9 SPRUCE COURT

Boston, MA 02108

04.09.2024 SINGLE FAMILY



\FF	ABOVE FINISHED FLOOR
ACT	ACOUSTICAL CEILING TILE
ADA	AMERICANS W/ DISABILITIES AC
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
AV.	AUDIO VISUAL
BLDG	BUILDING
BLKG	BLOCKING
30	BOTTOM OF
CAB	CABINET
CH	CEILING HEIGHT
CLR	CLEAR
CL	CENTERLINE
COL	COLUMN
CONT	CONTINUOUS
СМU	CONCRETE MASONRY UNIT
CJ	CONTROL JOINT
OTL	DETAIL
DIA	DIAMETER
MIC	DIMENSION
ON	DOWN
OWG	DRAWING
EXIST	EXISTING
ELEV	ELEVATION
ELEC	ELECTRICAL
EQ	EQUAL

ABBREVIATIONS

FLOOR DRAIN FACE OF **FACE OF CONCRETE** FACE OF FINISH GROUND FAULT INTERCEPTOR CIRCUIT

GWB GYPSUM WALL BOARD **HVAC** HEATING, VENTILATING, AND AIR CONDITIONING HOSE BIB **HOLLOW METAL** MAX MAXIMUM MASONRY OPENING MECH MECHANICAL MIN MINIMUM MISC MISCELLANEOUS MTL METAL NIC NOT IN CONTRACT NO NUMBER NTS NOT TO SCALE OVER

ON CENTER OD OUTSIDE DIAMETER **OPNG** OPENING OPP OPPOSITE PAINT GRADE PLYWD PLYWOOD PTD PAINTED **ROOF DRAIN** REQ'D REQUIRED RO **ROUGH OPENING** SCHED SCHEDULE STAIN GRADE SIMILAR SQUARE SSTL STAINLESS STEEL STL STEEL STOR STORAGE STRUCT STRUCTURAL T&G TONGUE AND GROOVE TO TOP OF

TYPICAL

WITHOUT

WOOD

VERIFY IN FIELD

UNLESS OTHERWISE NOTED

WATERPROOFING MEMBRANE

TYP

UON

W/O

WPM

SHEET LIST

SHEET#	SHEET NAME	REVISION	REVISION DATE
A000	COVER		
A001	BUILDING INFORMATION		
A002	BUILDING INFORMATION		
A003	BUILDING INFORMATION		
AD100	DEMO PLANS		
AD101	DEMO PLANS		
A010	ARCH SITE PLAN - PROPOSED		
A100	BASEMENT/GARDEN - PROPOSED		
A101	LEVEL 1 / LEVEL 2 - PROPOSED		
A102	ROOF - PROPOSED		
A200	ELEVATIONS - PROPOSED		
A300	BUILDING SECTIONS		
A500	AXONS		

ENERGY REQUIREMENTS

LEVEL 3 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE. THE ALTERATIONS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE AS THEY RELATE TO NEW CONSTRUCTION ONLY.

MASSACHUSETTS ENERGY STRETCH CODE 2023

R401.2 APPLICATION. RESIDENTIAL BUILDINGS SHALL COMPLY WITH SECTION R401.2.5 AND EITHER SECTIONS R401.2.2, R401.2.3 OR R401.2.4. R-USE BUILDINGS WITHOUT INDIVIDUALLY SEPARATE DWELLING UNITS (SUCH AS SINGLE-ROOM OCCUPANCY BUILDINGS) MAY COMPLY WITH SECTION R401.2.1. THE OPTION SELECTED FOR COMPLIANCE SHALL BE IDENTIFIED IN THE CERTIFICATE REQUIRED BY SECTION R401.3. EXCEPTION: ADDITIONS UNDER 1,000 SF, LEVEL 1 AND LEVEL 2 ALTERATIONS, AND REPAIRS TO EXISTING BUILDINGS

R502.3.1 EXCEPTION: NEW ENVELOPE ASSEMBLIES IN ADDITIONS OF LESS THAN 1,000 SQ FT ARE EXEMPT FROM THE REQUIREMENTS OF SECTION R402.4.1.2.

VICINITY MAP



A. PROJECT DESCRIPTION: COMPLETE GUN RENOVATION OF EXISTING 6-UNIT BUILDING AND CONVERSION TO SINGLE FAMILY.

B. USE GROUP: R - RESIDENTIAL

C. GOVERNING CODE: MA State Building Code, 9th ed., Base Volume Adopts with amendments International Building Code 2015 (IBC 2015)

D. CONSTRUCTION CLASSIFICATION: III-B



Design Resource Team, LLC 546 East Broadway Boston, MA 02127 617.804.6117 info@drt.boston

Client
9 Spruce LLC
Architect
Design Resource Team, LLC.
546 East Broadway, Boston, MA 02127

Neponset Valley Survey Assoc. Inc. 95 White Street Quincy, MA 02169

tructural	Engineer	
BD	•	

MEP Engineer



No.	Description	Di

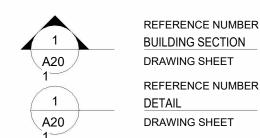
9 SPRUCE LLC

9 SPRUCE COURT

COVER

223016 Project number 04.09.2024 Drawn by

SYMBOLS



REFERENCE NUMBER DRAWING

DRAWING SHEET A20

DRAWING SHEET REFERENCE NUMBER

REFERENCE NUMBER

INTERIOR ELEVATION

EXTERIOR ELEVATION DRAWING SHEET NORTH ARROW WINDOW TAG DOOR TAG W10 WALL TYPE TAG APPLIANCE TAG

DESIGN IS BASED ON THE INTERNATIONAL BUILDING CODE (IBC) 2015, THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2015, THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2018, AND THE MASSACHUSETTS BUILDING CODE 2015 AMENDMENTS. CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE SECTIONS.

