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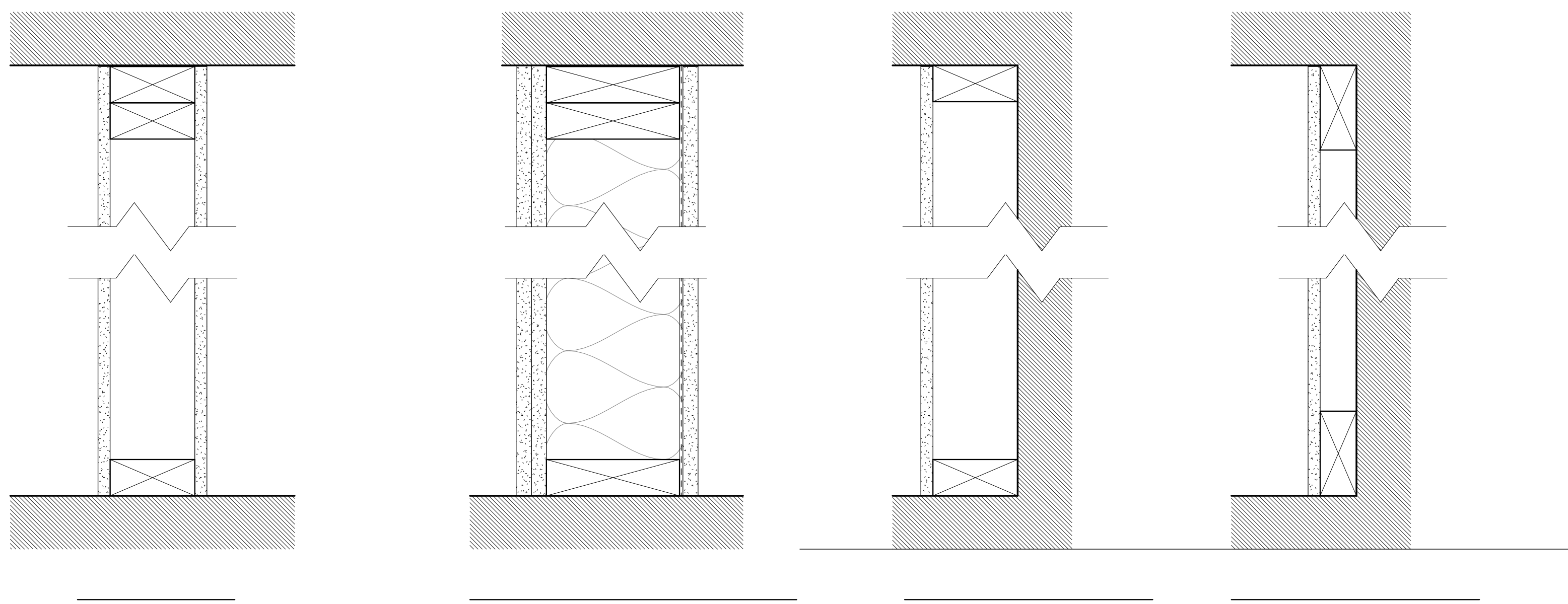
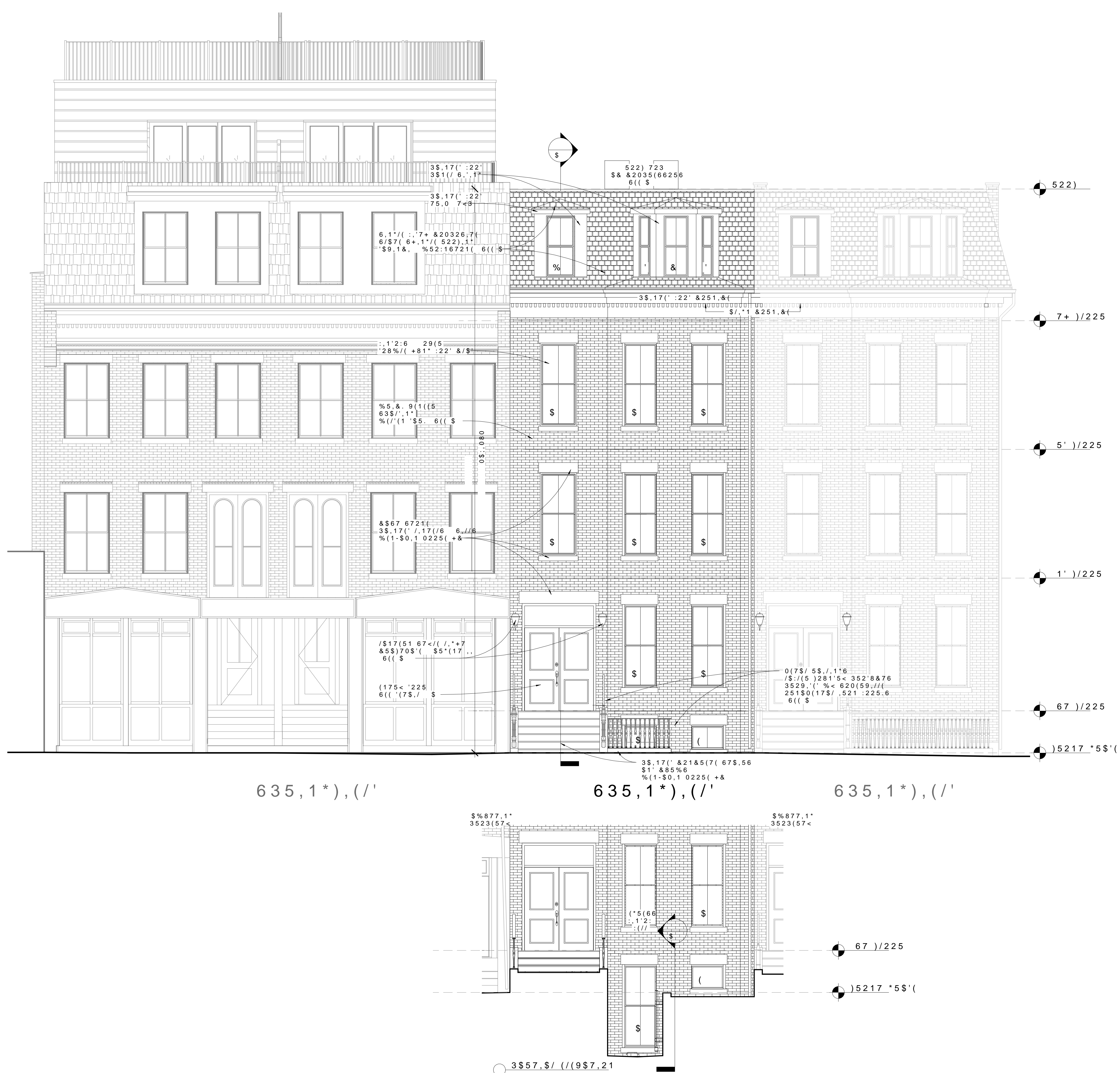


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II. NEW CONSTRUCTION

A. GENERAL STATEMENT OF INTENT

1. The District contains vacant parcels of varying sizes and shapes, many of which once held rowhouses. New construction on these sites have a potential for reinforcing and enhancing the streetscape of the South End. Inappropriate design could introduce the intrusive elements of incompatible bulk, material and detail. To insure that new construction has a positive effect on the historic physical character of the Landmark District, proposals for new construction will be reviewed for compatibility with the existing architecture in such critical factors as land coverage, bulk, material, and proportion. Therefore, the focus of the standards and criteria is on the compatibility of new construction with the existing character of the South End without dictating style or taste.

