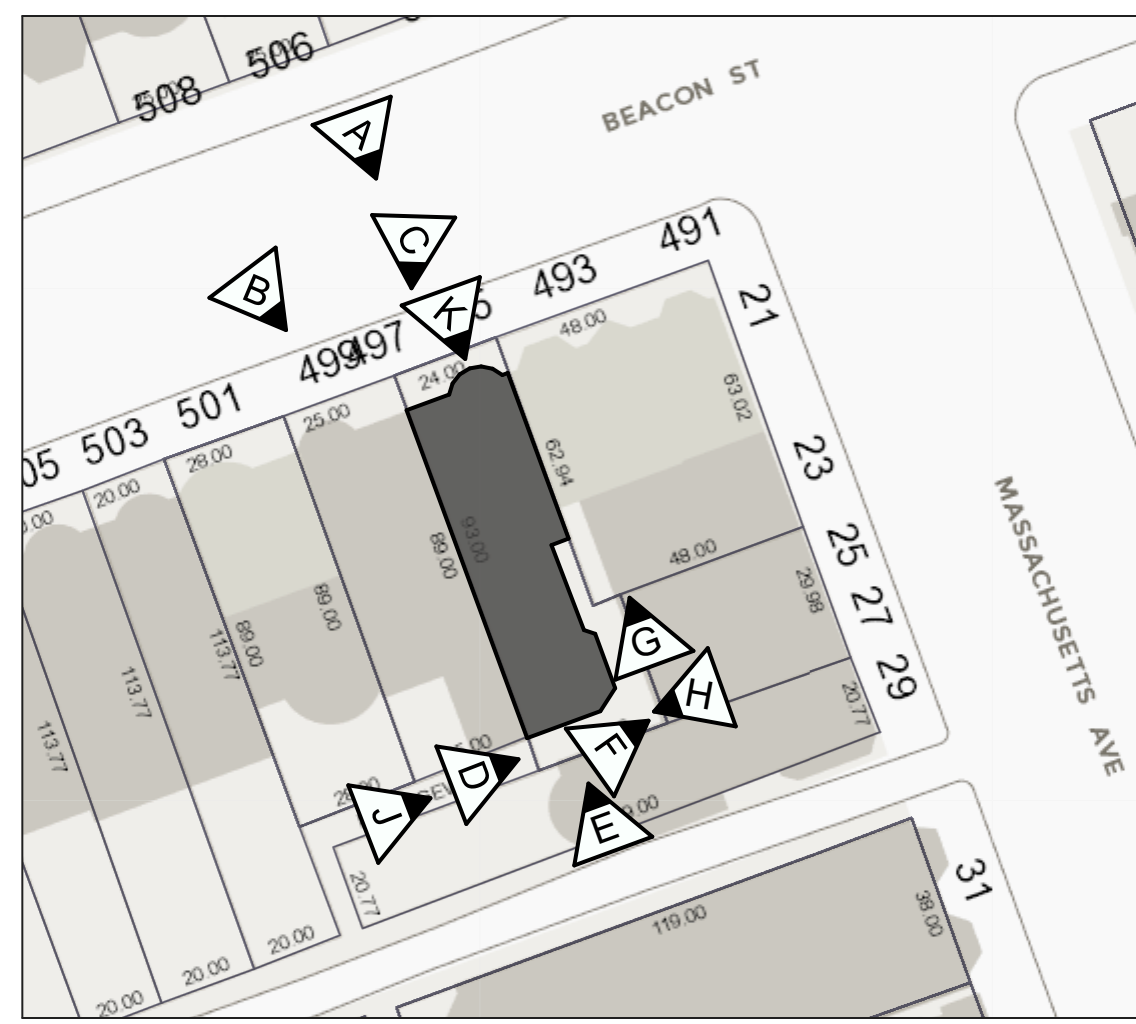


BLDG. SECTION 4-4



PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 190 OLD COLONY AVENUE BOSTON, MA 02127 TEL: 617-464-4363											
RENOVATION TO UNITS 11 & 12 495-497 BEACON STREET BOSTON, MA 02215	OWNER: FOXCROFT, INC. 497 BEACON STREET, UNITS 11 & 12 BOSTON, MA 02215 TEL: 617-304-9460										
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△ 02/25/21	△										
△ 11/02/21	△										
Tim Johnson Architect, LLC											
PRELIMINARY DWG. SET											
DRAWING TITLE											
4-4 BUILDING SECTION											
DATE: 10/02/20	SC: 1/4" = 1'-0"										
A12											





FOR PHOTOGRAPHS, SEE SHEET X01 & EXTERIOR ELEVATION SHEETS A12-A15



VIEW-A



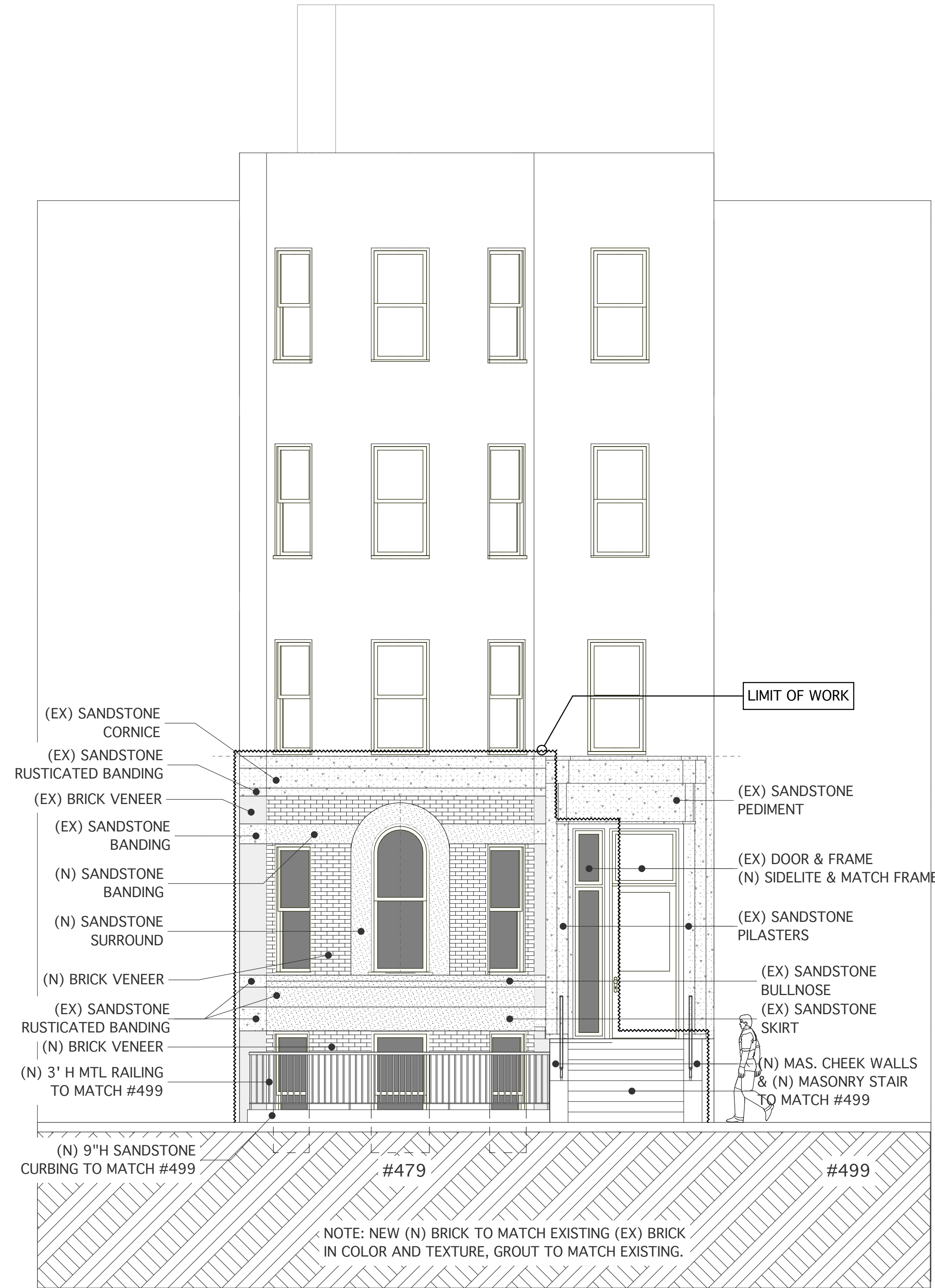
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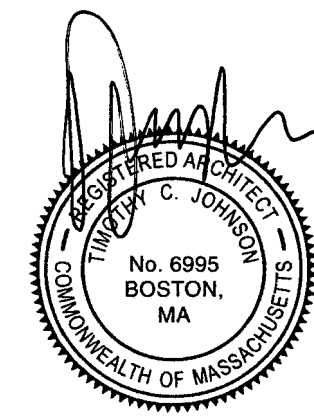
VIEW-C



VIEW-K



NORTH (BEACON ST.) ELEVATION



PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
190 OLD COLONY AVENUE
BOSTON, MA 02127
TEL: 617-464-4363

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Tim Johnson Architect, LLC

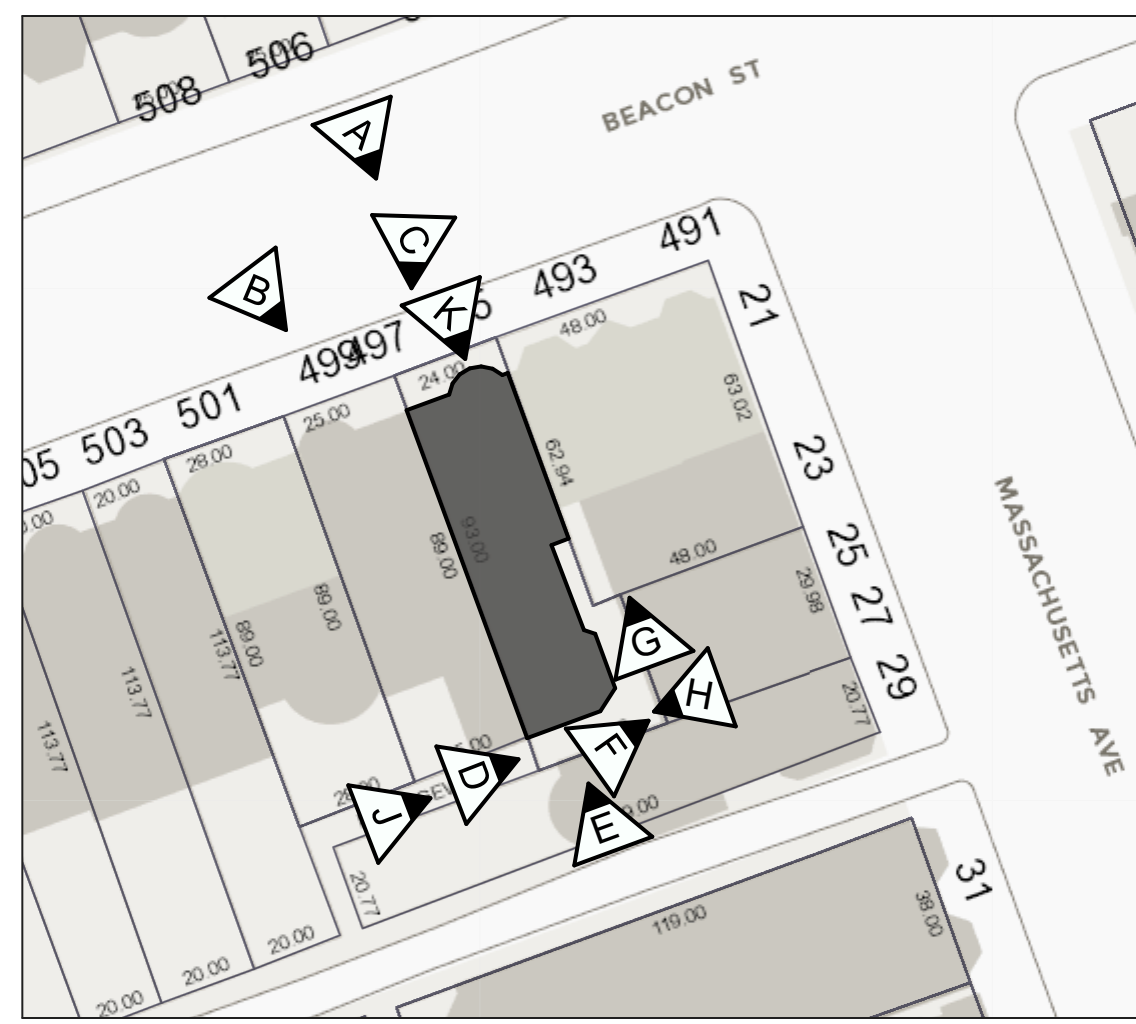


PRELIMINARY DWG. SET

DRAWING TITLE
NORTH (BEACON STREET) ELEVATION

DATE: 10/02/20 SC: 1/4" = 1'-0"