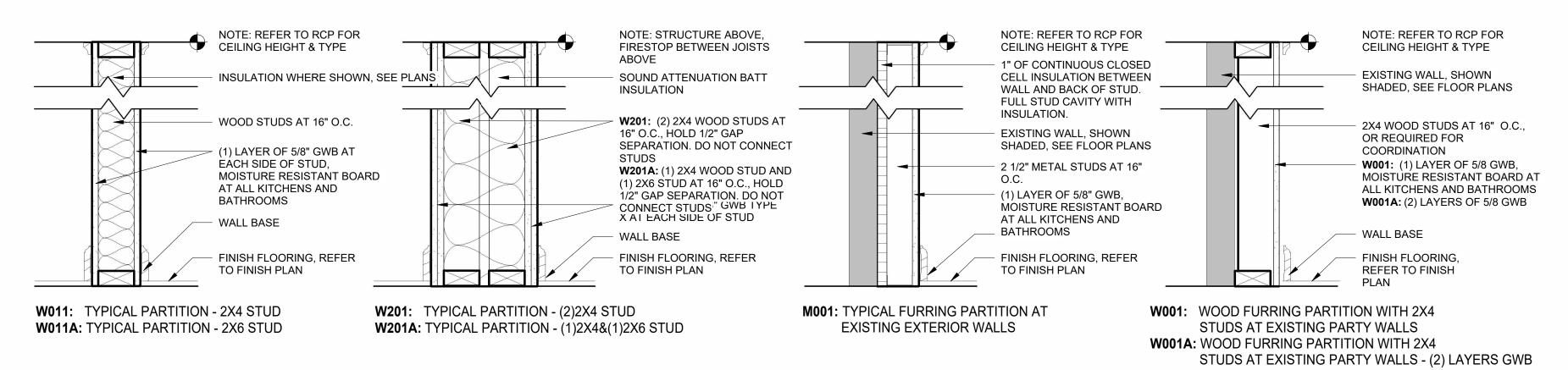
REVISION TAG

CENTER LINE

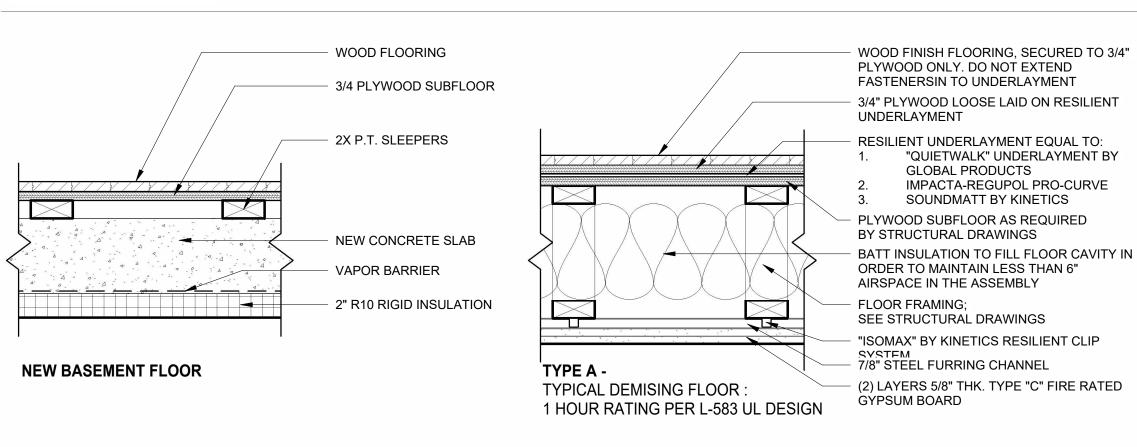
GENERAL REQUIREMENTS

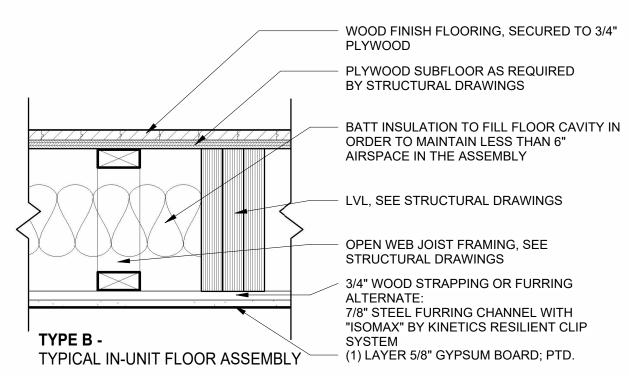
1. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCALS BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.

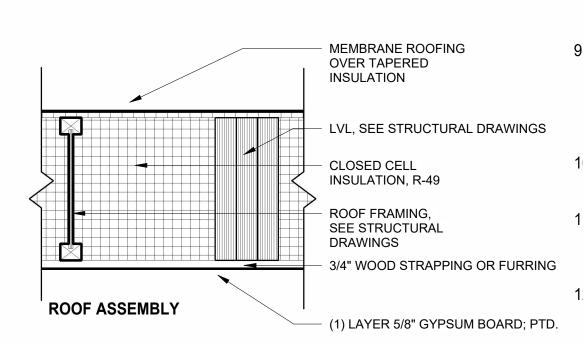
- 2. CONTRACTOR SHALL EXAMINE THE PREMISES AND SITE SO AS TO COMPARE THEM TO THE CONTRACT DRAWINGS AND WILL BE FAMILIAR WITH THE EXISTING CONDITIONS OF THE BUILDING AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID NUMBER. ALLOWANCES ARE TO BE MADE TO INCLUDE ALL ITEMS OF WORK INCLUDING BOTH LABOR OR MATERIALS FOR ALL NOTED, DETAILS, OR IMPLIED ITEMS REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS AND SPECIFICATIONS.
- ALL SUBCONTRACTORS SHALL INSPECT THE SITE AND CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE GENERAL CONTRACTOR WHO WILL CONVEY THESE TO THE ARCHITECT PRIOR TO SUBMITTING A BID AND PRIOR TO COMMENCING WORK.
- 4. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS. OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OR PERSON DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
- 5. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING THE SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.
- 6. CONTRACTOR SHALL CONFORM TO ALL NEIGHBORHOOD ASSOCIATION RULES AND GUIDELINES.
- 7. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD TIME ITEMS AND OF APPROXIMATE
- 8. ALL CONSTRUCTION MATERIALS AND SUPPLIES ARE TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS'
- 9. IF ERRORS OR OMISSIONS ARE FOUND IN THE CONTRACT DOCUMENTS, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- 10. DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHALL ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.
- 11. WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR
- CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS. 12. ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF OF THE DRAWINGS.
- 13. THESE NOTES ARE TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED THAT ARE APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE INDIVIDUAL SUBSECTIONS OF CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION.
- 14. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- 15. PROVIDE WEATHERSTRIPPING AT ALL DOORS LEADING FROM HEATED TO UNHEATED AREAS. PROVIDE VINYL BEAD TYPE WEATHERSTRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF NEW DOORS ARE TO BE WEATHERSTRIPPED INCLUDING THE
- 16. CAULK AND SEAL OPENINGS IN BUILDING EXTERIOR TO A THICKNESS OF 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
- 17. ALL WINDOWS ARE TO BE OPERABLE FOR CLEANING UNLESS OTHERWISE NOTED.
- 18. ALL WALL FRAMING SHALL BE 3 5/8" AT 16" ON CENTER UNLESS OTHERWISE NOTED.
- 19. ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS OTHERWISE NOTED.
- 20. STRUCTURAL WOOD MEMBERS ADJACENT TO CONCRETE ARE TO BE PRESSURE TREATED DOUGLAS FIR.



WALL TYPES







- 1. SEE FLOOR PLANS FOR PARTITION TAGS AND LOCATIONS.
- 2. SEE FLOOR PLANS FOR LOCATIONS OF SOUND INSULATION.
- 3. PARTITION TYPE DETAILS SHOW ONLY PRINCIPLE COMPONENTS AND REQUIREMENTS; RATED PARTITIONS WITH U.L. DESIGN NUMBERS MAY HAVE ADDITIONAL COMPONENTS AND REQUIREMENTS; REFER TO U.L. FIRE RESISTANCE DIRECTORY.
- RATED PARTITIONS SHALL HAVE U.L. HEAD DESIGNS, SEALANT, AND FILL MATERIAL OF THE SAME RATING.
- 5. ALL THROUGH-WALL PENETRATIONS MUST BE COMPLETED TO PREVENT DIRECT CONTACT WITH FRAMING MEMBERS AND SHALL BE ACOUSTICALLY SEALED WITH A RESILIENT, NON-HARDENING CAULK. IF THE PENETRATION IS THOUGH A FIRE-RATED PARTITION, AN ACOUSTICAL FIRE-RATED CAULK SHALL BE USED.
- SEE SPECIFICATIONS AND STRUCTURAL DRAWINGS FOR REINFORCING, BRACING AND OTHER SPECIAL REQUIREMENTS.
- 7. PROVIDE LATERAL BRACING AND CROSS-BRIDGING AS RECOMMENDED BY STUD MANUFACTURER FOR EACH CONDITION
- . COORDINATE FINISHES APPLIED TO PARTITIONS AS INDICATED IN THE FINISH SCHEDULE, INTERIOR ELEVATIONS AND ELSEWHERE IN THE CONTRACT DOCUMENTS.
- 9. PROVIDE BLOCKING AT LOCATIONS INCLUDING BUT NOT LIMITED TO CASEWORK, SHELVING, COUNTERS, CABINETS, DOOR STOPS, HANDRAIL BRACKETS, TELEVISION LOCATIONS, BATHROOM ACCESSORIES, ETC. WHERE INDICATED, SPECIFIED OR REQUIRED TO PROVIDE A SOLID BASE.
- 10. SUBSTITUTE MOISTURE-RESISTANT GYPSUM BOARD AT ALL BATHROOMS AND LAUNDRY ROOMS.
- 11. WHERE TWO OR MORE LAYERS OF GYPSUM BOARD ARE USED, BOTH HORIZONTAL AND VERTICAL JOINTS SHALL BE STAGGERED.
- 12. FIBER INSULATION SHOULD BE UN-FACED AND SECURED TO STRUCTURE TO PREVENT SAGGING.