2. Plans of proposed new construction shall be submitted to the South End District Subcommission for review. A building permit may not be issued prior to the issuance of a Certificate of Design Approval or of Exemption.

3. These regulations shall apply only to facades visible from a public street or avenue, existing or proposed, in accordance with Sections 1.A., 3 and 5.

4. For buildings of monumental character, such as schools, churches, or other institutional uses, the Commission may waive portions of these standards and criteria which it deems to be inappropriate. The standards and criteria pertaining to height and materials shall be enforced. Where a new non-residential building has frontage on a block of predominantly residential rowhouse character, the Commission may require stricter adherence to these standards and criteria for that frontage alone.

5. The Landmark Commission shall determine the required degree of conformity of the new construction to the architecture of adjacent buildings, according to the strength of the existing neighborhood design and the configuration of the parcels to be developed. The applicable definitions and intent of the two categories are as follows:

- a. Category A, defined as any vacant parcel or collection of parcels that share a party wall with an existing structure. Within this category, stricter conformity will be required of the new construction on the narrower parcels, especially those with existing buildings adjoining two sides, corner parcels, and parcels on a block of exceptionally strong or uniform character.
- b. Category B, defined as any parcel or group of parcels which is not abutted by an existing structure. Within this category, less strict conformity to existing neighborhood design will be required.

6. Traditional architectural designs are permitted if in nineteenth century styles which are appropriate to the Landmark District, but shall not be expressly required by these standards and criteria.

7. These regulations shall not be deemed to supplant or nullify provisions of the Boston Zoning Ordinance or Sign Code, beyond the immediate scope of these provisions, nor any portion of the Massachusetts Building Code.

B. HEIGHTS

1. The maximum height of any new construction shall be seventy feet, and minimum shall be thirty feet, the latter being exclusive of eaves.

- 2. Within this limitation, the following shall apply to any new construction on parcels in Category A:
 - a. The new building shall have the same height and cornice line as adjacent existing buildings having common property lines.
 - b. In the event a new building has two such abutters of differing heights and cornice lines, it shall conform to one of them, or it may step to match, i.e., each at the common property line.
 - c. In the event the height of the adjacent existing building is greater or smaller than the overall limitation, or is radically different from the remainder of the block, the Commission may set the height for the new building.

C. SETBACK:

- 1. The maximum setback for a new building shall be ten feet, except as follows:
 - a. A new building in Category A shall have the same setback as adjacent buildings having common property lines.
 - b. In the event a new building in Category A has two such abutters with different setbacks, it shall have the same setback as one of them, or it may step to match both of them.
 - c. A corner building in Category A shall have the same setback as its abutters on the primary frontage. No setback is required on the secondary frontage; if one is provided, it shall be the same as the adjacent building on the secondary frontage.

D. LOT COVERAGE:

A new building shall occupy the full width of its primary frontage, at the property or setback line.

E. BUILDING MATERIALS:

The following materials shall be required on all exterior surfaces within the scope of these regulations:

- 1. Walls shall be of masonry construction similar in color and texture to the majority of adjacent buildings. In general, smooth-textured red brick in standard size and coursing is acceptable; a standard brick being defined as 2 1/4" x 4" x 8", nominal dimension. Other materials will be judged on their own merits and the neighborhood design context.
- 2. Exterior steps shall be of stone, or concrete having the appearance of stone on exposed surfaces. Lintels and sills, if expressed, shall be of similar material.
- 3. Cornices, if expressed, shall be of brick, wood or a combination thereof. If metal is used as a flashing or covering, it shall be of an appropriate finish or color; white or shiny metal other than copper is unacceptable.
- 4. Windows, storm sash and trim shall be wood or anodized aluminum in appropriate colors and finishes; white or shiny metal is unacceptable.
- 5. Visible roofs, such as mansards and gables, shall be of slate or of composition shingle similar in appearance to slate. Metal may be allowed if subdued in color and detail; white or shiny metal other than copper is unacceptable.

2. Window openings shall approximate the number, size and positioning of those of its abutters. The vertical dimension of the opening should exceed the horizontal.

3. The entrance doorway shall approximate those of adjacent buildings in overall size, proportion and position.

4. For new buildings in either category, the use of elements which give the existing buildings of the district their essential character is recommended. Where used, they should approximate the proportions and materials of the existing buildings. These elements include, but are not limited to the following:

- a. Bay, bow, oriel, and dormer windows
- b. Mansard and gable roofs
- c. Cornices
- d. Exterior steps
- e. Decorative ironwork, railings and fences
- f. Recessed doorways
- g. Entrance canopies
- h. Chimneys
- i. Exterior lighting

5. It is not required that new buildings on the larger parcels in Category A or B conform internally to the narrow rowhouse configuration typical of the district. It is recommended that such larger buildings avoid the appearance of monolithic apartment blocks through the use of design elements characteristic of the rowhouse blocks. Entrance doorways and steps should occur at a maximum of 45 feet on center; a more frequent spacing of 18 to 28 feet is recommended; the use of repeating bay, bow or oriel is especially recommended.

III. PUBLIC AREAS

A. GENERAL

The intent is to retain and improve those aspects of the public areas which contribute to and enhance the character of the South End. Alterations to existing street layouts or proposed new streets must be reviewed for conformance to the criteria below:

1. Sidewalks and Curbs:

- a. Public sidewalks should be designed and constructed to reinforce the character of the district.
- b. Granite and brick are preferred materials, but concrete walking surface may be allowed after review. Existing brick sidewalks must be repaired and restored. New or repaired concrete sidewalks must be approved for color or tone, and may not be patched with asphalt.
- c. Granite curbs must be retained and raised wherever possible.
- d. Existing sidewalks shall not be reduced in width.
- e. Permanent use of Jersey barriers is not allowed.