A13



FOR PHOTOGRAPHS, SEE SHEET X01 & EXTERIOR ELEVATION SHEETS A12-A15



VIEW-F



VIEW-G



VIEW-H



EAST (ALLEY) ELEVATION



PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
190 OLD COLONY AVENUE
BOSTON, MA 02127
TEL: 617-464-4363

RENOVATION TO UNITS 11 & 12
495-497 BEACON STREET
BOSTON, MA 02215

OWNER:
FOXCROFT, INC.
497 BEACON STREET, UNITS 11 & 12
BOSTON, MA 02215
TEL: 617-304-9460

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Tim Johnson Architect, LLC

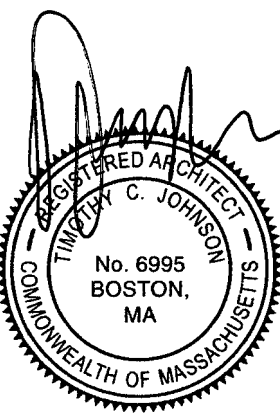


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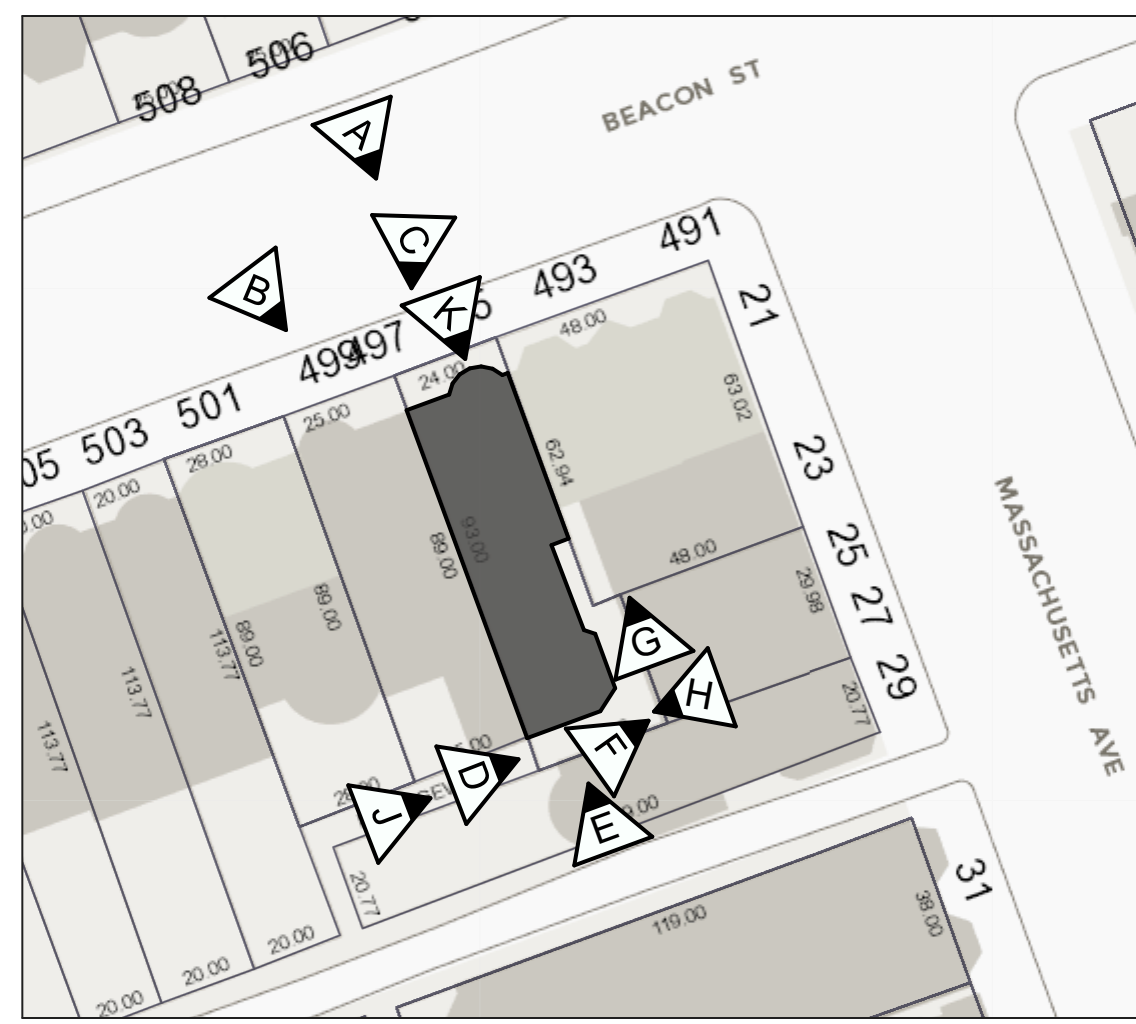
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EAST (ALLEY) ELEVATION

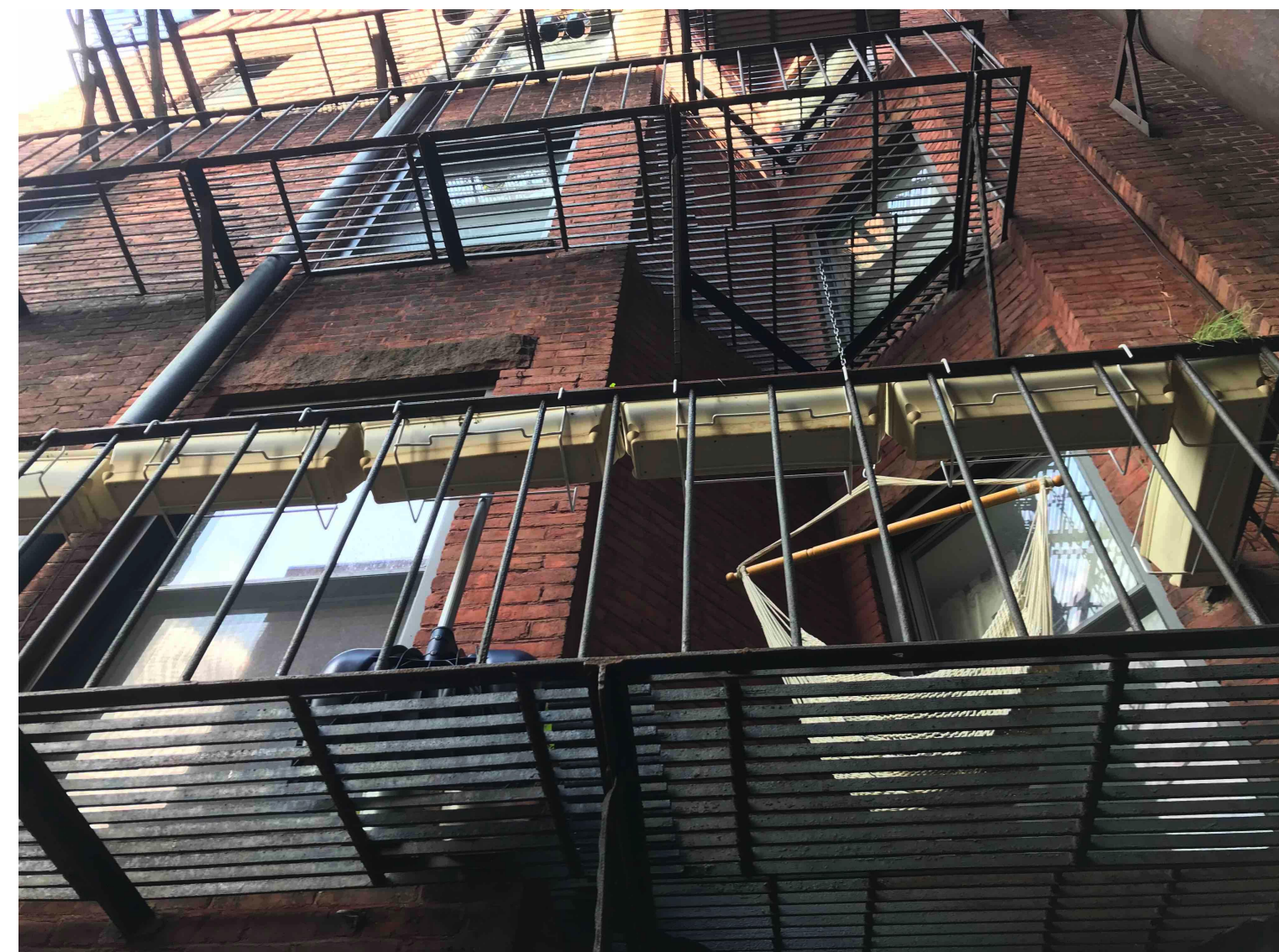
DATE: 10/02/20 SC: 1/4" = 1'-0"



A14



FOR PHOTOGRAPHS, SEE SHEET X01 & EXTERIOR ELEVATION SHEETS A12-A15



VIEW-E



VIEW-D



VIEW-F



VIEW-G



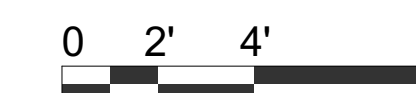
VIEW-H



VIEW-J



SOUTH (ALLEY) ELEVATION



(EX) BRICK VENEER IN THIS AREA, REPOINT AS NECESSARY

LIMIT OF WORK

ALLEY

PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
190 OLD COLONY AVENUE
BOSTON, MA 02127
TEL: 617-464-4363