Design Resource Team, LLC 546 East Broadway Boston, MA 02127 617.804.6117 info@drt.boston drt.boston



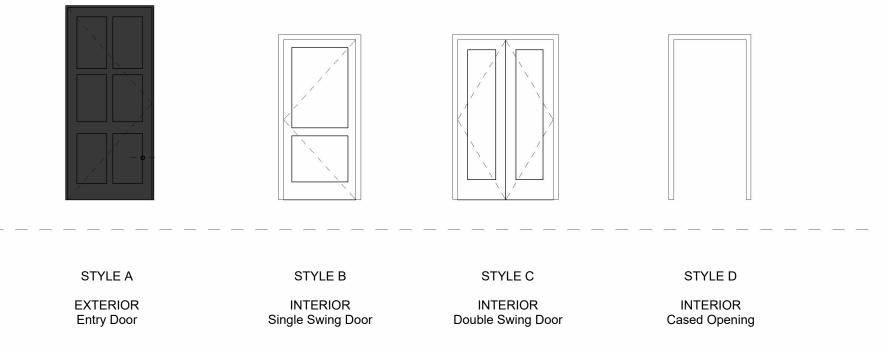
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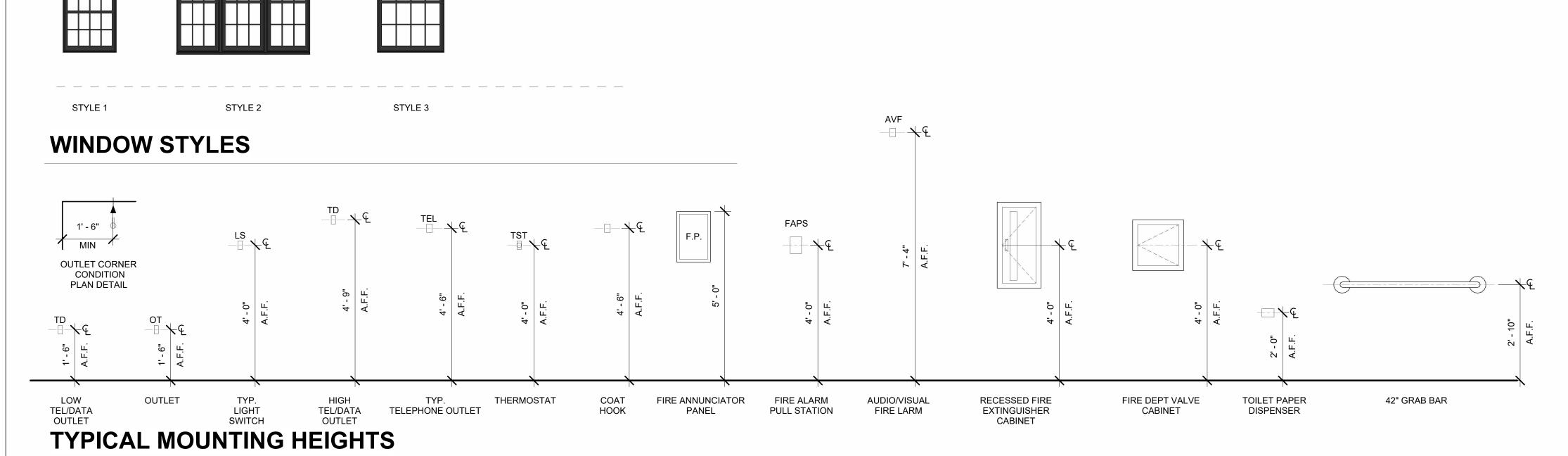
BUILDING INFORMATION

Project number	223016
Date	04.09.2024
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Checked by	NPL
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Scale	As indicated

FLOOR ASSEMBLIES



DOOR STYLES







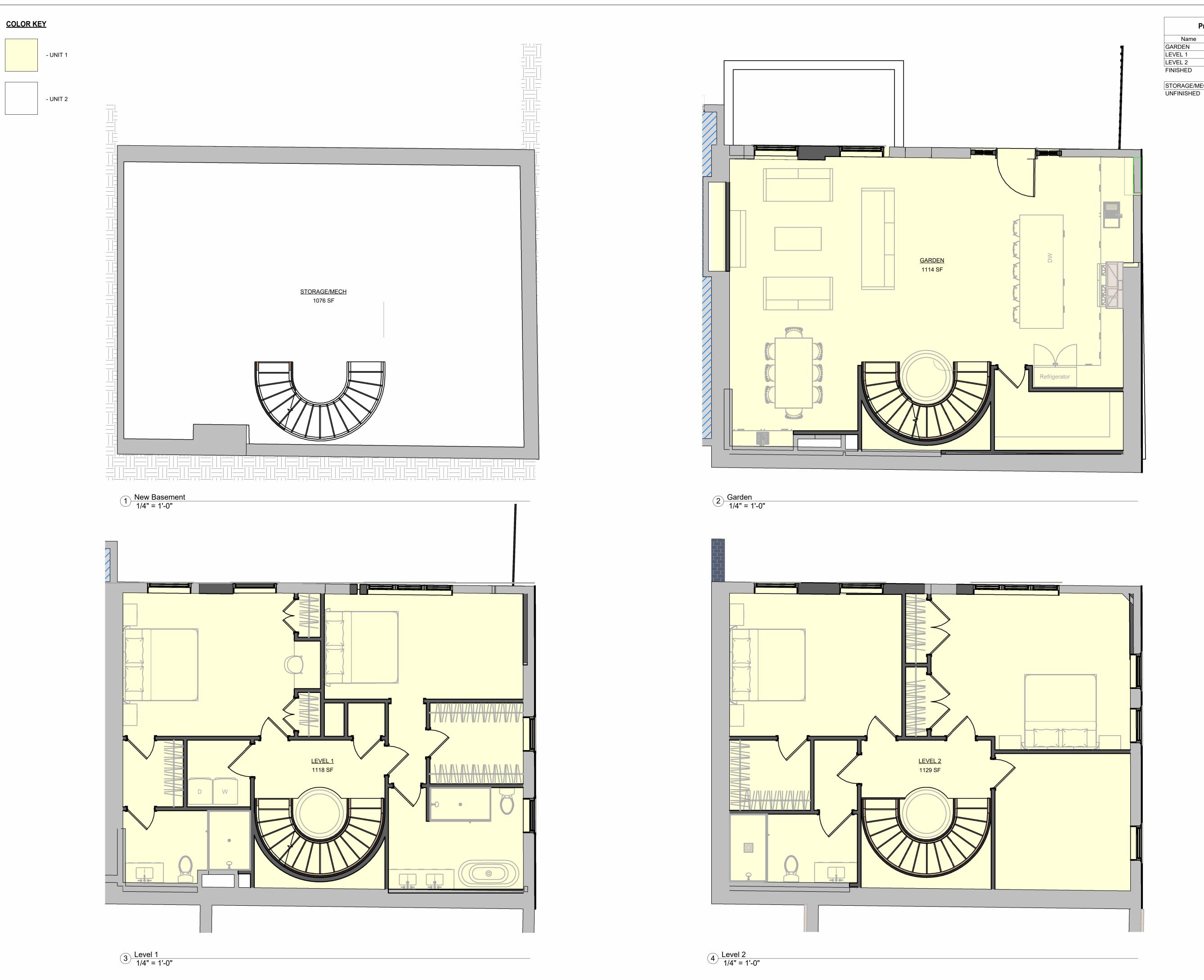


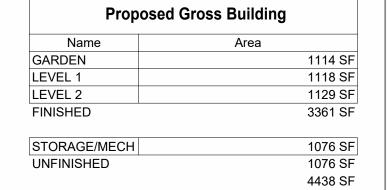
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223016