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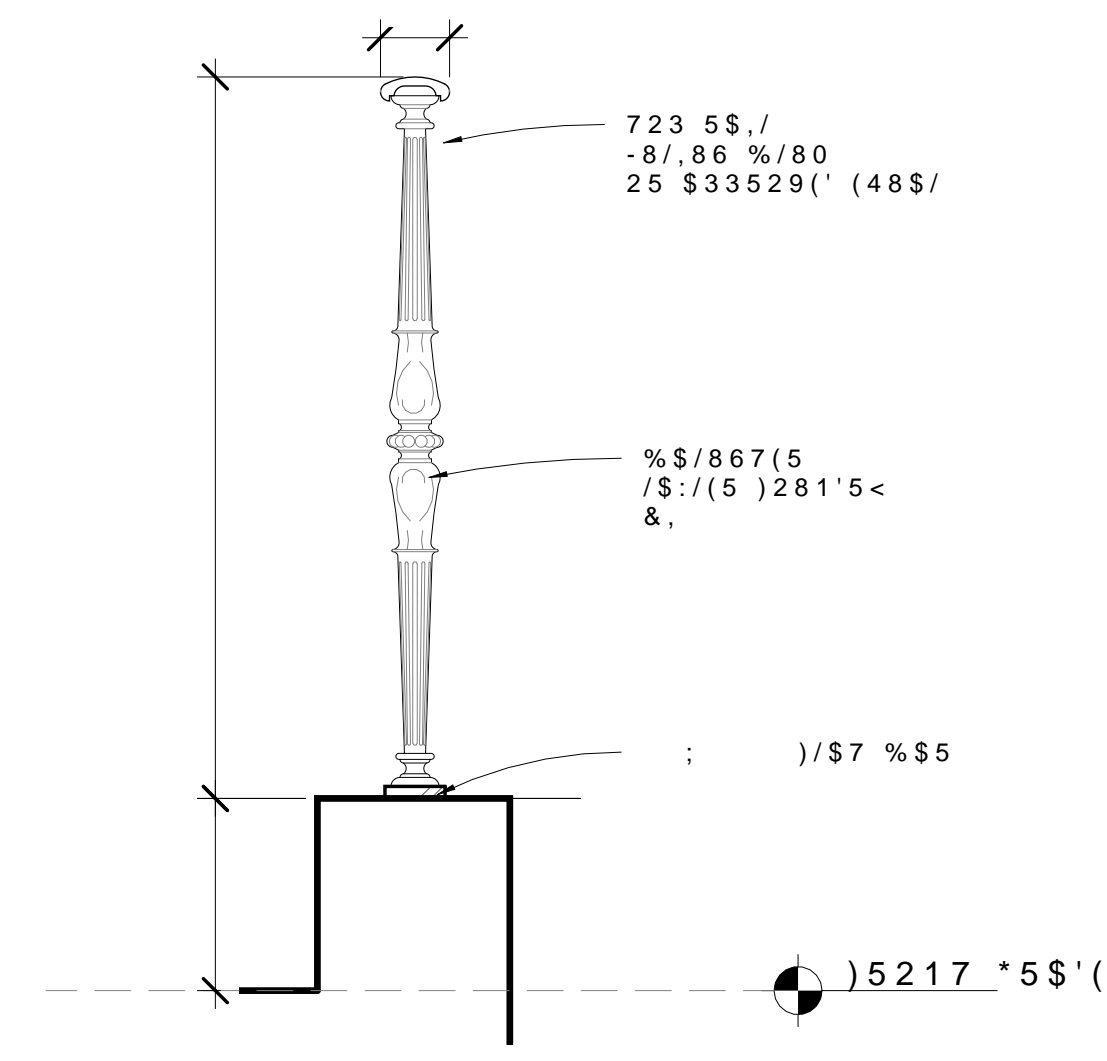
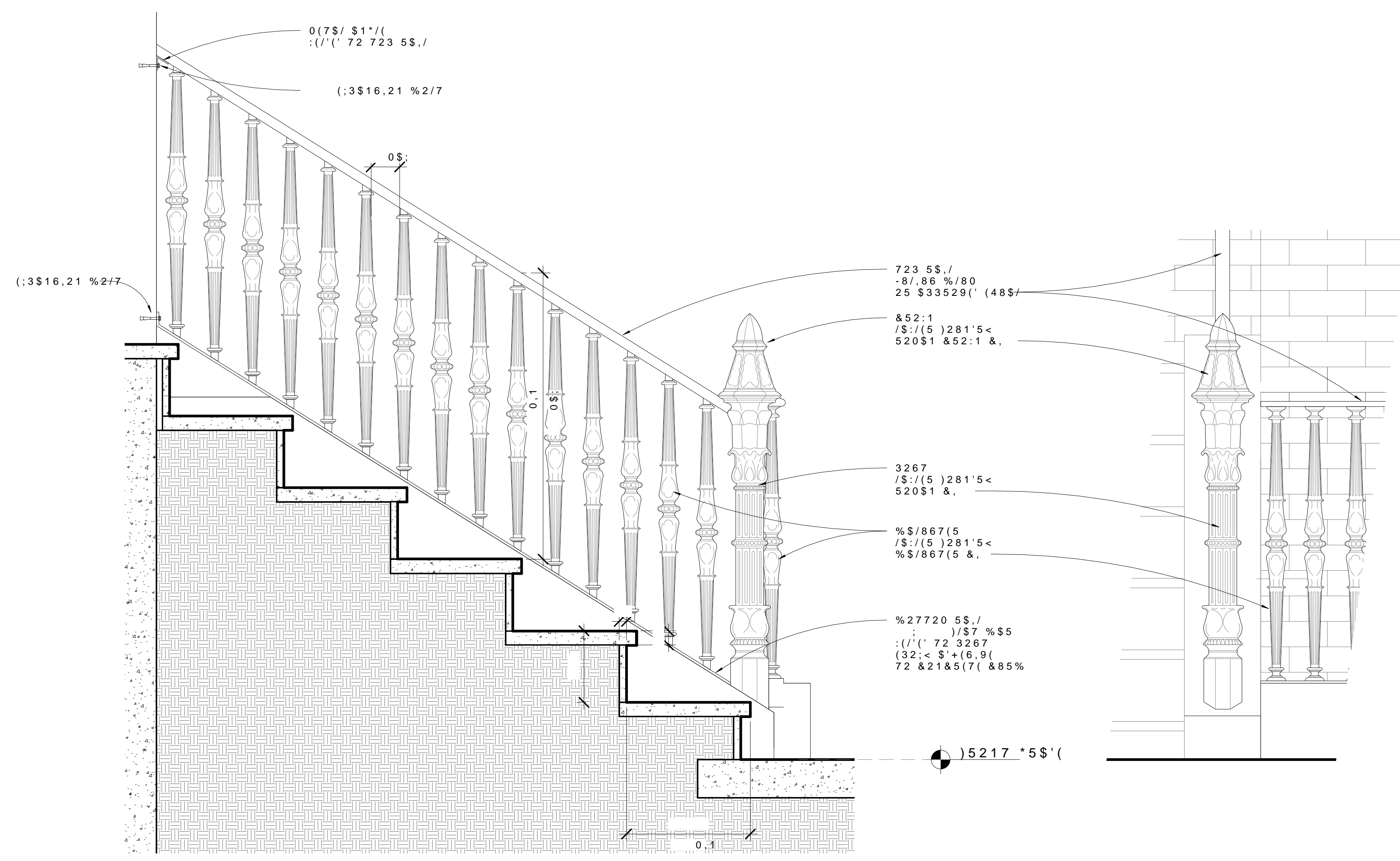
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