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△	11/02/21	△	

Tim Johnson Architect, LLC

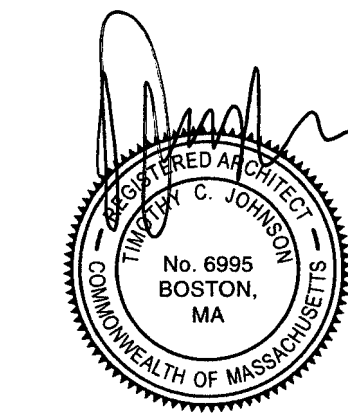


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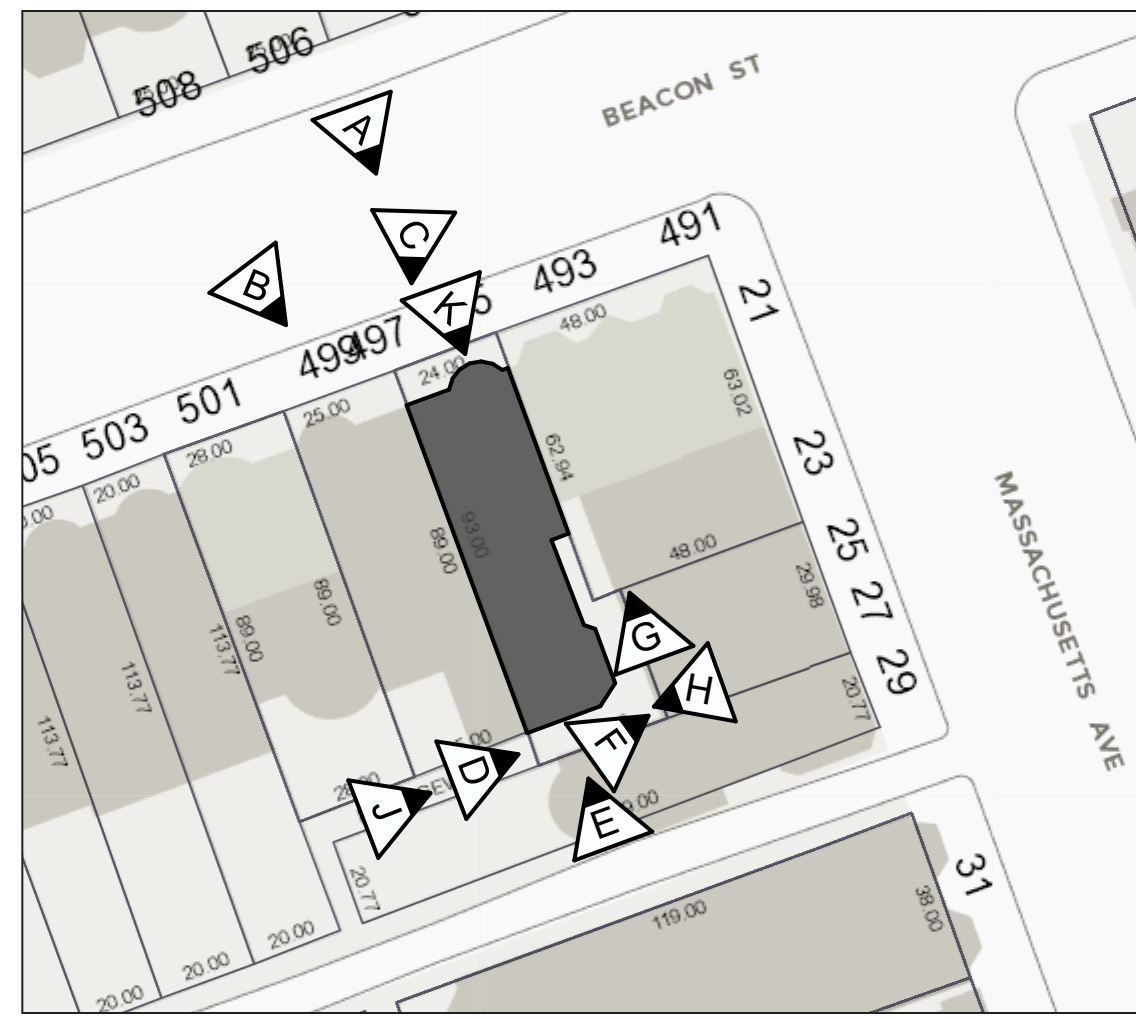
DRAWING TITLE

SOUTH (ALLEY)
ELEVATION

DATE: 10/02/20 SC: 1/4" = 1'-0"



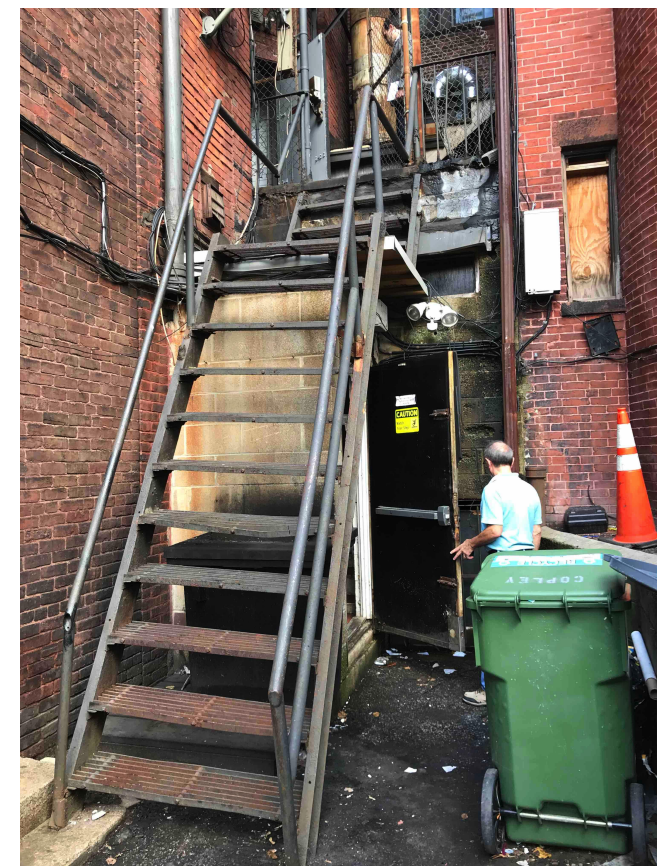
A15



FOR PHOTOGRAPHS, SEE SHEET X01 & EXTERIOR ELEVATION SHEETS A12-A15



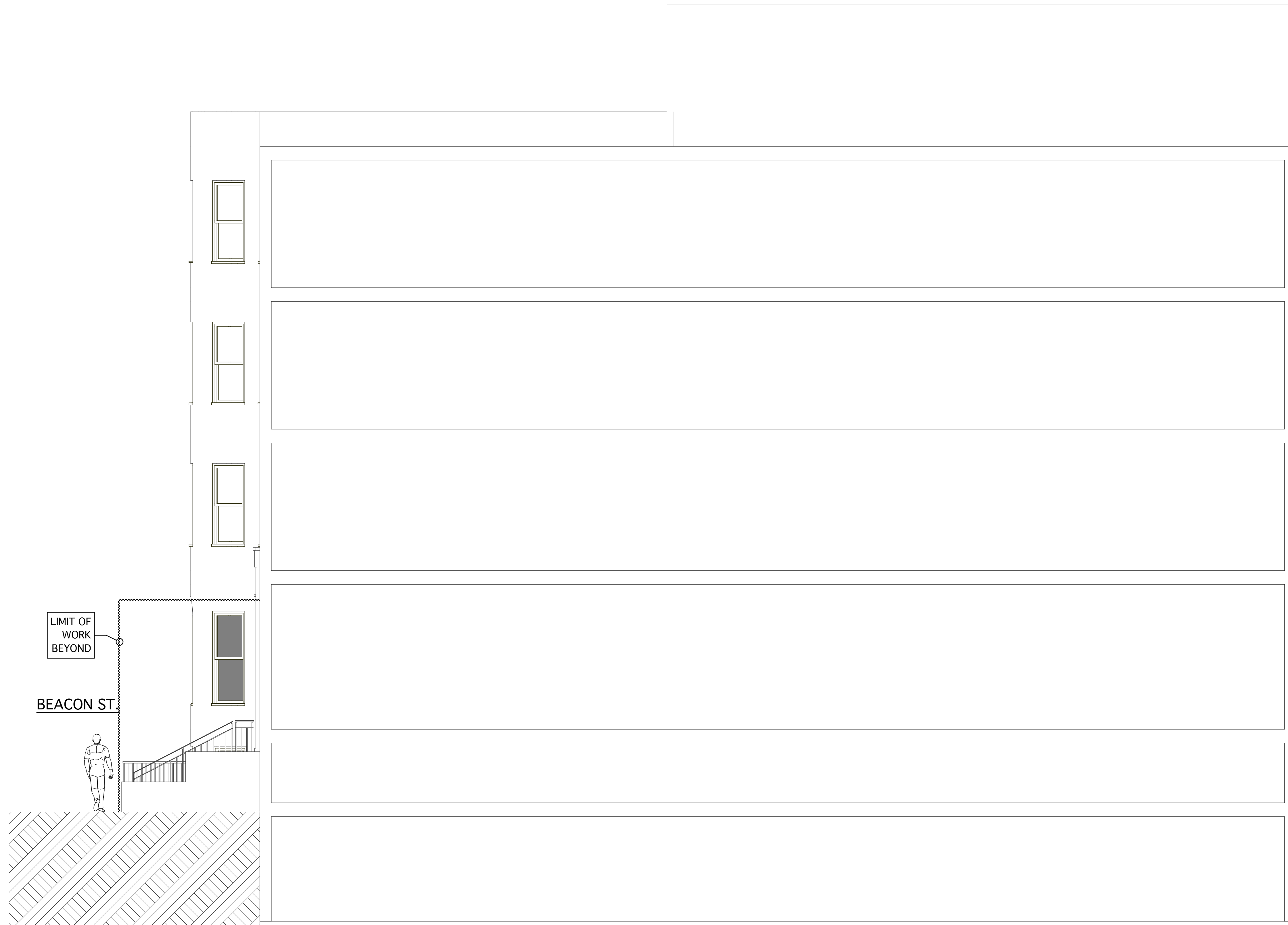
VIEW-B



VIEW-D



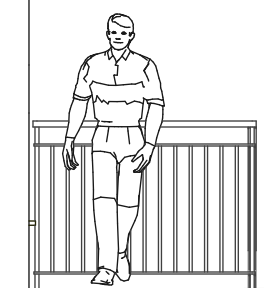
VIEW-J



WEST ELEVATION



ALLEY



PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
190 OLD COLONY AVENUE
BOSTON, MA 02127
TEL: 617-464-4363

RENOVATION TO UNITS 11 & 12
495-497 BEACON STREET
BOSTON, MA 02215

OWNER:
FOXCROFT, INC.
497 BEACON STREET, UNITS 11 & 12
BOSTON, MA 02215
TEL: 617-304-9460

REVISIONS

△	12/04/20	△	08/21/23
△	12/24/20	△	
△	01/09/21	△	
△	02/25/21	△	
△	11/02/21	△	

Tim Johnson Architect, LLC

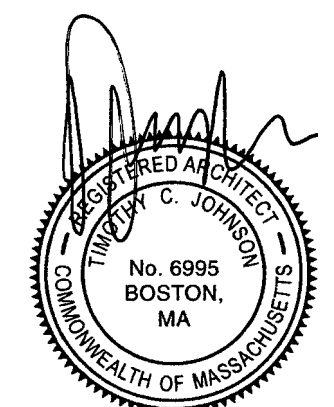


PRELIMINARY DWG. SET

DRAWING TITLE

WEST ELEVATION

DATE: 10/02/20 SC: 1/4" = 1'-0"