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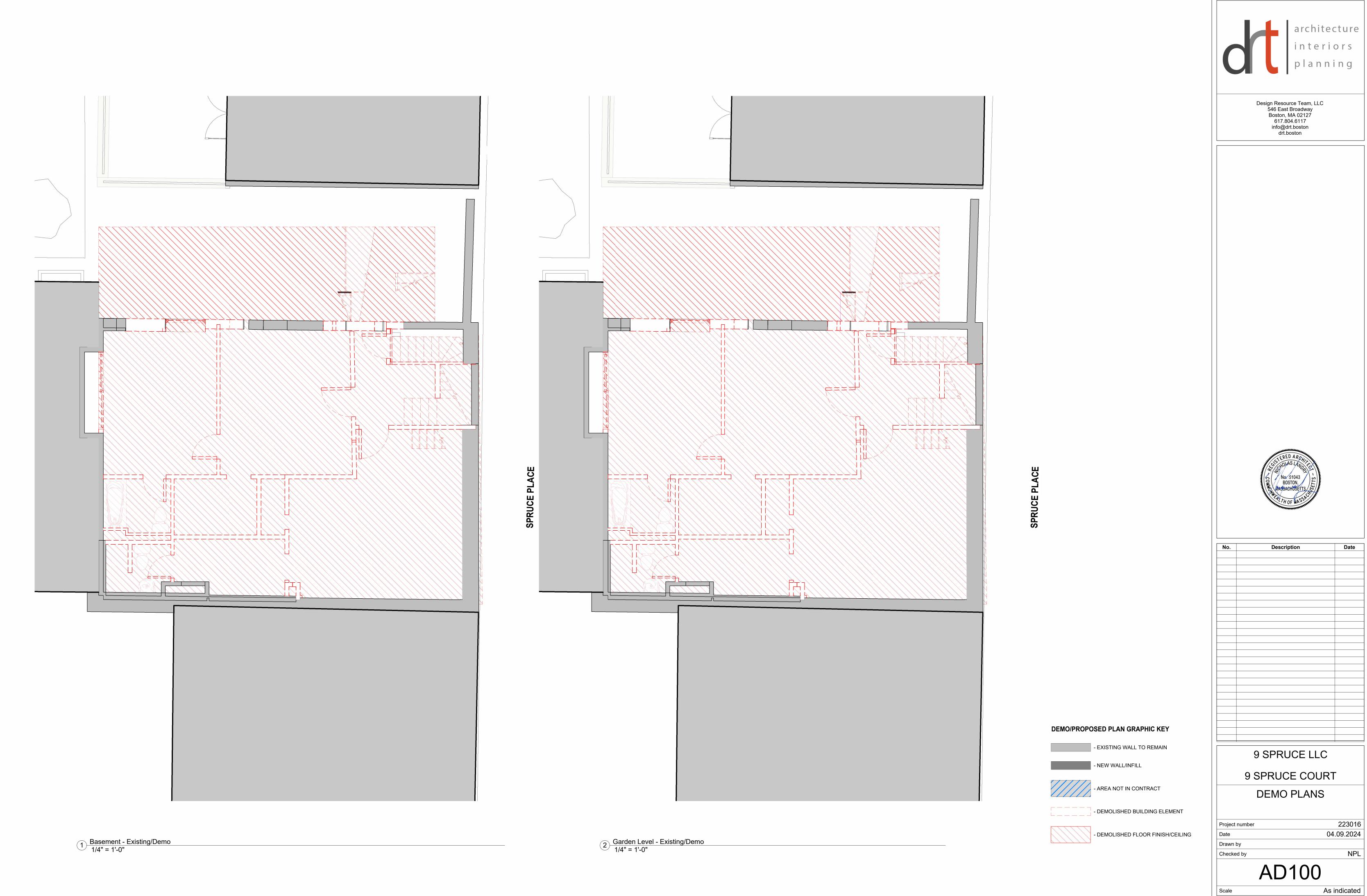


9 SPRUCE LLC	

9 SPRUCE COURT
BUILDING INFORMATION

BUILDING INFOR

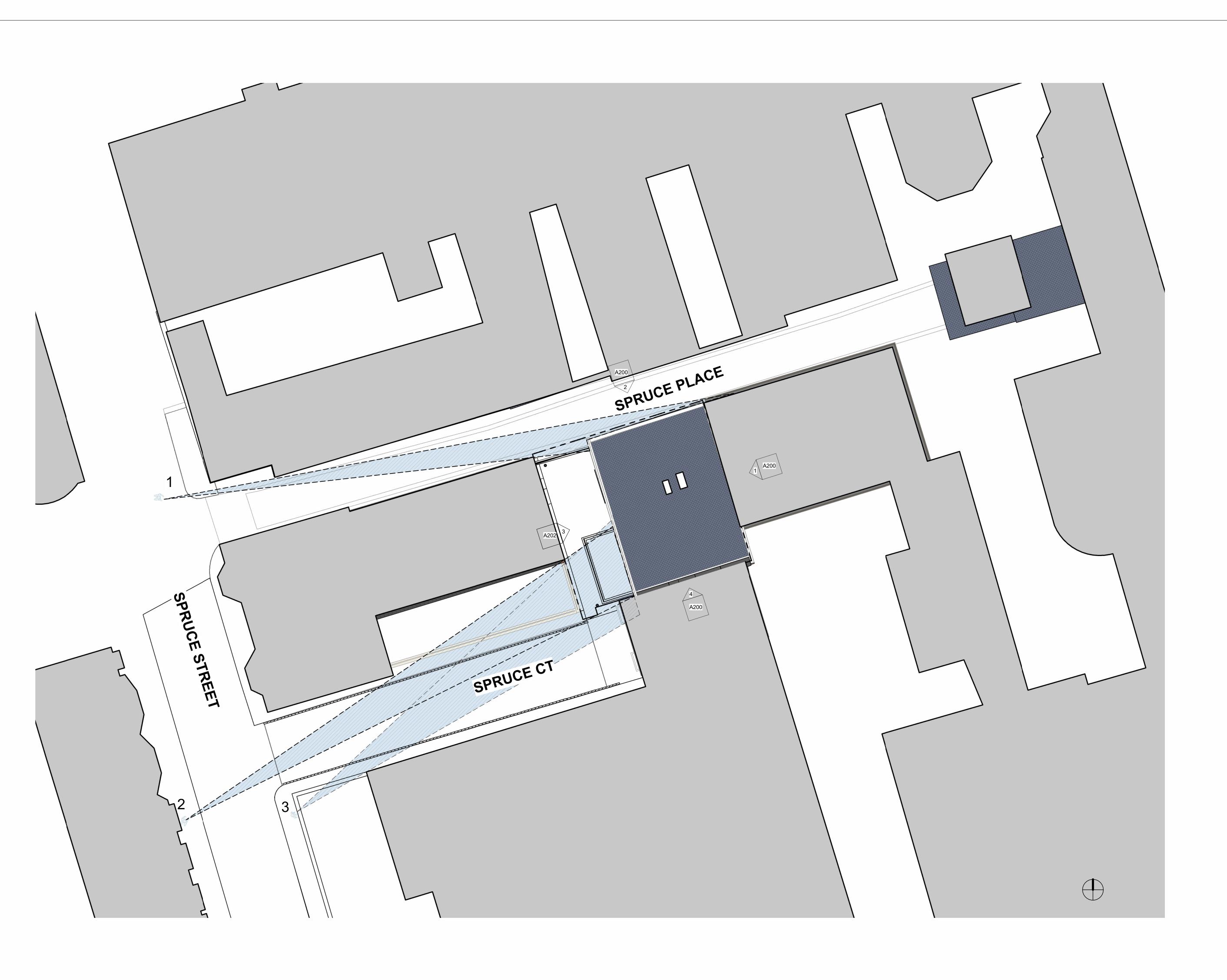
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Date	04.09.2024
Project number	223016