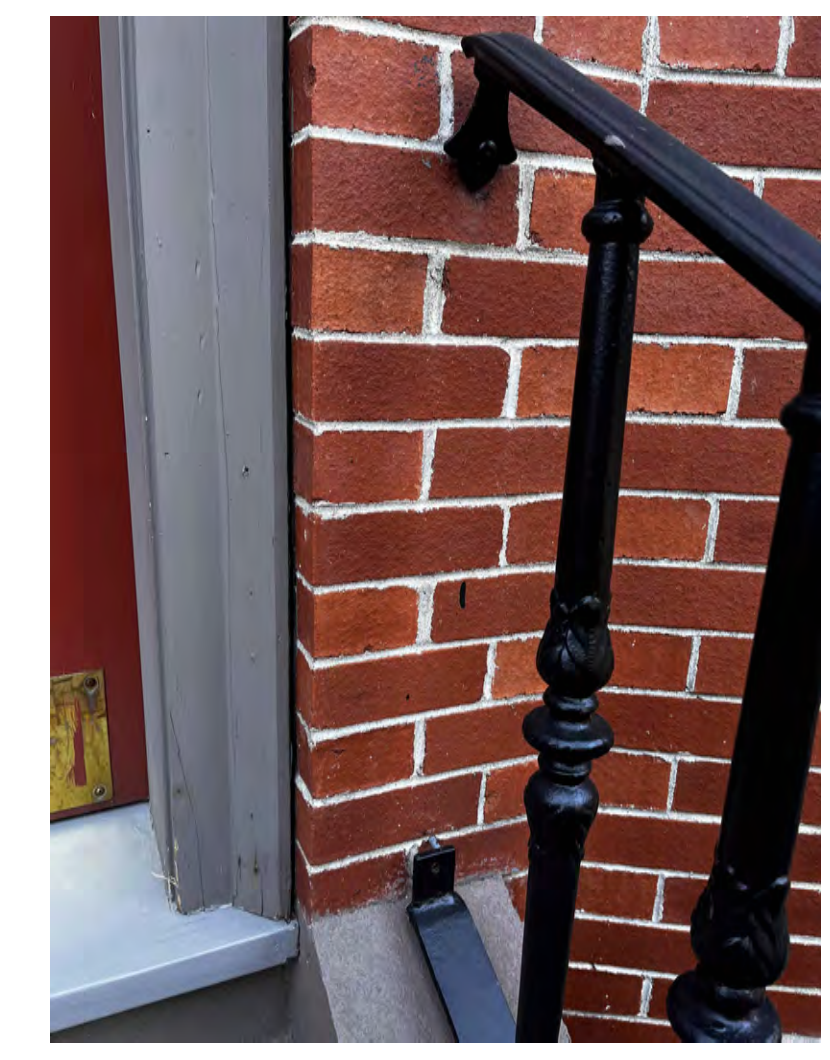
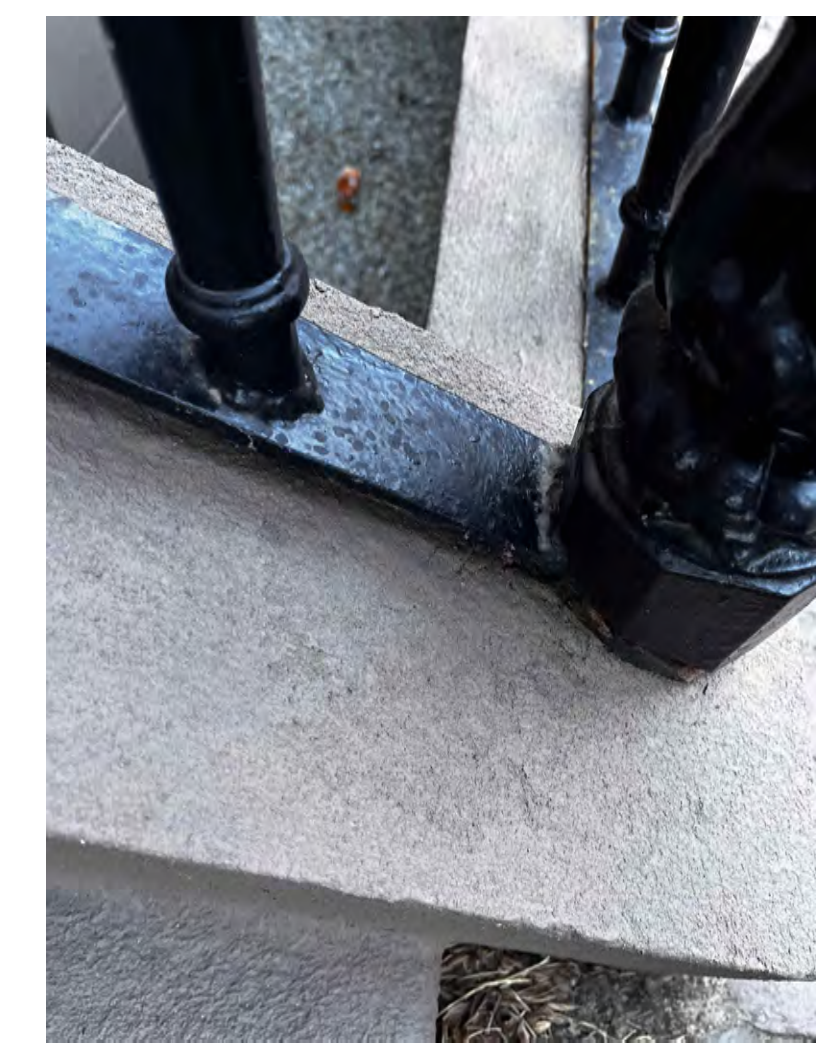
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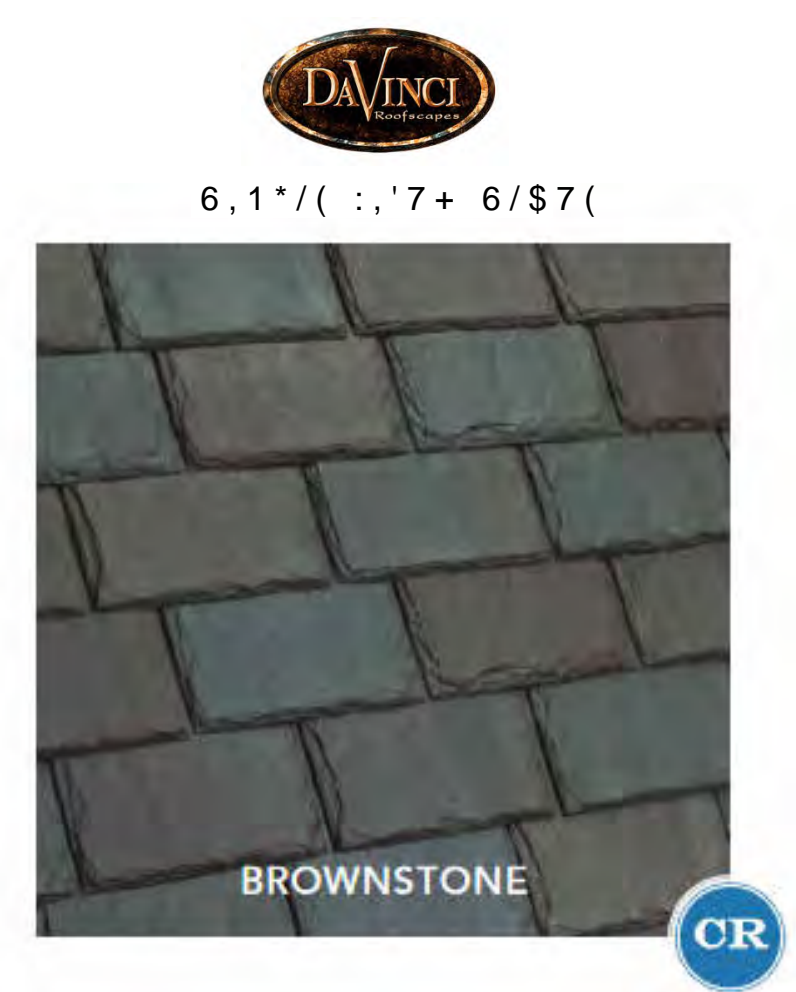