A16

DOOR SCHEDULE												Page 1 of 1																																																			
Job Name: 495-497 Beacon Street																																																															
Date: 09/25/20																																																															
*REVISED:																																																															
*REV.	Symbol	Qty.	LOCATION	DOOR	Nominal Sizes		Rough Openings		FRAME	MANUFACTURER		MISC.	Remarks																																																		
			Type	Type	Width	Height	Width	Height	Jamb	Treshld.	Company	Product No.	Hdwre.																																																		
	1	2	B	B	3'-0"	6'-8"			X					1 Hour Fire-Rated Door																																																	
	2	1	B	B	2'-8"	6'-8"			X					1.5 Hour Fire-Rated Door																																																	
<table border="0"> <tr> <td>HARDWARE SCHEDULE</td> <td>MISC. SCHEDULE</td> <td>DOOR SCHEDULE</td> <td>NOTES:</td> </tr> <tr> <td>L-1 Cylinder lockset, passage lock</td> <td>T-1</td> <td>Clr. oak, beveled edges</td> <td>A Panel door</td> </tr> <tr> <td>L-2 Cylinder lockset, privacy lock</td> <td>T-2</td> <td>White marble, beveled edges</td> <td>B Flush door</td> </tr> <tr> <td>L-3 Dummy trim</td> <td>T-3</td> <td>Clr. anod. alum., beveled edges</td> <td>C Louvre door</td> </tr> <tr> <td>L-4 Mortise-type entry lockset</td> <td>T-4</td> <td>Std. alum.sill.adjust. hardwd. thrhd.</td> <td>D Patio door</td> </tr> <tr> <td>L-5 Bored-type entry lockset</td> <td></td> <td></td> <td>E French door</td> </tr> <tr> <td>L-6 Deadbolt cylinder</td> <td>W-1</td> <td>Weatherstrip, bulb-type</td> <td>F Sliding door</td> </tr> <tr> <td>C-1 Heavy-duty closer</td> <td>J-1</td> <td>Solid dimension board, stain grade</td> <td>G Bi-fold door</td> </tr> <tr> <td>C-2 Standard-duty closer</td> <td>J-2</td> <td>Finger-jointed board, paint grade</td> <td>H Pocket door</td> </tr> <tr> <td>H-1 Plain bearing hinges, 3-butts</td> <td>J-3</td> <td>Split-wood frame</td> <td>J Sidelights</td> </tr> <tr> <td>H-2 Ball bearing hinges, 3-butts</td> <td>J-4</td> <td>Hollow metal frame</td> <td>S Special</td> </tr> <tr> <td></td> <td></td> <td></td> <td>K 1/2 Lite Door</td> </tr> <tr> <td></td> <td></td> <td></td> <td>T Transom</td> </tr> </table>												HARDWARE SCHEDULE	MISC. SCHEDULE	DOOR SCHEDULE	NOTES:	L-1 Cylinder lockset, passage lock	T-1	Clr. oak, beveled edges	A Panel door	L-2 Cylinder lockset, privacy lock	T-2	White marble, beveled edges	B Flush door	L-3 Dummy trim	T-3	Clr. anod. alum., beveled edges	C Louvre door	L-4 Mortise-type entry lockset	T-4	Std. alum.sill.adjust. hardwd. thrhd.	D Patio door	L-5 Bored-type entry lockset			E French door	L-6 Deadbolt cylinder	W-1	Weatherstrip, bulb-type	F Sliding door	C-1 Heavy-duty closer	J-1	Solid dimension board, stain grade	G Bi-fold door	C-2 Standard-duty closer	J-2	Finger-jointed board, paint grade	H Pocket door	H-1 Plain bearing hinges, 3-butts	J-3	Split-wood frame	J Sidelights	H-2 Ball bearing hinges, 3-butts	J-4	Hollow metal frame	S Special				K 1/2 Lite Door				T Transom
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WINDOW SCHEDULE												Page 1 of 1
Job Name: 495-497 Beacon Street												
Date: 09/25/20												
*REVISED:												
*REV.	Symbol	Qty.	Manufacturer		Nominal Sizes		Rough Openings		Window		Remarks	
			Company	Product No.	Type	Width	Height	Width	Height	Glazing		
	A	10			DH	3'-0"	6'-0"			Low-E	Egress, Match Existing	
	B	3			DH	3'-0"	6'-6"			Low-E	Egress, Match Existing	
	C	2			DH	3'-0"	6'-10"			Low-E	Egress, Match Existing	
	D	1			DH	3'-0"	7'-11"			Low-E	Custom Round-Top Window, Match Existing	
TOTAL		16										
<p>Note 1: Window openings in group R2 & R3 where top of sill is located <36" above finished floor and >72" above finished grade shall comply with 780 CMR sec. 1015.8, Window Opening Control Devices</p>												

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OWNER:
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△	12/24/20	△	
△	01/09/21	△	
△	02/25/21	△	
△	11/02/21	△	

Tim Johnson Architect, LLC

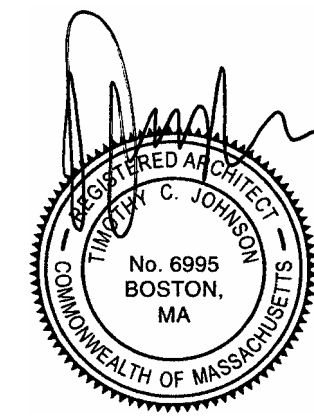


PRELIMINARY DWG. SET

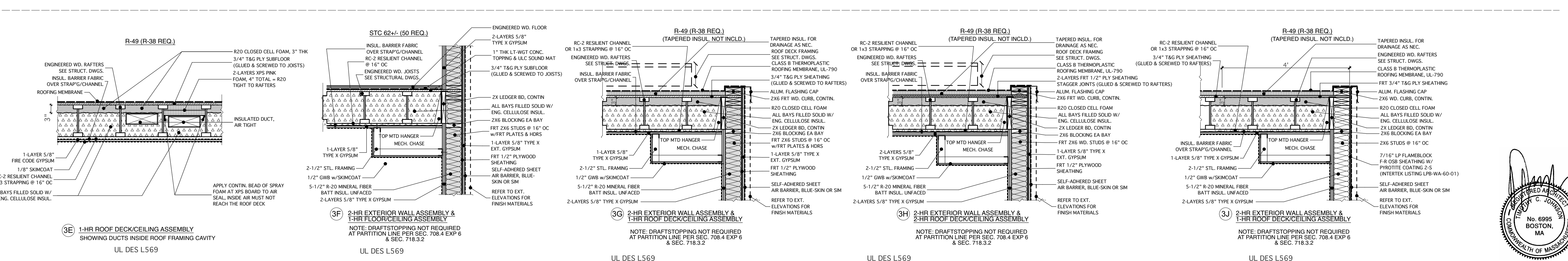
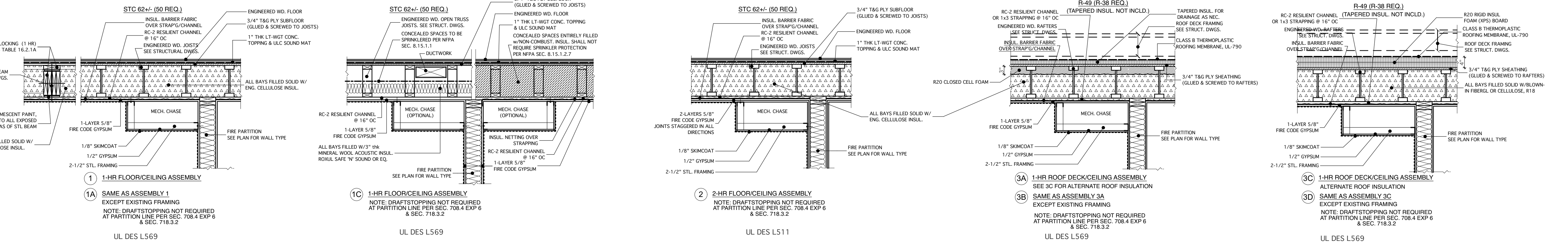
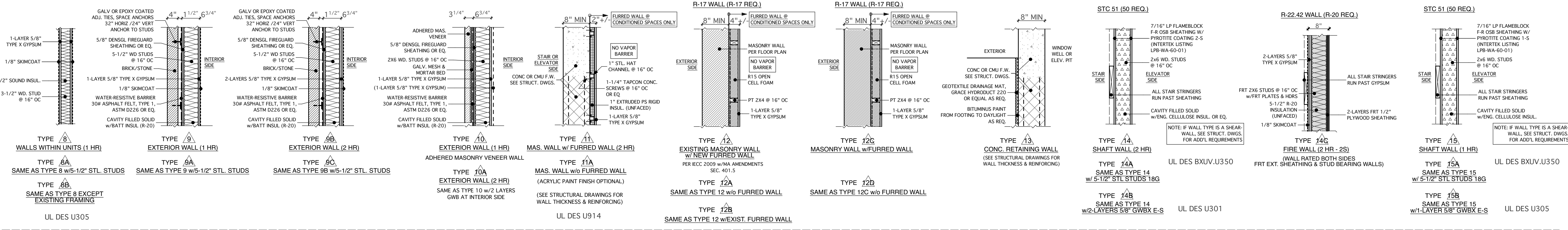
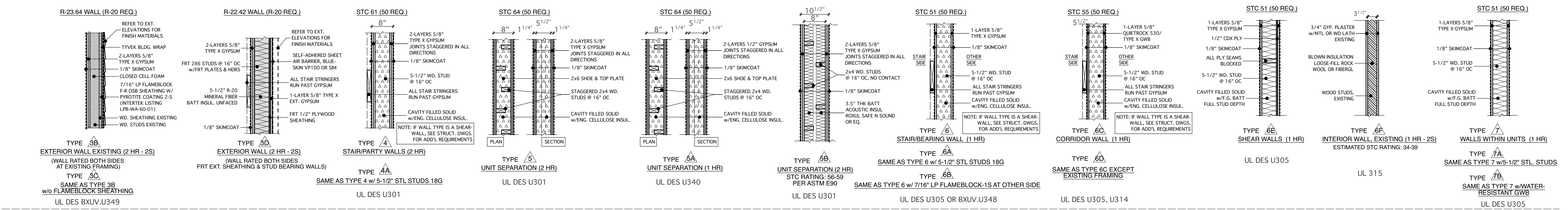
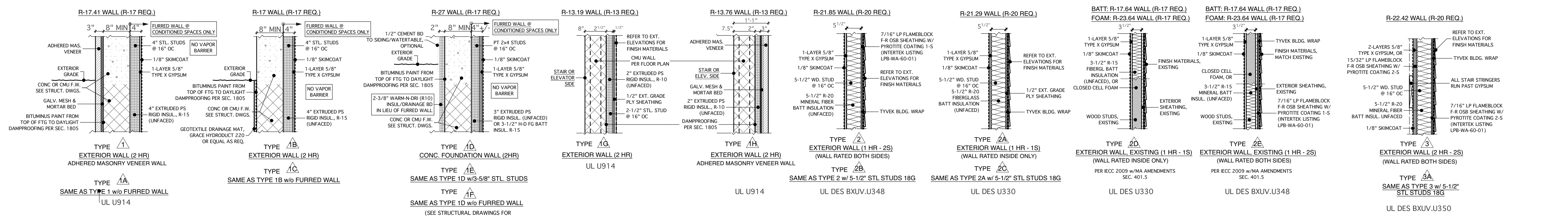
DRAWING TITLE

SCHEDULES

DATE: 10/02/20 SC: N. T. S.



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PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
 190 OLD COLONY AVENUE
 BOSTON, MA 02127
 TEL: 617-464-4363

RENOVATION TO UNITS 11 & 12
 495-497 BEACON STREET
 BOSTON, MA 02215

OWNER:
FOXROFT, INC.
 497 BEACON STREET, UNITS 11 & 12
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 TEL: 617-304-9460

REVISIONS			
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△	12/24/20	△	
△	01/09/21	△	
△	02/25/21	△	
△	11/02/21	△	

Tim Johnson Architect, LLC



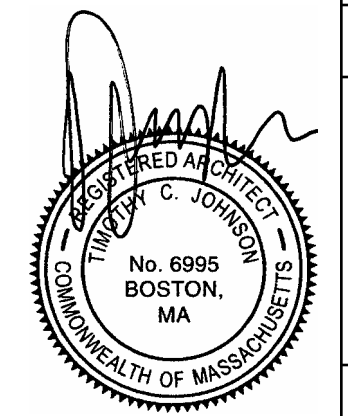
PRELIMINARY DWG. SET

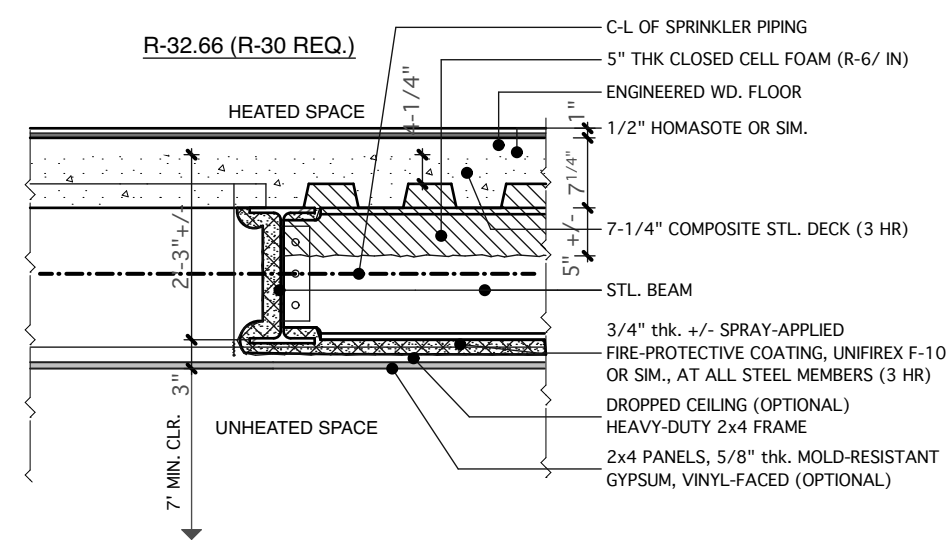
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WALL/ FLOOR TYPES

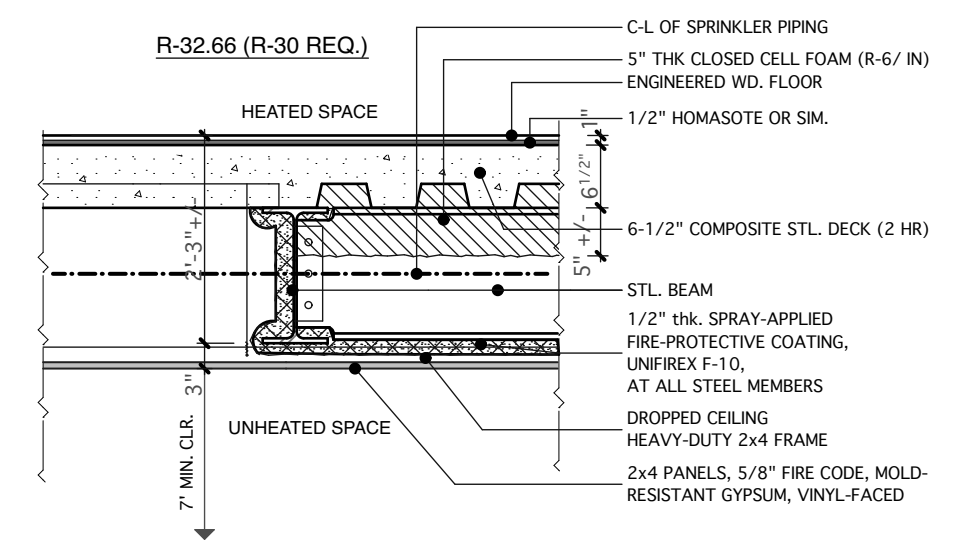
DATE: 10/02/20 SC: N. T. S.