223016 04.09.2024



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9 SPRUCE LLC	

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ARCH SITE PLAN -PROPOSED

Project number 223016

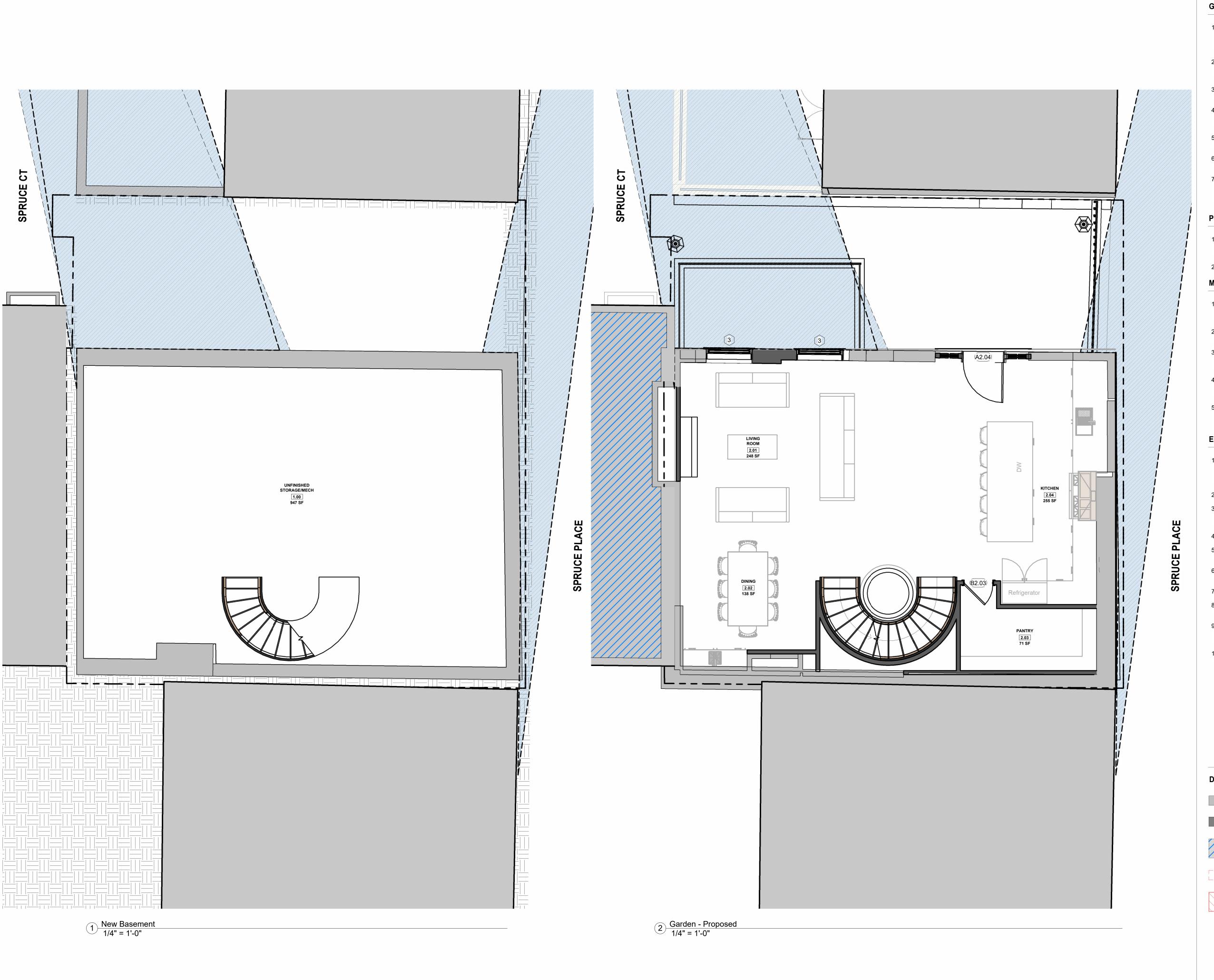
Date 04.09.2024

Drawn by

Checked by NPL

A010

Scale 1" = 10'-0"



GENERAL NOTES

- WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE
- OF THE SAME CHARACTER AS SIMILAR CONDITIONS. ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE
- ALL GYPSUM BOARD SURFACES ARE TO BE 5/8" THICK UNLESS OTHERWISE NOTED.

SCALED OFF THE DRAWINGS.

- ALL GYPSUM AND PLASTER FINISHES SHOULD BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND HAVE NO VISIBLE JOINTS.
- PROVIDE GAS, WATER SPIGOT, OUTLET, AND LIGHTING AT ROOF DECKS.
- 6. ALL CLOSETS SHALL HAVE SHELF AND POLE OR SHELVES AS REQUIRED, UNLESS OTHERWISE NOTED.
- ALL REQUIRED LIFE SAFETY DEVICES, INCLUDING SMOKE & CARBON MONOXIDE DETECTORS, SHALL BE INSTALLED BY THE CONTRACTOR IN COMPLIANCE WITH THE 2015 INTERNATIONAL BUILDING CODE

PLAN NOTES

- WALL DIMENSIONS ARE MEASURED FROM FACE OF EXIST. WALL TO C.L. OF NEW WALL, UNLESS OTHERWISE
- 2. ALL DOORS ARE 80" TALL UNLESS OTHERWISE NOTED.

MECHANICAL | SECURITY NOTES

- PROVIDE 5.1 AUDIO WIRING FOR LIVING ROOM AND MASTER BEDROOMS; FOR NUMBER AND LOCATION, SEE REFLECTED CEILING PLANS.
- PROVIDE NEST LEARNING THERMOSTAT AT EACH UNIT. (ZONING PER FLOOR LEVEL IN DUPLEX UNITS)
- HEATING AND AIR CONDITIONING IS TO BE PROVIDED BY HIGH VELOCITY FORCED AIR SPACE PAK HIGH VELOCITY AIR CONDITIONING SYSTEMS WITH HYDRONIC HEATING.
- HOT WATER IS TO BE PROVIDED BY A HIGH EFFICIENCY NAVIEN MODULATING CONDENSING COMBINATION HEATING AND HOT WATER SYSTEM OR EQUAL.
- HARD WIRED SECURITY SYSTEM SHALL BE PROVIDED AT EACH UNIT; CONTACTS SHALL BE PLACED AT EXTERIOR DOORS AND WINDOWS WITH ONE MOTION DETECTOR

ELECTRICAL NOTES

PROVIDED.

INTERCEPTORS.

- ELECTRICAL SERVICE POWER IS TO BE EVALUATED FOR MEETING LIGHTING DESIGN AND EQUIPMENT REQUIREMENTS. PROPER POWER LEVEL SHALL BE
- ALL NEW ELECTRICAL ITEMS ARE TO BE U.L. RATED.
- ALL ELECTRICAL PANELS ARE TO BE RECESSED INTO A WALL WITH A MINIMUM 6" STUD DIMENSION. REVIEW FINAL LOCATION WITH ARCHITECT AND OWNER.
- ALL DISTRIBUTION PANELS ARE TO BE NEW.
- LIVING AREAS, DINING AREAS, AND ALL BEDROOM ARE TO RECEIVE 3-WIRE JUNCTION BOXES.
- PROVIDE ELECTRIC HEAT MATS BY NUHEAT OR EQUAL AT ALL BATHROOMS.
- ALL CLOSET LIGHTING IS TO BE HIGH EFFICIENCY
- LIGHTING. OUTLETS IN BATHROOMS SHALL HAVE GROUND FAULT
- ALL SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY SOURCE OF POWER FROM BUILDING WIRING WITH BATTERY BACK-UP.
- ALL DIMENSIONS FOR THE FOLLOWING ITEMS ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED:
 - MOUNT ALL OUTLETS, PHONE JACKS, AND TELEVISION CABLE JACKS VERTICALLY AT 18" TO CENTERLINE ABOVE THE FINISH FLOOR UNLESS OTHERWISE NOTED. WHERE BASE AND TRIM IS LARGER THAN 9-1/2" TALL PROVIDE 6" CLEARANCE FROM BOTTOM OF PLATE TO TOP OF BASEBOARD
 - MOUNT ALL SWITCHES AT 42" TO CENTERLINE ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.
 - VERTICALLY ALIGN SWITCHES AND OUTLETS WHERE POSSIBLE.

DEMO/PROPOSED PLAN GRAPHIC KEY

- EXISTING WALL TO REMAIN - NEW WALL/INFILL



- DEMOLISHED BUILDING ELEMENT



- DEMOLISHED FLOOR FINISH/CEILING



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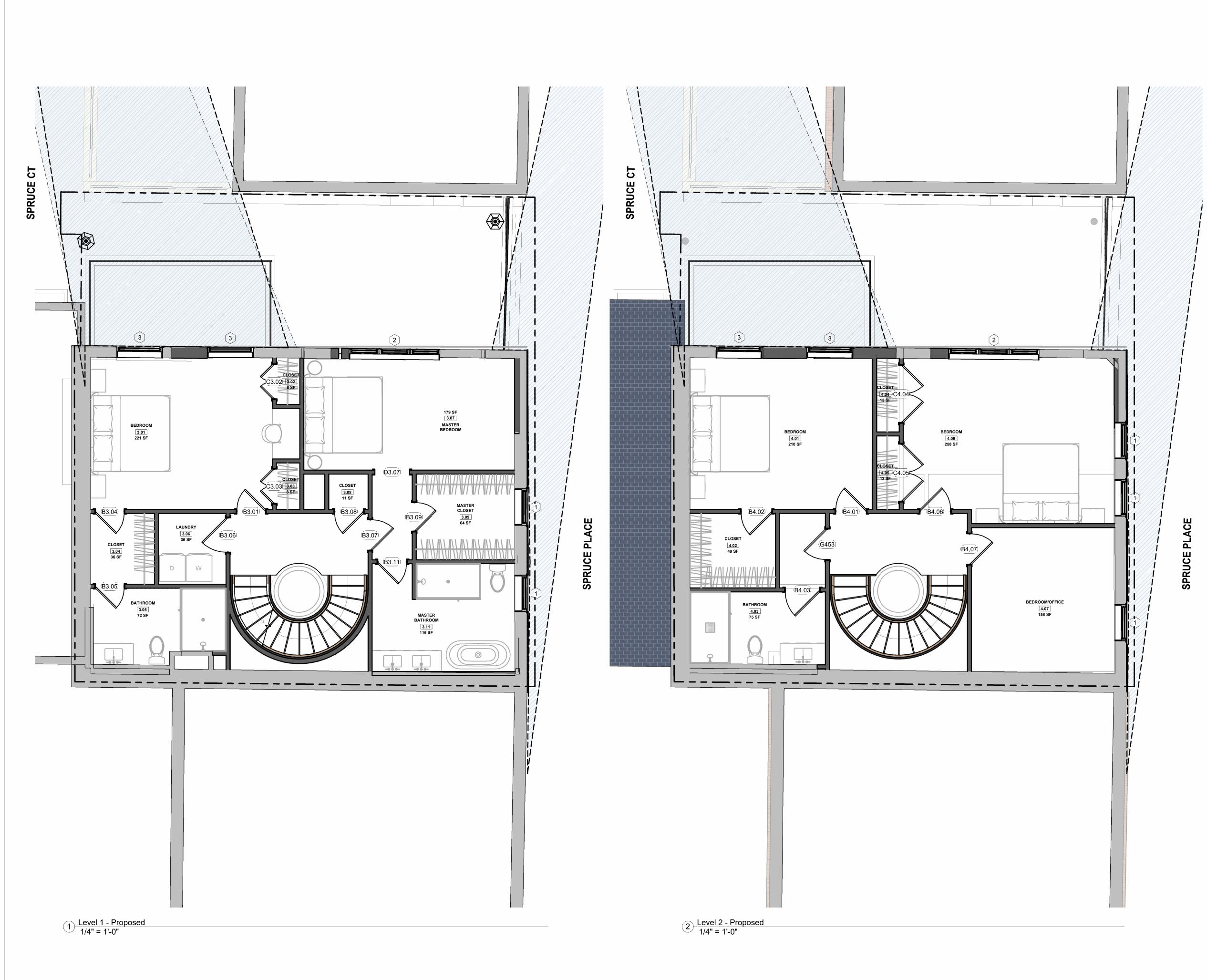
Description