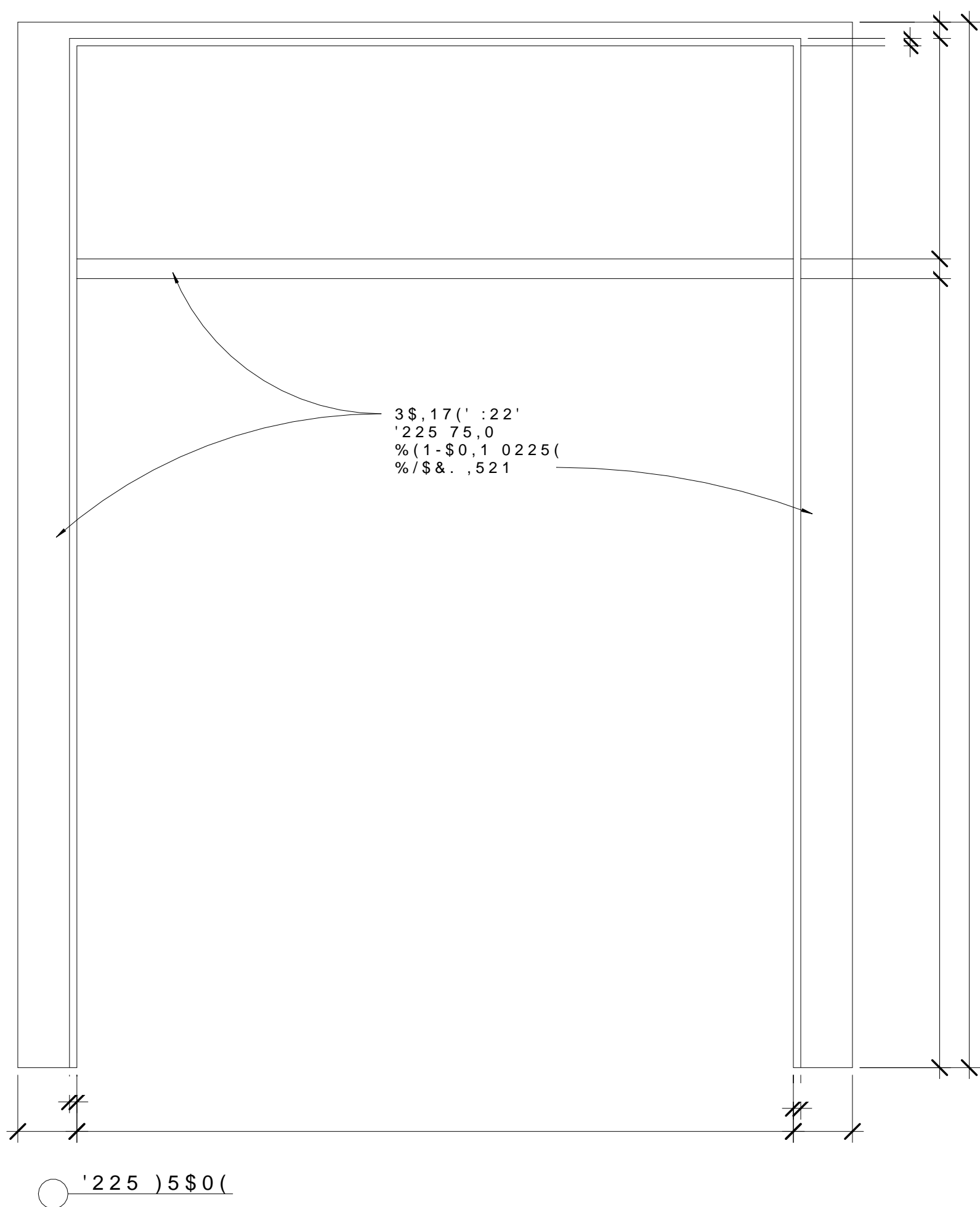
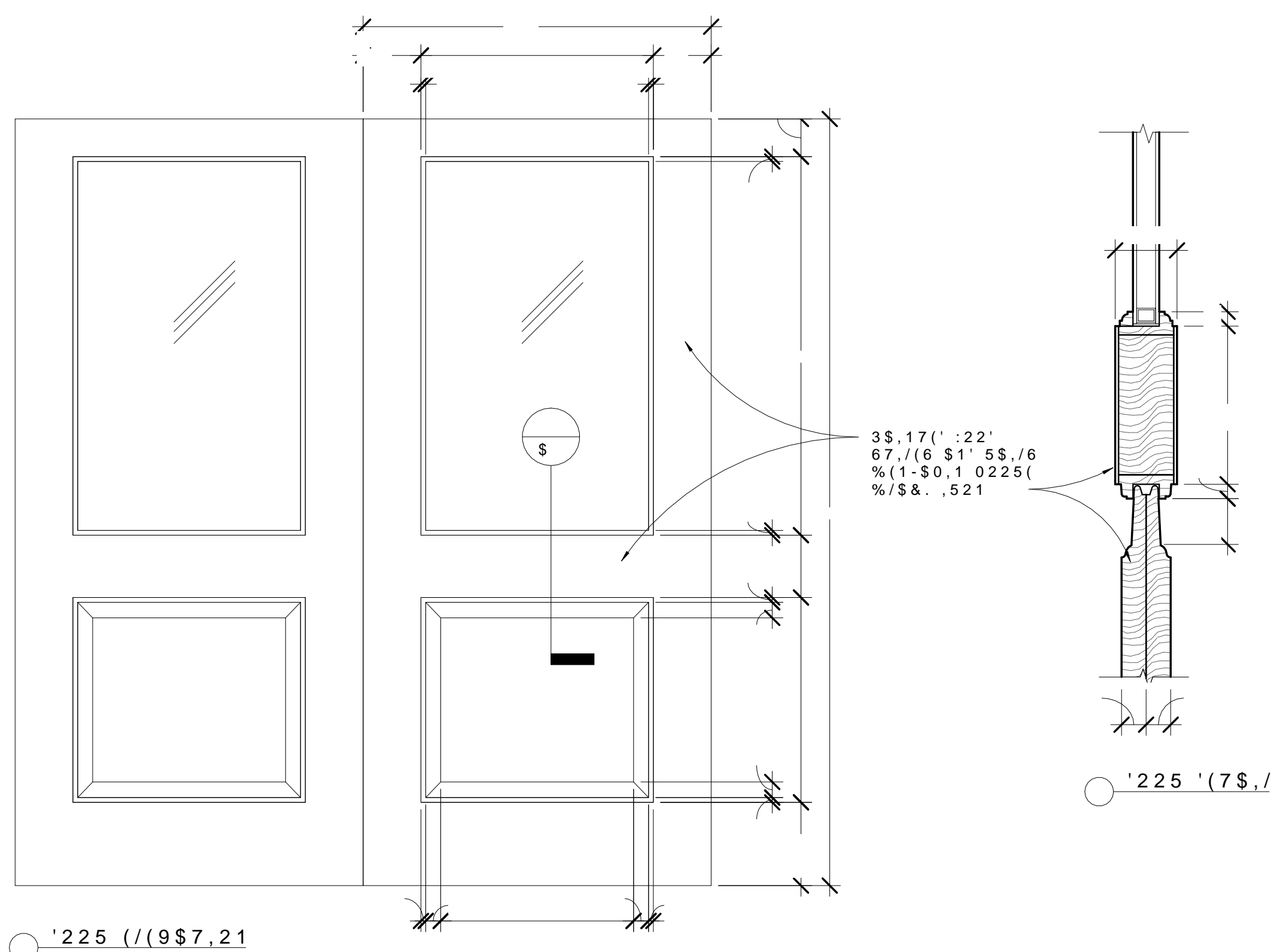
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Simpson Door Company **INSPIRATION** AT YOUR DOOR