A18

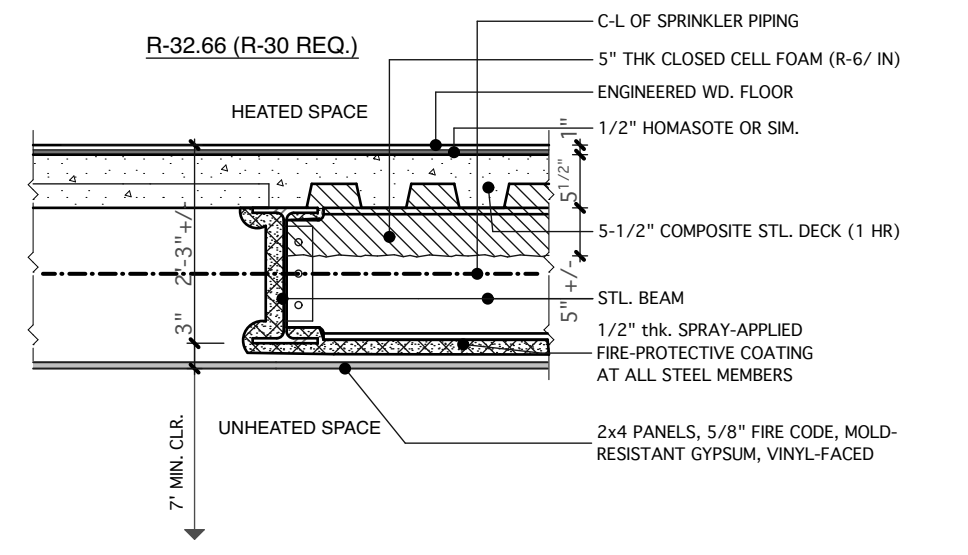




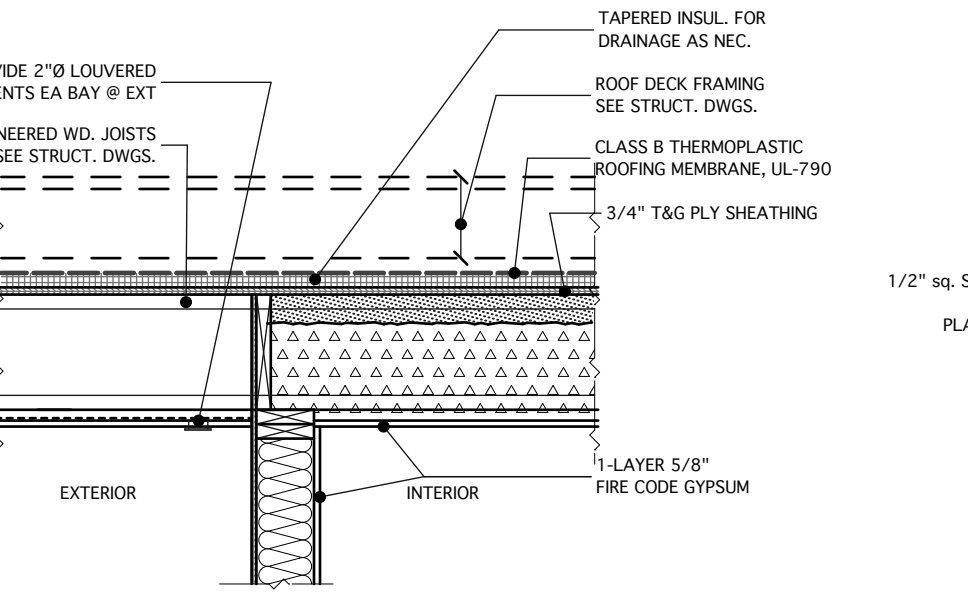
4A 3-HR FLOOR/CEILING ASSEMBLY
7 FT. MIN. CLEARANCE AT DROPPED CEILING
UNIFIREX F-10 (SFRM) BY UNSHIELDED INT'L
FIRE-RESIST RATING: ASTM E119
SURFACE BURNING CHARACTER: ASTM E84
UL DES G529



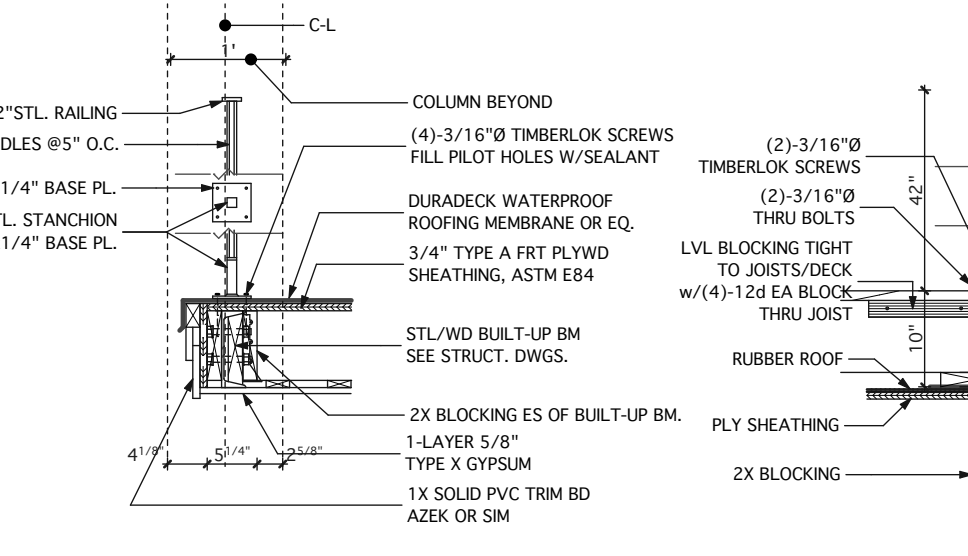
5A 2-HR FLOOR/CEILING ASSEMBLY
7 FT. MIN. CLEARANCE AT UNSHIELDED CEILING
UNIFIREX F-10 (SFRM) BY UNSHIELDED INT'L
FIRE-RESIST RATING: ASTM E119
SURFACE BURNING CHARACTER: ASTM E84
UL DES G205



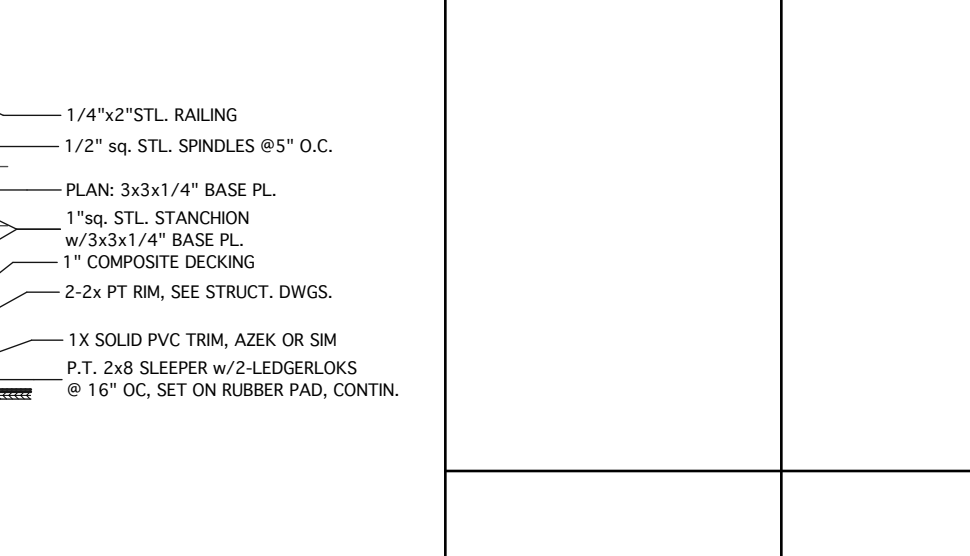
6 1-HR FLOOR/CEILING ASSEMBLY
UNIFIREX F-10 (SFRM) BY UNSHIELDED INT'L
FIRE-RESIST RATING: ASTM E119
SURFACE BURNING CHARACTER: ASTM E84
UL DES G201



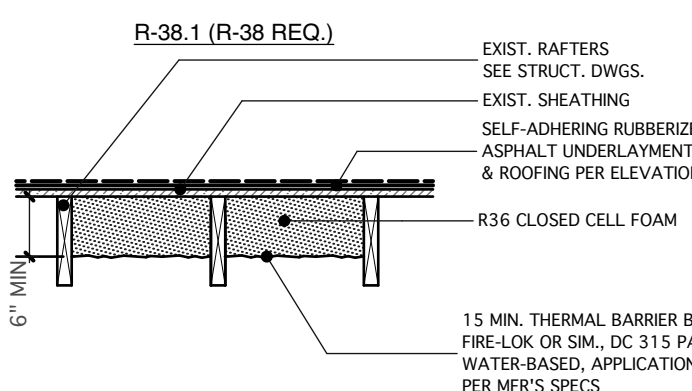
3F 1-HR ROOF DECK/CEILING ASSEMBLY
INTERIOR/EXTERIOR CONDITION



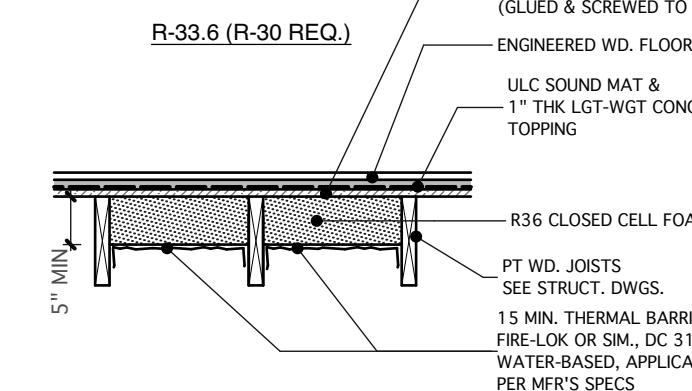
7 1-HR DECK ASSEMBLY AT STL. STRUCT. MEMBER
AT EXTERIOR