9 SPRUCE LLC

9 SPRUCE COURT

BASEMENT/GARDEN -PROPOSED

223016 Project number 04.09.2024 Drawn by Checked by A100



GENERAL NOTES

- 1. WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
- 2. ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF THE DRAWINGS.
- 3. ALL GYPSUM BOARD SURFACES ARE TO BE 5/8" THICK UNLESS OTHERWISE NOTED.
- ALL GYPSUM AND PLASTER FINISHES SHOULD BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND HAVE NO VISIBLE JOINTS.
- 5. PROVIDE GAS, WATER SPIGOT, OUTLET, AND LIGHTING AT ROOF DECKS.
- ALL CLOSETS SHALL HAVE SHELF AND POLE OR SHELVES AS REQUIRED, UNLESS OTHERWISE NOTED.
- 7. ALL REQUIRED LIFE SAFETY DEVICES, INCLUDING SMOKE & CARBON MONOXIDE DETECTORS, SHALL BE INSTALLED BY THE CONTRACTOR IN COMPLIANCE WITH THE 2015 INTERNATIONAL BUILDING CODE

PLAN NOTES

- 1. WALL DIMENSIONS ARE MEASURED FROM FACE OF EXIST. WALL TO C.L. OF NEW WALL, UNLESS OTHERWISE NOTED.
- 2. ALL DOORS ARE 80" TALL UNLESS OTHERWISE NOTED.

MECHANICAL | SECURITY NOTES

- PROVIDE 5.1 AUDIO WIRING FOR LIVING ROOM AND MASTER BEDROOMS; FOR NUMBER AND LOCATION, SEE REFLECTED CEILING PLANS.
- 2. PROVIDE NEST LEARNING THERMOSTAT AT EACH UNIT. (ZONING PER FLOOR LEVEL IN DUPLEX UNITS)
- 3. HEATING AND AIR CONDITIONING IS TO BE PROVIDED BY HIGH VELOCITY FORCED AIR SPACE PAK HIGH VELOCITY AIR CONDITIONING SYSTEMS WITH HYDRONIC HEATING.
- 4. HOT WATER IS TO BE PROVIDED BY A HIGH EFFICIENCY NAVIEN MODULATING CONDENSING COMBINATION HEATING AND HOT WATER SYSTEM OR EQUAL.
- 5. HARD WIRED SECURITY SYSTEM SHALL BE PROVIDED AT EACH UNIT; CONTACTS SHALL BE PLACED AT EXTERIOR DOORS AND WINDOWS WITH ONE MOTION DETECTOR

ELECTRICAL NOTES

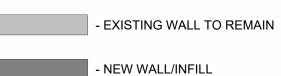
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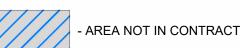
INTERCEPTORS.

- 1. ELECTRICAL SERVICE POWER IS TO BE EVALUATED FOR MEETING LIGHTING DESIGN AND EQUIPMENT REQUIREMENTS. PROPER POWER LEVEL SHALL BE
- 2. ALL NEW ELECTRICAL ITEMS ARE TO BE U.L. RATED.
- 3. ALL ELECTRICAL PANELS ARE TO BE RECESSED INTO A WALL WITH A MINIMUM 6" STUD DIMENSION. REVIEW FINAL LOCATION WITH ARCHITECT AND OWNER.
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- LIVING AREAS, DINING AREAS, AND ALL BEDROOM ARE TO RECEIVE 3-WIRE JUNCTION BOXES.
- PROVIDE ELECTRIC HEAT MATS BY NUHEAT OR EQUAL AT ALL BATHROOMS.
- ALL CLOSET LIGHTING IS TO BE HIGH EFFICIENCY
- LIGHTING.

 8. OUTLETS IN BATHROOMS SHALL HAVE GROUND FAULT
- 9. ALL SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY SOURCE OF POWER FROM BUILDING WIRING WITH BATTERY BACK-UP.
- 0. ALL DIMENSIONS FOR THE FOLLOWING ITEMS ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED:
 - MOUNT ALL OUTLETS, PHONE JACKS, AND
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DEMO/PROPOSED PLAN GRAPHIC KEY







- DEMOLISHED FLOOR FINISH/CEILING



Design Resource Team, LLC 546 East Broadway Boston, MA 02127 617.804.6117 info@drt.boston drt.boston