QUOTE #: P4652091-100-1
QUOTE VALID THROUGH: 2/14/2024

7081 Thermal Sash
SERIES: Exterior French & Sash Doors
DOOR DESIGN: 7081
QUANTITY: 1

DOOR SPECIFICATIONS
SPECIES: Fir
WOOD GRADE: Select
WIDTH: 3-0 5/16"
HEIGHT: 6-8"
THICKNESS: 1 3/4"
PROFILE: Ovolo Sticking
GLASS: Clear / Clear w/ Film
PANEL: 1-7/16" Innerbond DHRP
ADDITIONAL OPTIONS:
UltraBlock® Technology
Solid Bottom Rail
Cartoned
PYD

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ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:
 Before ordering the Marvin Window and Door products illustrated within these shop drawings, a copy of these drawings accompanied by an approved signature of the purchaser must be returned to the Architectural Department at Marvin Windows & Doors, P.O. Box 100, Grand Rapids, Michigan 49503. The purchaser must also return a copy of these drawings to the approved shop drawings. Marvin Windows and Doors assumes no responsibility in guaranteeing product coordination with the drawings.

REVISION:

CREATED: 04/30/2024

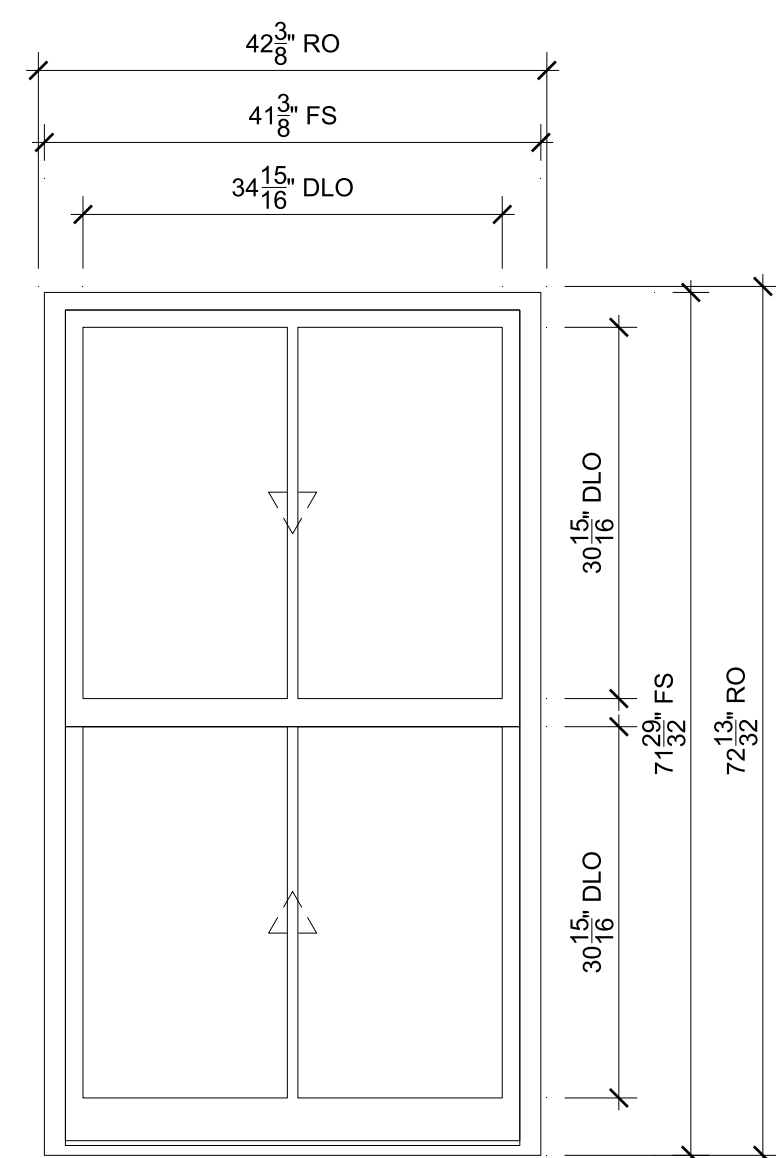
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DIST/DEALER: KOOPMAN LUMBER-GO