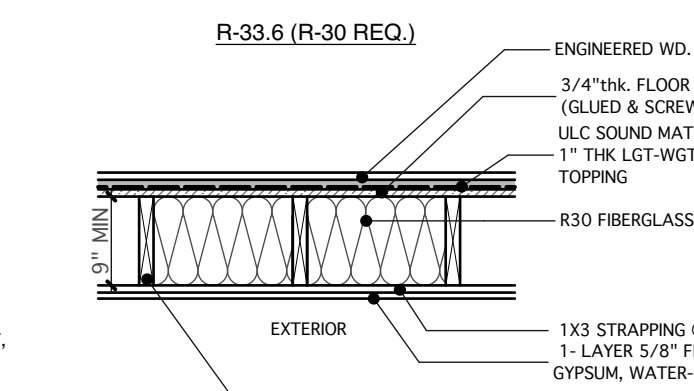
7A RAILING/ROOF DECK ASSEMBLY



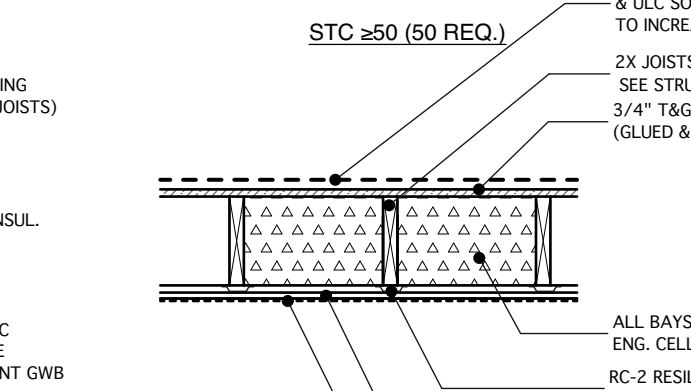
8D UNFINISHED CEILING ASSEMBLY
AT ROOF - CATHEDRAL



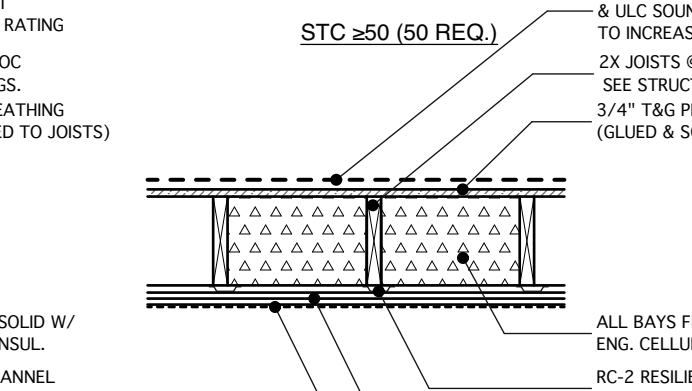
8E FLOOR/CEILING ASSEMBLY
AT CRAWLSPACE - VENTED



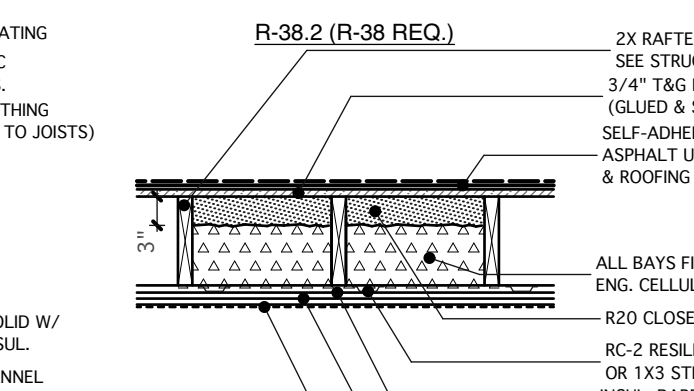
8F 1-HR FLOOR/CEILING ASSEMBLY
AT EXTERIOR CONDITION



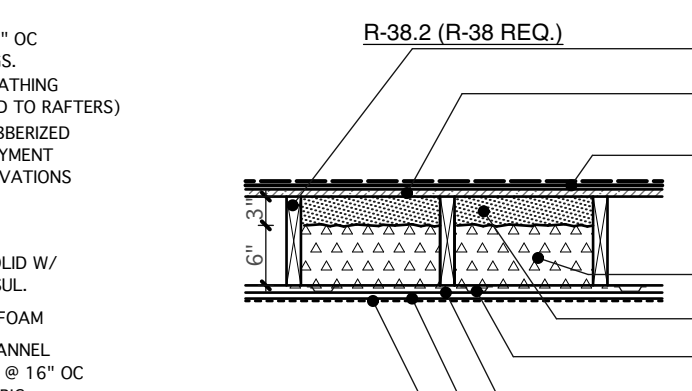
8 1-HR FLOOR/CEILING ASSEMBLY
AT INTERIOR CEILING



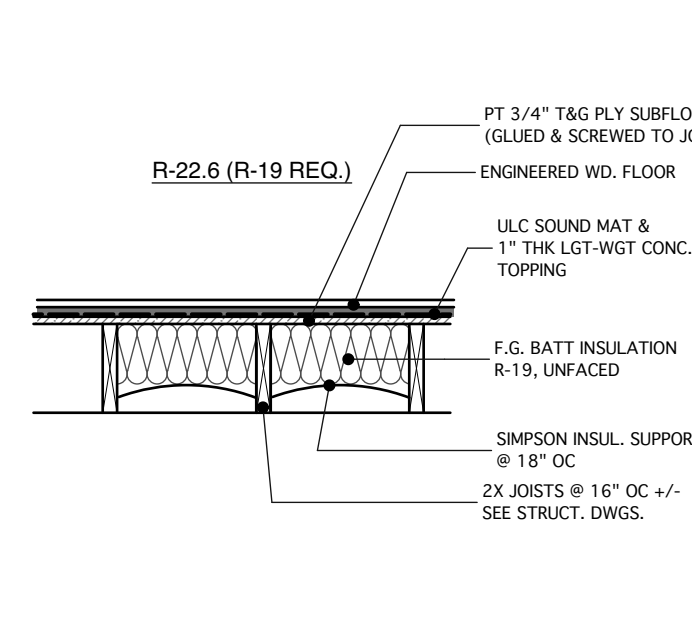
8A 2-HR FLOOR/CEILING ASSEMBLY
AT INTERIOR CEILING
UL DES L511



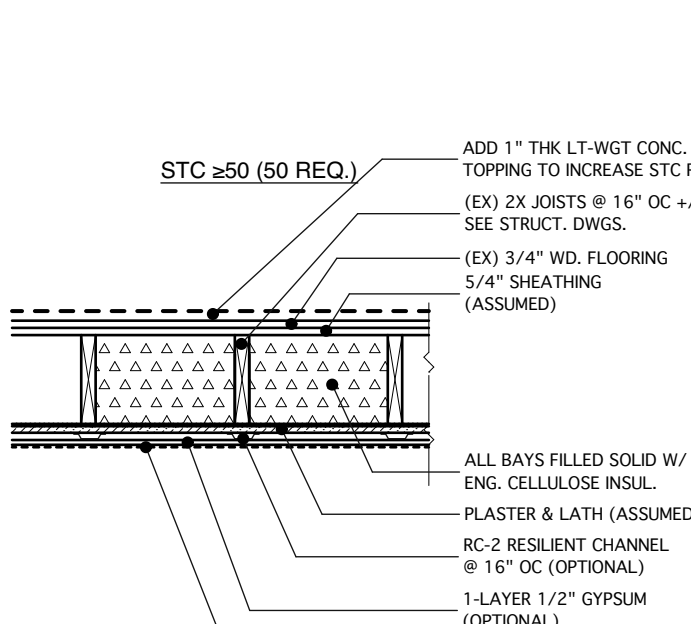
8B 2-HR CEILING ASSEMBLY
AT ROOF - CATHEDRAL
UL DES L511



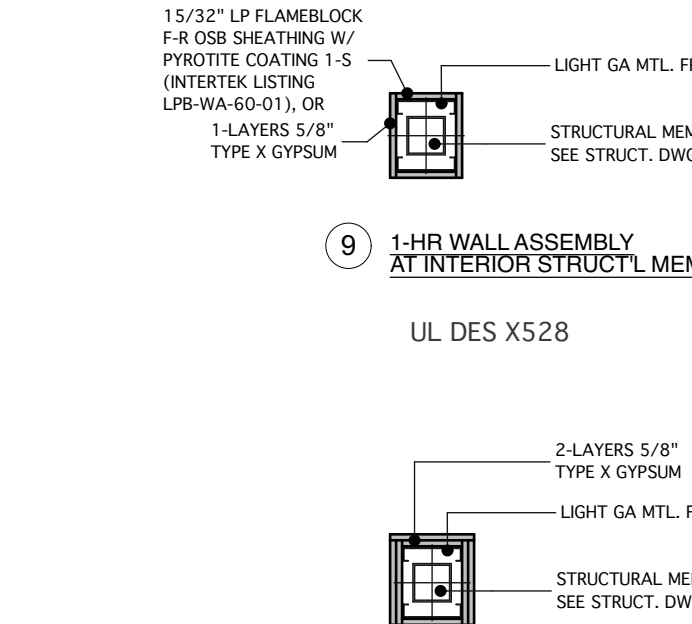
8C 1-HR CEILING ASSEMBLY
AT ROOF - CATHEDRAL
UL DES L569



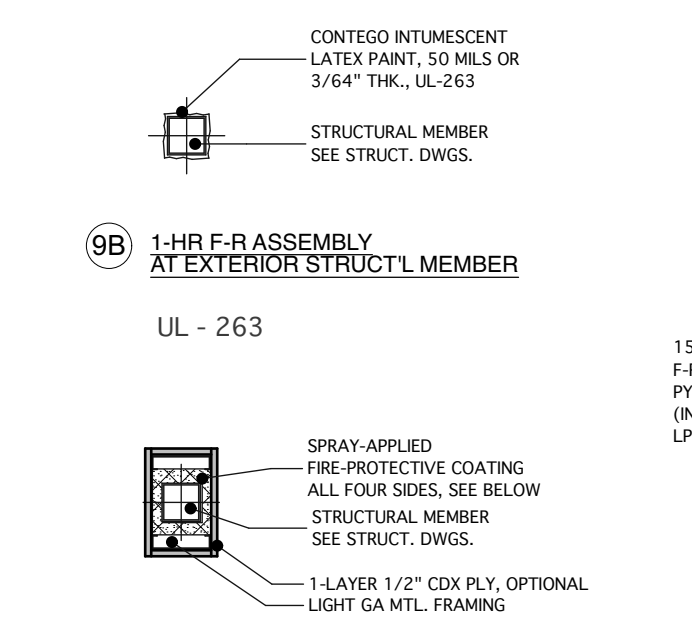
8G FLOOR/CEILING ASSEMBLY
AT CRAWLSPACE - NOT VENTED



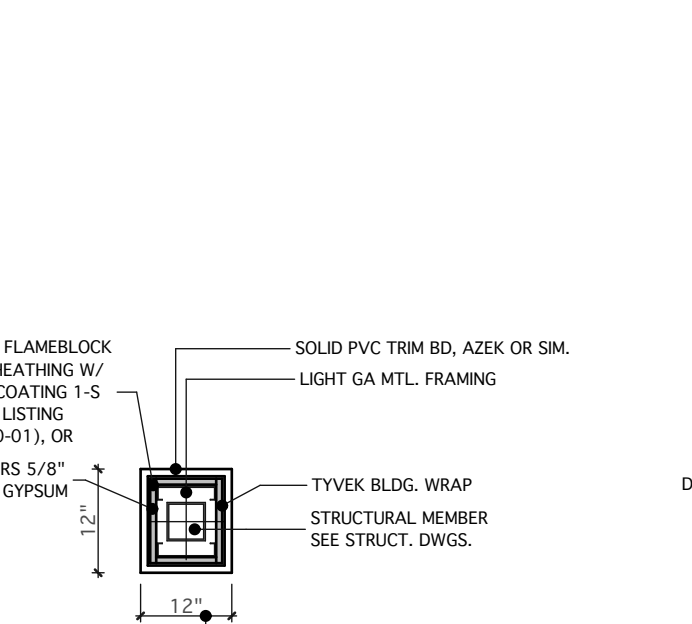
8H FLOOR/CEILING ASSEMBLY ALTERNATIVE
EXISTING FRAMING W/ EXIST. &
OPTIONAL FINISHES