Description

9 SPRUCE LLC

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LEVEL 1 / LEVEL 2 -PROPOSED

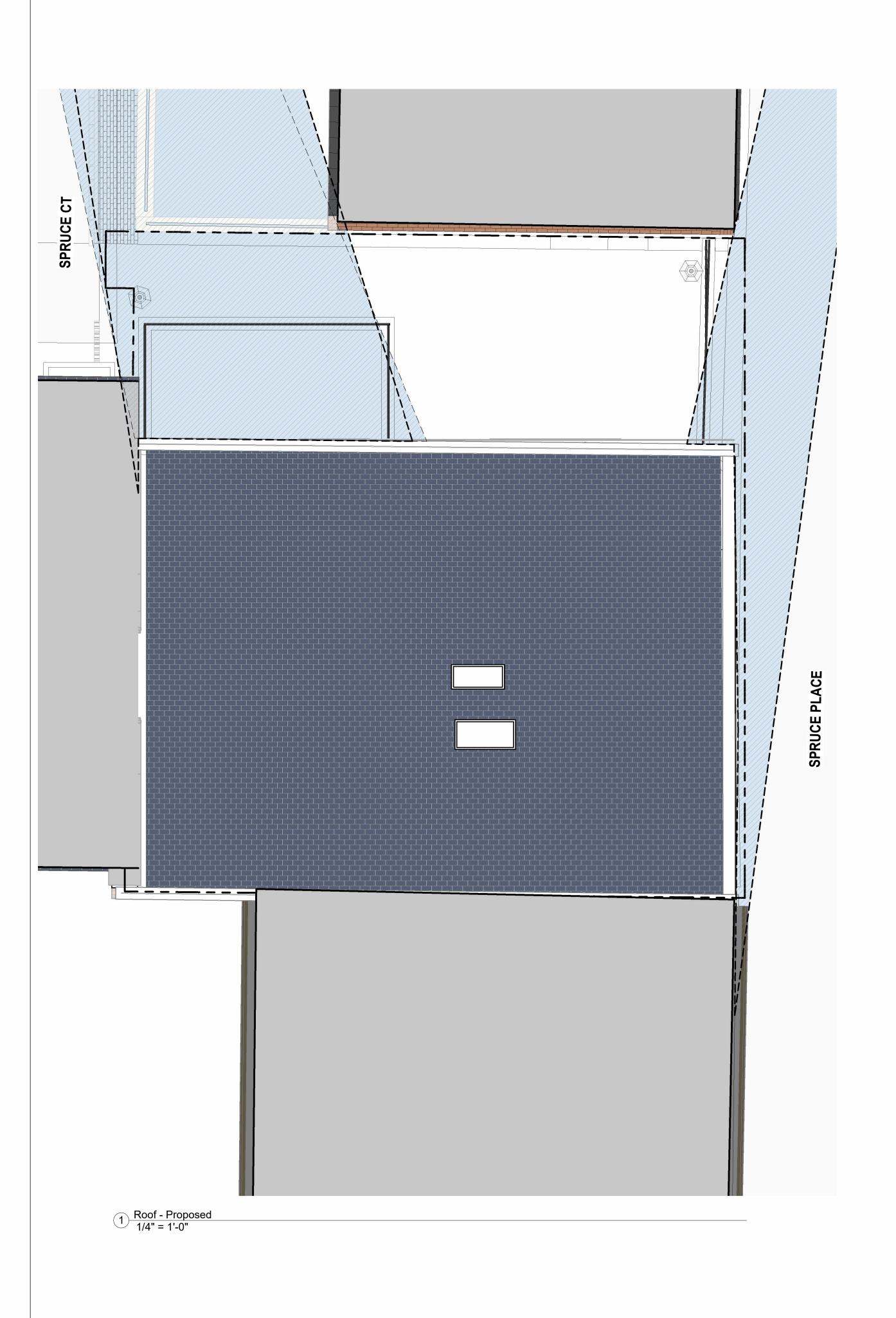
 Project number
 223016

 Date
 04.09.2024

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 NPL

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 As indicated



GENERAL NOTES

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- ALL GYPSUM BOARD SURFACES ARE TO BE 5/8" THICK UNLESS OTHERWISE NOTED.
- 4. ALL GYPSUM AND PLASTER FINISHES SHOULD BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND HAVE NO VISIBLE JOINTS.
 - PROVIDE GAS, WATER SPIGOT, OUTLET, AND LIGHTING AT ROOF DECKS.
- ALL CLOSETS SHALL HAVE SHELF AND POLE OR SHELVES AS REQUIRED, UNLESS OTHERWISE NOTED.
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PLAN NOTES

- WALL DIMENSIONS ARE MEASURED FROM FACE OF EXIST. WALL TO C.L. OF NEW WALL, UNLESS OTHERWISE
- 2. ALL DOORS ARE 80" TALL UNLESS OTHERWISE NOTED.

MECHANICAL | SECURITY NOTES

- PROVIDE 5.1 AUDIO WIRING FOR LIVING ROOM AND MASTER BEDROOMS; FOR NUMBER AND LOCATION, SEE REFLECTED CEILING PLANS.
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ELECTRICAL NOTES

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OUTLETS IN BATHROOMS SHALL HAVE GROUND FAULT

- ALL CLOSET LIGHTING IS TO BE HIGH EFFICIENCY LIGHTING.
- INTERCEPTORS. ALL SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY
- SOURCE OF POWER FROM BUILDING WIRING WITH BATTERY BACK-UP.
- 10. ALL DIMENSIONS FOR THE FOLLOWING ITEMS ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED:
 - MOUNT ALL OUTLETS, PHONE JACKS, AND TELEVISION CABLE JACKS VERTICALLY AT 18" TO CENTERLINE ABOVE THE FINISH FLOOR UNLESS OTHERWISE NOTED. WHERE BASE AND TRIM IS LARGER THAN 9-1/2" TALL PROVIDE 6" CLEARANCE FROM BOTTOM OF PLATE TO TOP OF BASEBOARD
 - MOUNT ALL SWITCHES AT 42" TO CENTERLINE ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.
 - VERTICALLY ALIGN SWITCHES AND OUTLETS WHERE POSSIBLE.

DEMO/PROPOSED PLAN GRAPHIC KEY



- EXISTING WALL TO REMAIN



- AREA NOT IN CONTRACT



- DEMOLISHED BUILDING ELEMENT



- DEMOLISHED FLOOR FINISH/CEILING



Design Resource Team, LLC 546 East Broadway Boston, MA 02127 617.804.6117 info@drt.boston drt.boston



Description

9 SPRUCE LLC

9 SPRUCE COURT

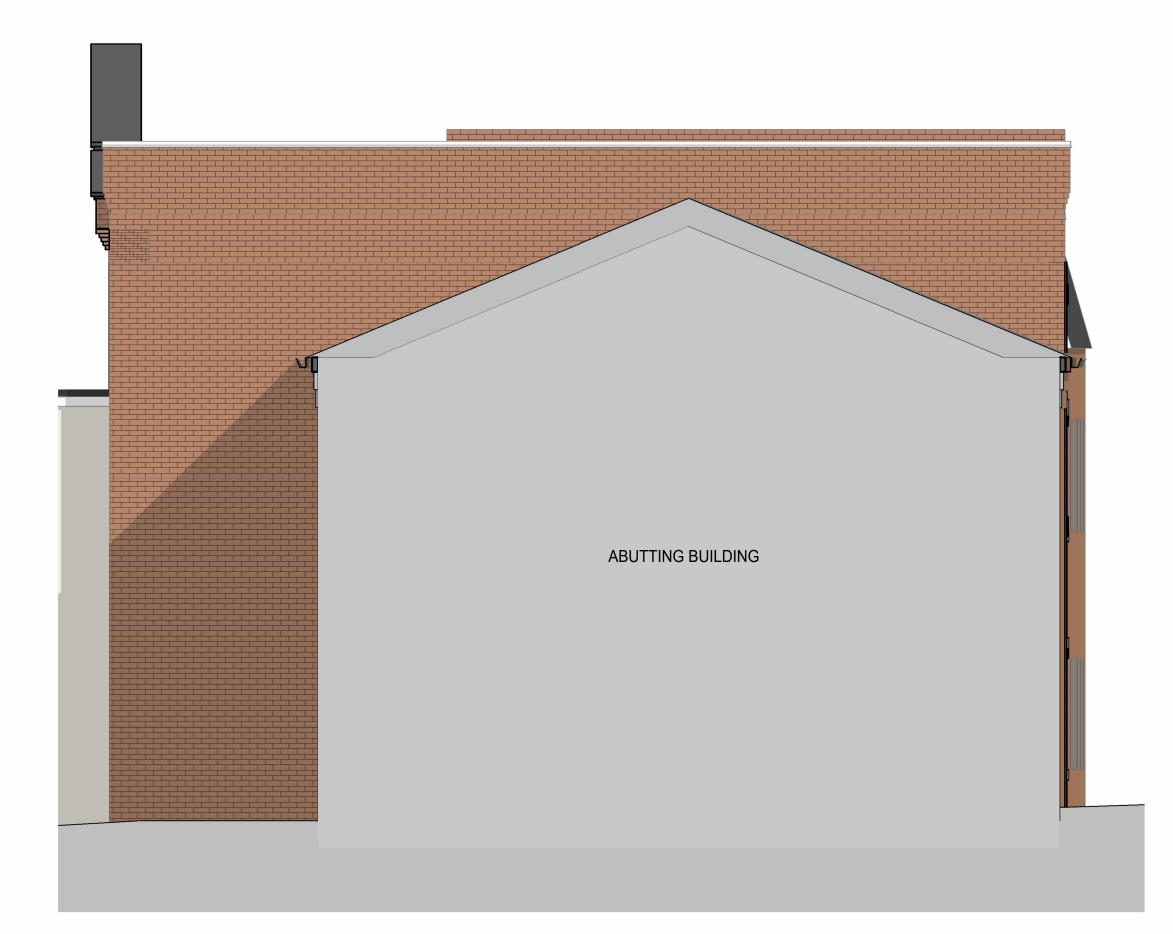
ROOF - PROPOSED

223016 Project number 04.09.2024 Drawn by A102

C:\Users\NickCarvello\Design Resource Team, LLC\Active Projects - Documents\223016-9 Spruce Pl\BIM\9 Spruce Place - By Right.rvt

FINISH GRADE NOTE:

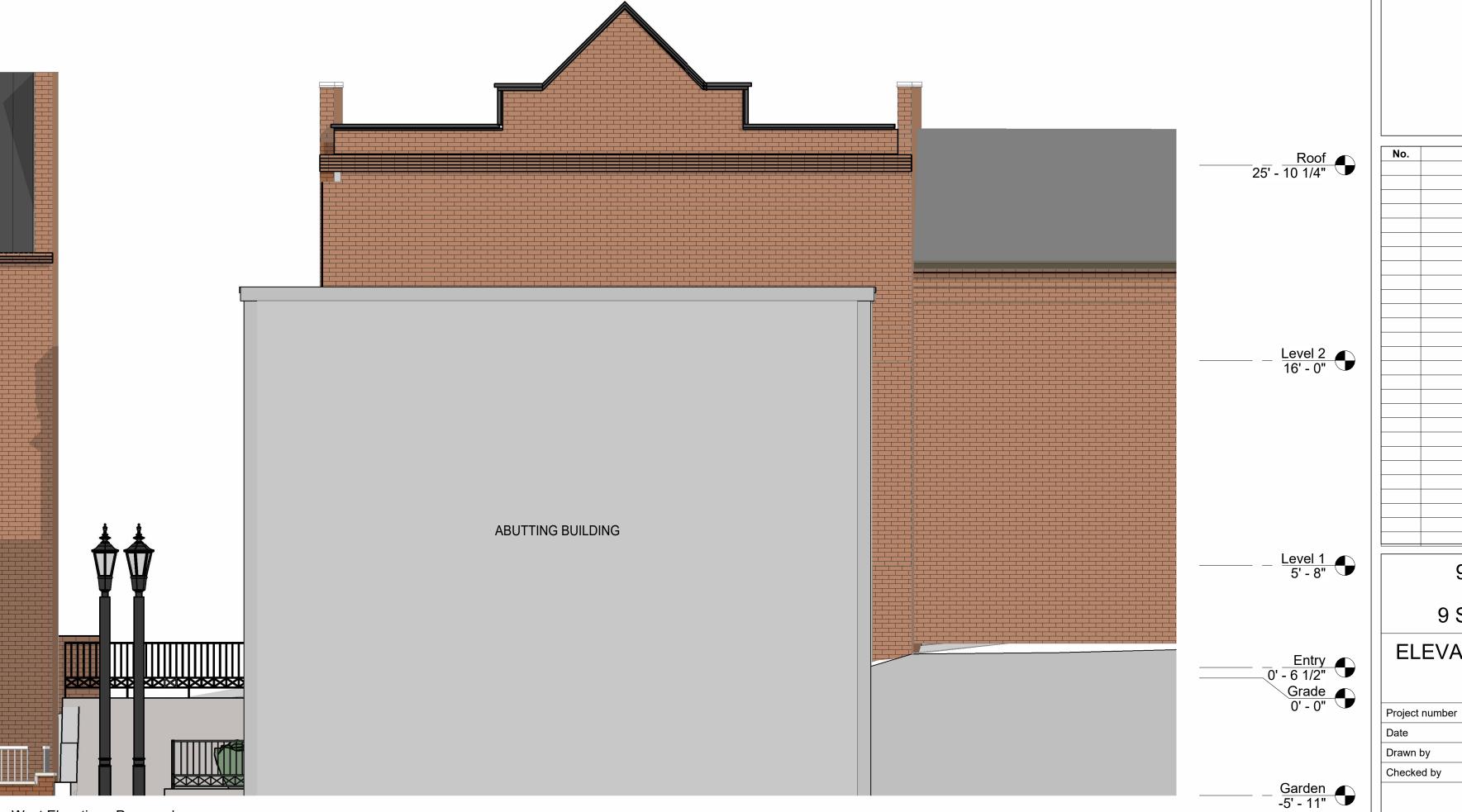
ALL GRADING SHOWN ON THE ELEVATIONS SHALL BY NO MEANS BE ASSUMED AS THE ACTUAL GRADING CONDITIONS AROUND THE BUILDING. REFER TO SITE PLAN PREPARED BY OTHERS FOR FINAL GRADING.



1) South Elevation - Proposed 1/4" = 1'-0"







West Elevation - Proposed
1/4" = 1'-0"



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Date

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ELEVATIONS - PROPOSED

A200

223016

04.09.2024



1 Section 2 1/4" = 1'-0"

ENERGY CODE REQUIREMENTS (IECC 2021 EDITION)

TABLE R402.1.3 INSULATION MINIMUM R-VALUES AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR (b)	SKYLIGHT(b) U-FACTOR	GLAZED FENESTRATION SHGC (b, e)	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE (i)	FLOOR R-VALUE	BASEMENT (c) WALL R-VALUE	SLAB (d) R-VALUE & DEPTH	CRAWL SPACE (c) WALL R-VALUE
5 and Marine 4	0.30	0.55	0.40	60	30 or 20+5ci(h) or 13+10ci(h) or 0+20ci(h)	13/17	30	15ci or 19 or 12+5ci	10ci, 4 ft	15ci or 19 or 13+5c

NR - Not Required; For SI: 1 foot = 304.8 mm.

a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.

b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: In Climate Zones 0 through 3, skylights shall be permitted to be excluded from glazed fenestration SHGC requirements provided that the SHGC for such skylights does not exceed 0.30.

c. "5ci or 13" means R-5 continuous insulation (ci) on the interior or exterior surface of the wall or R-13 cavity insulation on the interior or exterior surface of the wall. "10ci or 13" means R-10 continuous insulation (ci) on the interior or exterior surface of the wall; or R-13 cavity insulation on the interior of the wall; or R-19 cavity insulation on the interior or exterior surface of the wall; or R-19 cavity insulation on the interior or exterior or exterior surface of the wall."

| Continuous insulation (ci) on the interior or exterior surface of the wall; or R-19 cavity insulation on the interior of the wall in addition to R-5 continuous insulation on the interior or exterior surface of the wall.

d. R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs. as indicated in the table. The slab-edge insulation for heated slabs shall not be required to extend below the slab.

e. There are no SHGC requirements in the Marine Zone.

f. Basement wall insulation is not required in Warm Humid locations as defined by Figure R301.1 and Table R301.1.

g. The first value is cavity insulation; the second value is continuous insulation. Therefore, as an example, "13&5" means R-13 cavity insulation plus R-5 continuous insulation.

h. Mass walls shall be in accordance with Section R402.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass wall.

i. A maximum U-factor of 0.32 shall apply in Climate Zones 3 through 8 to vertical fenestration products installed in buildings located either: (1) Above 4,000 feet in elevation, or (2) In windborne debris regions where protection of openings is required by Section R301.2.1.2 of the International Residential Code.

2 Section 3 1/4" = 1'-0"

INSULATION NOTES - Section 1

- 1. PRESCRIPTIVE CONFORMANCE TO IECC SECTION 402 SELECTED FOR COMPLIANCE WITH IRC CHAPTER 11 N1101.2
- 2. MINIMUM WINDOW PERFORMANCE: U-0.30 OR BETTER
- 3. MINIMUM SKYLIGHT PERFORMANCE: U-0.55 OR BETTER
- 4. ROOF AND CEILING INSULATION: PERFORMANCE R-49 OR BETTER. EXTEND FULL DEPTH INSULATION TO EXTERIOR WALL SHEATHING TO ELIMINATE COLD CORNERS AND PREVENT ICE DAM FORMATIONS
- 5. WOOD FRAME EXTERIOR WALLS: HIGH PERFORMANCE R-21 WALL INSULATION IN 2x6 WD STUD WALLS OR FLASH AND BATT WITH SPRAY FOAM AND FIBERGLAS ATT INSULATION TO MEETMINIMUM REQUIREMENT IN TABLE 402.1.1
- 6. MASS WALLS: R-17 MINIMUM PERFORMANCE IF INSTALLED INSIDE OF WALL CENTERLINE, R-13 MINIMUM IF INSTALLED ON THE OUTSIDE AS MEASURED FROM THE WALL CENTERLINE
- 7. FLOOR INSULATION: R-30 INSULATION BETWEEN JOISTS. INSULATION MUST BE INSTALLED FOR PERMANENT DIRECT CONTACT BETWEEN SUB-FLOOR AND INSULATION. INSTALLATIONS THAT ALLOW FUTURE SAGGING OF INSULATION AWAY FROM FLOOR DECK NOT PERMITTED
- 8. FOUNDATION AND SLAB INSULATION AT BASEMENT: R-30 INSULATION UNDER SLAB



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BUILDING SECTIONS

Project number		223016
Date		04.09.2024
Drawn by		
Checked by		NPL
	A300	
Scale		1/4" = 1'-0"







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AXONS

Project number 223016

Date 04.09.2024

Drawn by

Checked by NPL

A500

Scale 1" = 1'-0"