DRAWN: LEE HARPER

QUOTE#: FCL0UGX

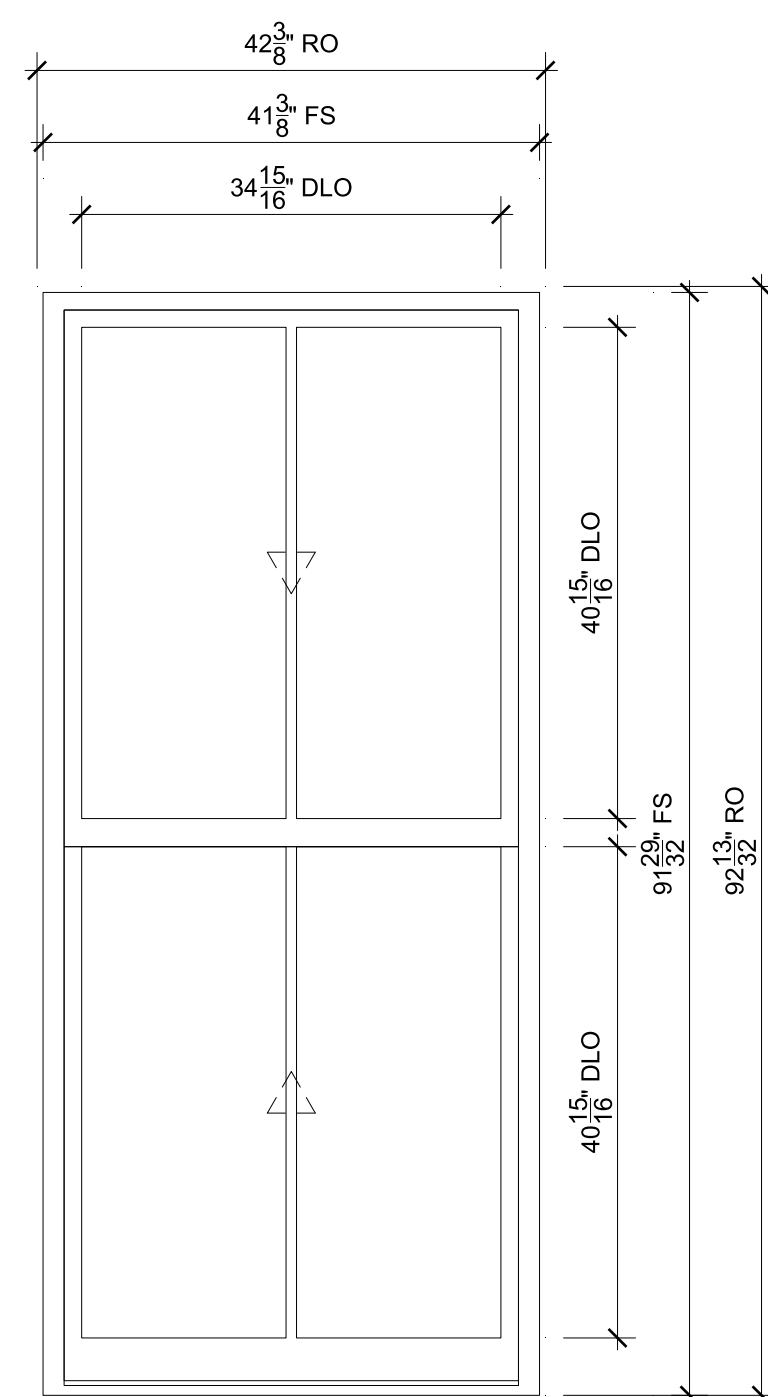


A
 SCALE: 3/4" = 1'-0"

- ⊕ Head
- ⊕ Sill
- ⊕ Checkrail
- ⊕ Jamb
- ⊕ Divided Lite

SPECIFICATIONS

Line #: 1
 Qty: 9
 Mark Unit: A
 Product Line: Ultimate Wood
 Unit Description: Double Hung
 Rough Opening: 42 3/8" X 72 13/32"
 Frame Size: 41 3/8" X 71 29/32"
 Masonry Opening: 41 7/8" X 72 5/32"
 Sash Opening: 42 3/8" X 72 13/32"
 Inside Opening: 42 3/8" X 72 13/32"
 Exterior Finish: Primed
 Species: Pine
 Interior Finish: Primed
 Unit Type: Double Hung
 Call Number: CN3632
 Glass Information: IG, Clear, Black
 Divider Type: 7/8" Rectangular SDL W/ Spacer - Black
 Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Performance Options : None
 Screen Type: Extruded Aluminum Half Screen
 Hardware Color: White
 Screen Surround Color: Stone White
 Screen Mesh Type: Bright View Mesh
 Jamb Depth: 4 9/16"
 Interior Trim: None
 Exterior Casing: Casing Type : None
 Sub sill: Sub sill Type : None

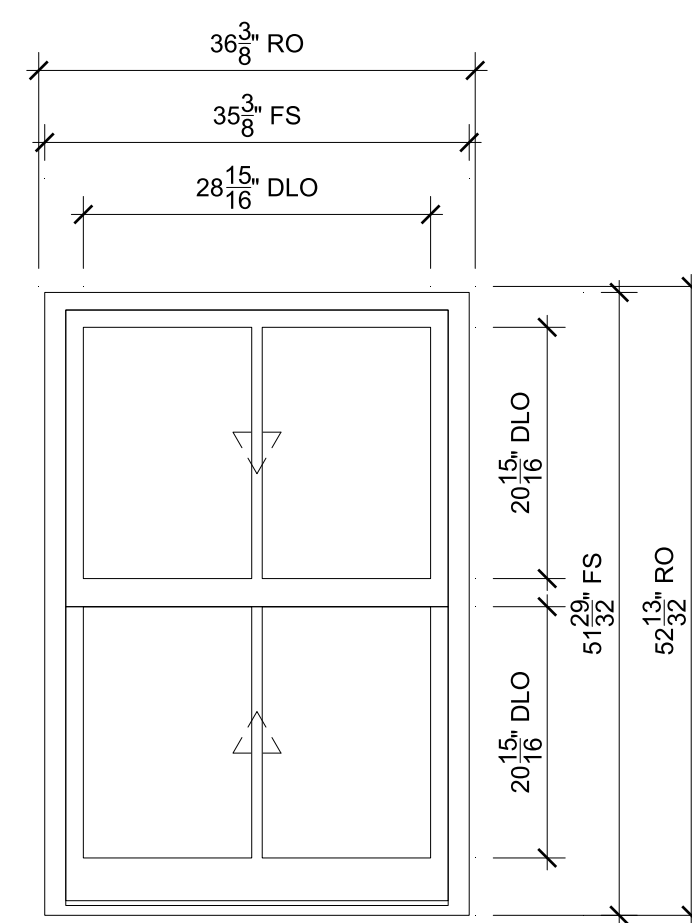


A
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- ⊕ Head
- ⊕ Sill
- ⊕ Checkrail
- ⊕ Jamb
- ⊕ Divided Lite