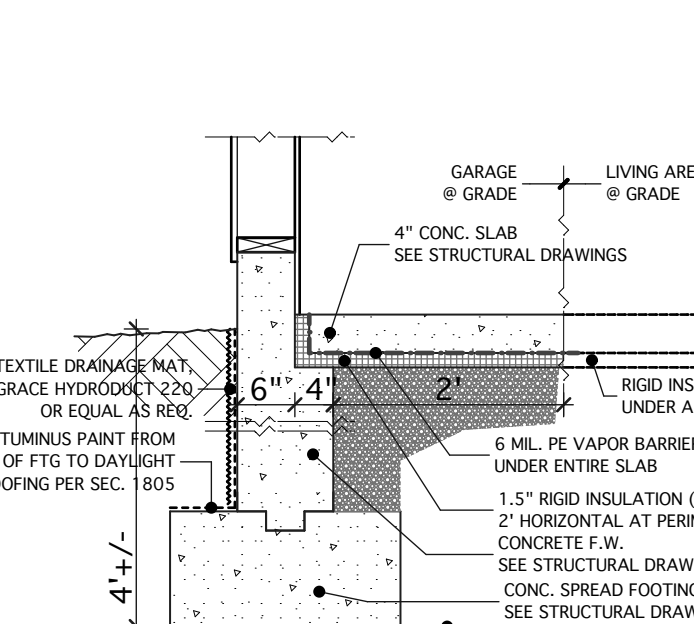
9 1-HR WALL ASSEMBLY
AT INTERIOR STRUCT. MEMBER
UL DES X528



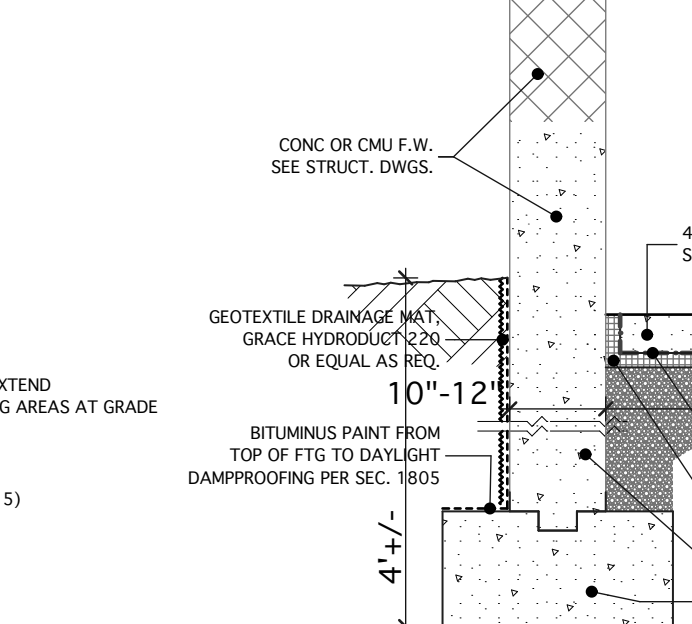
9B 1-HR F-R ASSEMBLY
AT EXTERIOR STRUCT. MEMBER
UL - 263



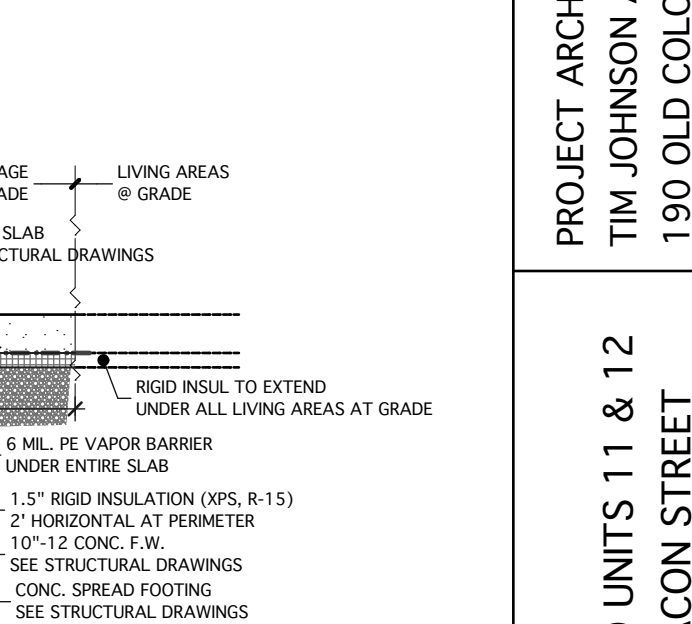
10 3-HR WALL ASSEMBLY
AT INTERIOR STRUCT. MEMBER
UL DES X528



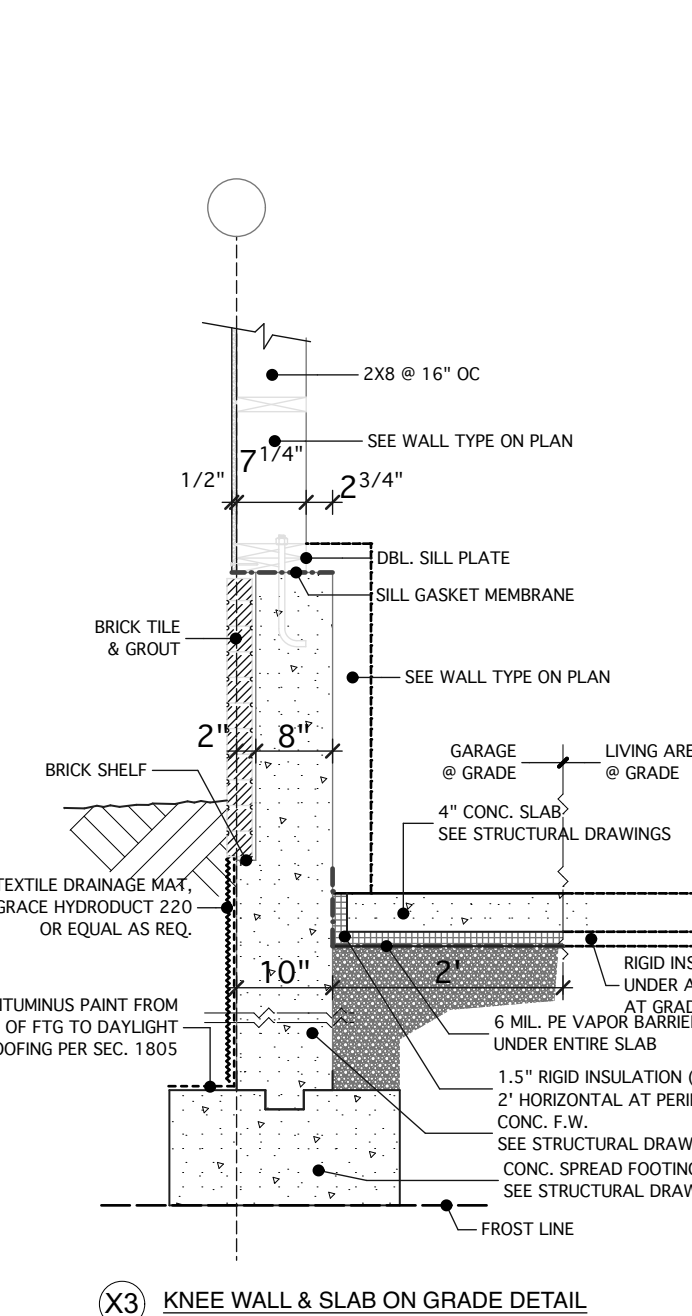
11 1-HR WALL ASSEMBLY
AT EXTERIOR STRUCT. MEMBER
UL DES X528



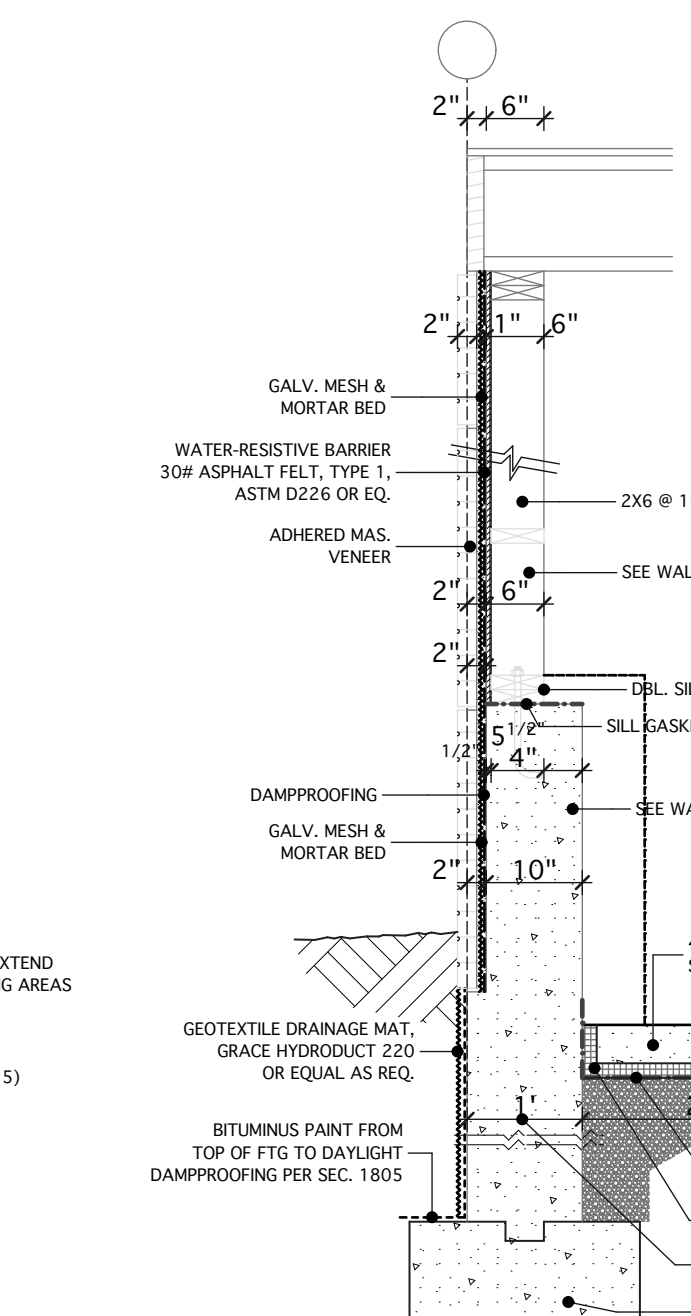
X1 INSULATED SLAB ON GRADE DETAIL
SEE STRUCTURAL DWGS.
NOTE: CONC. SLABS BELOW THE FROST LINE - E.G. BASEMENTS -
REQUIRE RIGID INSUL. AT PERIMETER ONLY.



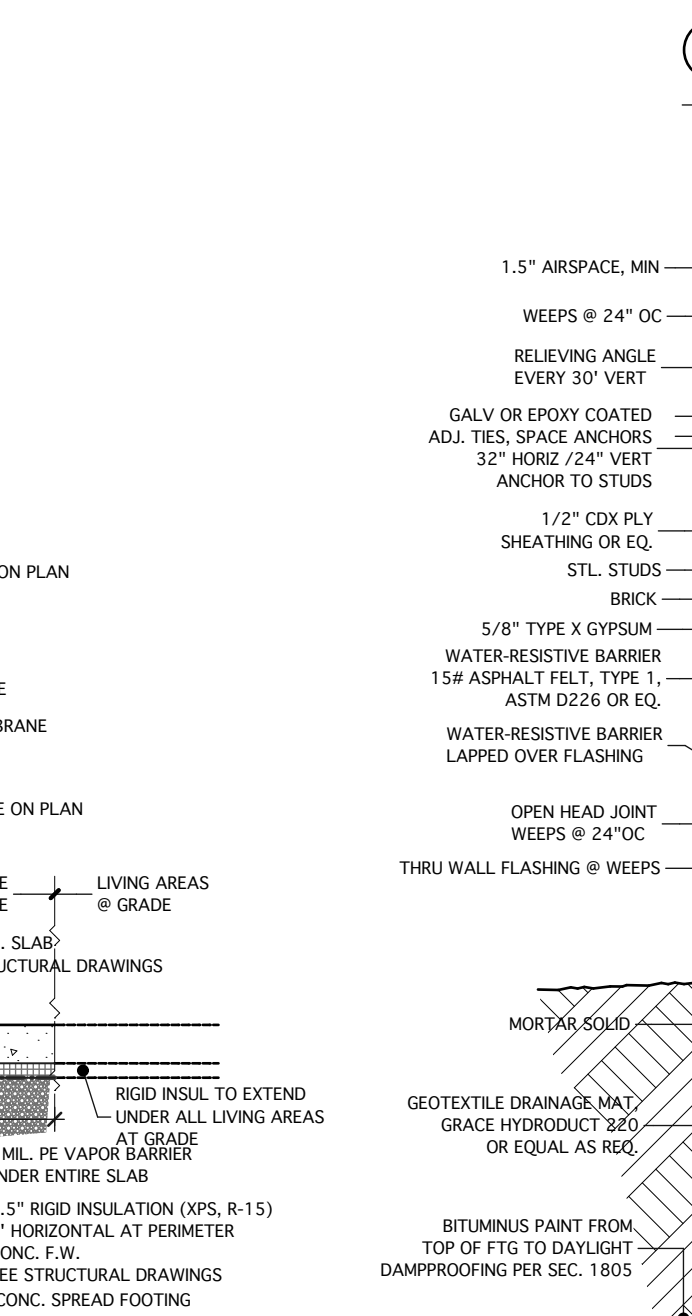
X2 INSULATED SLAB ON GRADE DETAIL
SEE STRUCTURAL DWGS.
NOTE: CONC. SLABS BELOW THE FROST LINE - E.G. BASEMENTS -
REQUIRE RIGID INSUL. AT PERIMETER ONLY.



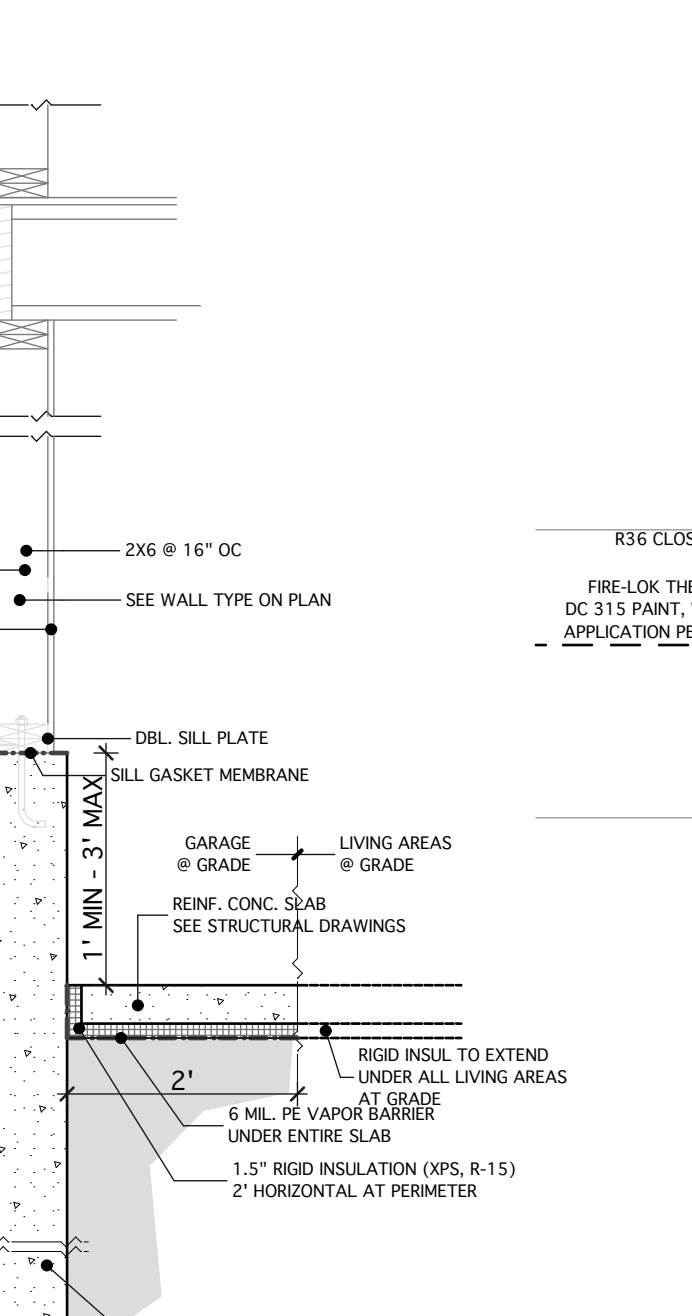
X3 KNEE WALL & SLAB ON GRADE DETAIL
SEE STRUCTURAL DWGS.



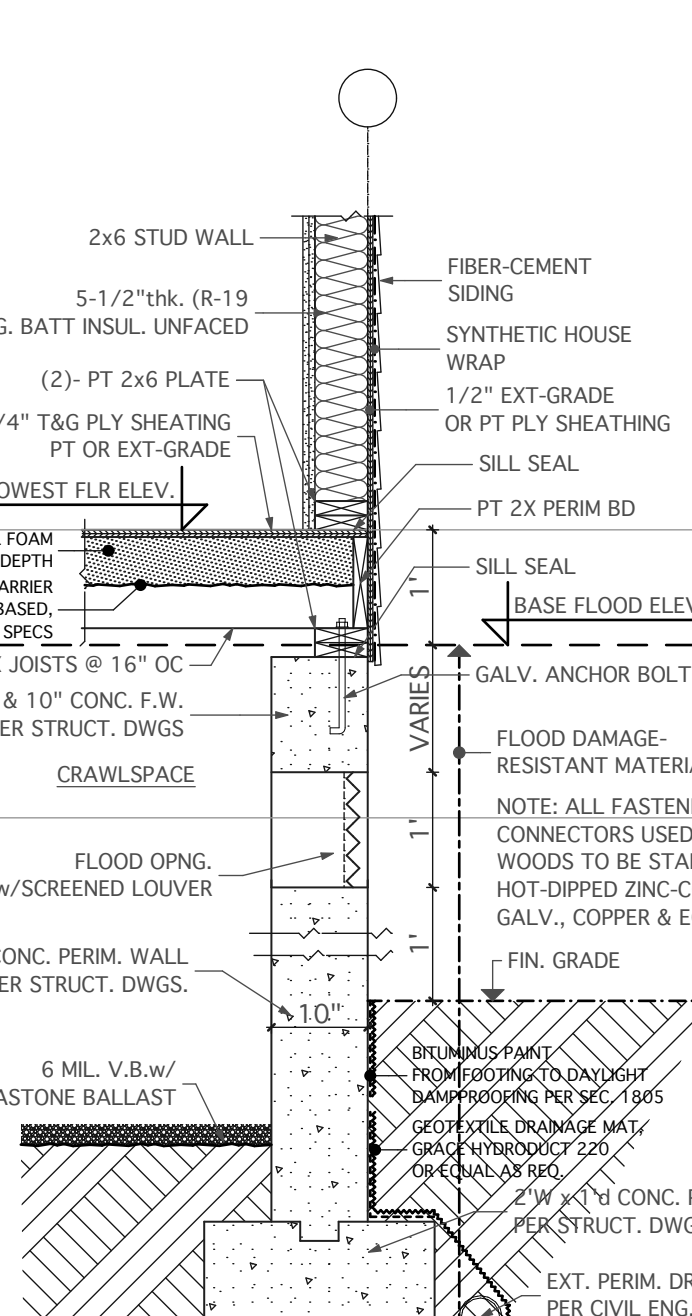
X3.1 KNEE WALL & SLAB ON GRADE DETAIL
SAME AS X3 EXCEPT NO BRICK VENEER/SHELF
SEE STRUCTURAL DWGS.



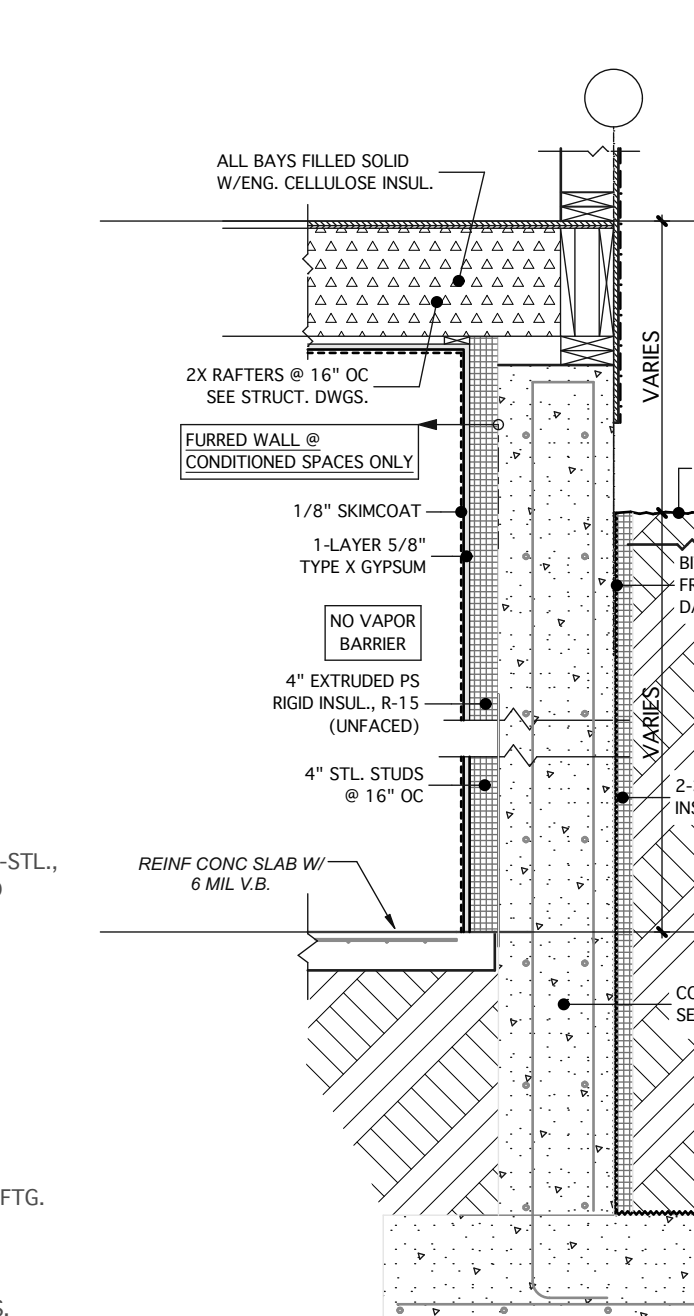
X4 KNEE WALL & SLAB ON GRADE DETAIL
ADHERED MASONRY VENEER WALL
SEE STRUCTURAL DWGS.



X5 KNEE WALL & SLAB ON GRADE DETAIL
SEE STRUCTURAL DWGS.



X6 FLOOD DAMAGE-RESISTANT
PERIM. FOOTING & EXTERIOR WALL DETAIL
PER 2015 IBC SECTION 1403.6
SEE STRUCTURAL DWGS.



X7 FOUNDATION WALL SECTION
SEE STRUCTURAL DWGS.

PROJECT ARCHITECT:
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Tim Johnson Architect, LLC

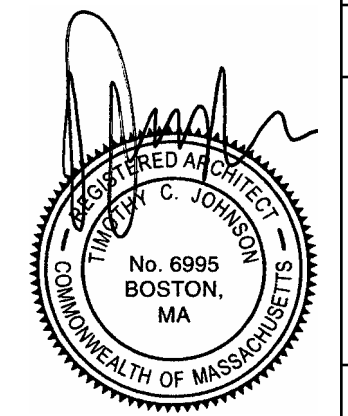


PRELIMINARY DWG. SET

DRAWING TITLE

WALL/FLOOR
TYPES

DATE: 10/02/20 SC: N. T. S.



A19