SPECIFICATIONS

Line #: 2
 Qty: 2
 Mark Unit: A
 Product Line: Ultimate Wood
 Unit Description: Double Hung
 Rough Opening: 42 3/8" X 92 13/32"
 Frame Size: 41 3/8" X 91 29/32"
 Masonry Opening: 41 7/8" X 92 5/32"
 Sash Opening: 42 3/8" X 92 13/32"
 Inside Opening: 42 3/8" X 92 13/32"
 Exterior Finish: Primed
 Species: Pine
 Interior Finish: Primed
 Unit Type: Double Hung
 Call Number: CN3642
 Glass Information: IG, Clear, Black
 Divider Type: 7/8" Rectangular SDL W/ Spacer - Black
 Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Performance Options : None
 Screen Type: Extruded Aluminum Half Screen
 Hardware Color: White
 Screen Surround Color: Stone White
 Screen Mesh Type: Bright View Mesh
 Jamb Depth: 4 9/16"
 Interior Trim: None
 Exterior Casing: Casing Type : None
 Sub sill: Sub sill Type : None

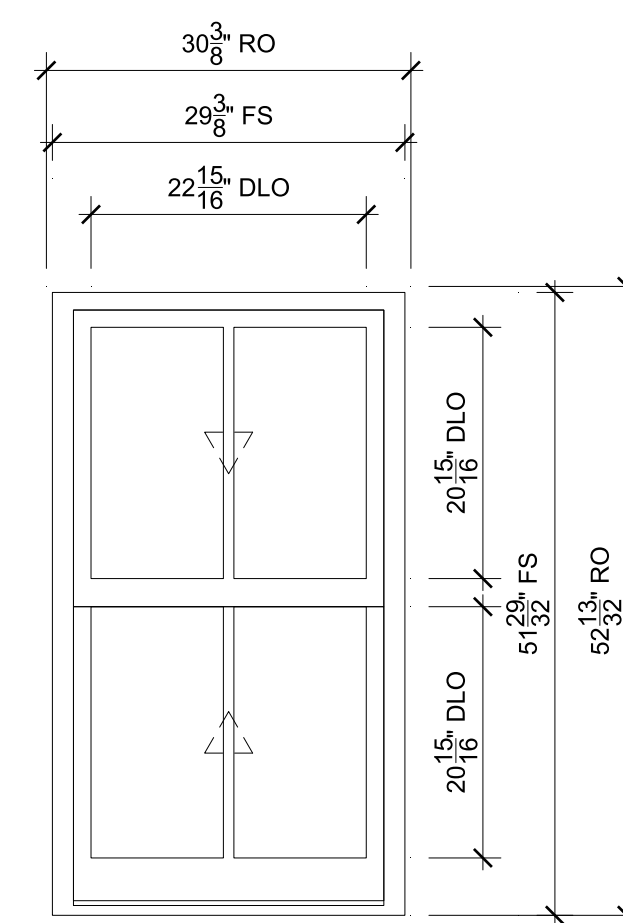


B
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- ⊕ Head
- ⊕ Sill
- ⊕ Checkrail
- ⊕ Jamb
- ⊕ Divided Lite

SPECIFICATIONS

Line #: 3
 Qty: 2
 Mark Unit: B
 Product Line: Ultimate Wood
 Unit Description: Double Hung
 Rough Opening: 36 3/8" X 52 13/32"
 Frame Size: 35 3/8" X 51 29/32"
 Masonry Opening: 35 7/8" X 52 5/32"
 Sash Opening: 36 3/8" X 52 13/32"
 Inside Opening: 36 3/8" X 52 13/32"
 Exterior Finish: Primed
 Species: Pine
 Interior Finish: Primed
 Unit Type: Double Hung
 Call Number: CN3022
 Glass Information: IG, Clear, Black
 Divider Type: 7/8" Rectangular SDL W/ Spacer - Black
 Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Performance Options : None
 Screen Type: Extruded Aluminum Half Screen
 Hardware Color: White
 Screen Surround Color: Stone White
 Screen Mesh Type: Bright View Mesh
 Jamb Depth: 4 9/16"
 Interior Trim: None
 Exterior Casing: Casing Type : None
 Sub sill: Sub sill Type : None

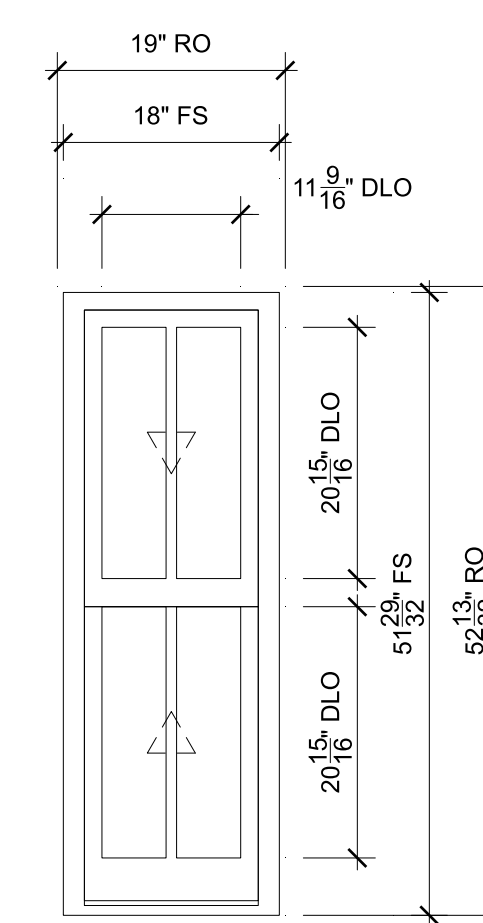


C
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- ⊕ Head
- ⊕ Sill
- ⊕ Checkrail
- ⊕ Jamb
- ⊕ Divided Lite

SPECIFICATIONS

Line #: 4
 Qty: 1
 Mark Unit: C
 Product Line: Ultimate Wood
 Unit Description: Double Hung
 Rough Opening: 30 3/8" X 52 13/32"
 Frame Size: 29 3/8" X 51 29/32"
 Masonry Opening: 29 7/8" X 52 5/32"
 Sash Opening: 30 3/8" X 52 13/32"
 Inside Opening: 30 3/8" X 52 13/32"
 Exterior Finish: Primed
 Species: Pine
 Interior Finish: Primed
 Unit Type: Double Hung
 Call Number: CN2422
 Glass Information: IG, Clear, Black
 Divider Type: 7/8" Rectangular SDL W/ Spacer - Black
 Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Performance Options : None
 Screen Type: Extruded Aluminum Half Screen
 Hardware Color: White
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 Jamb Depth: 4 9/16"
 Interior Trim: None
 Exterior Casing: Casing Type : None
 Sub sill: Sub sill Type : None



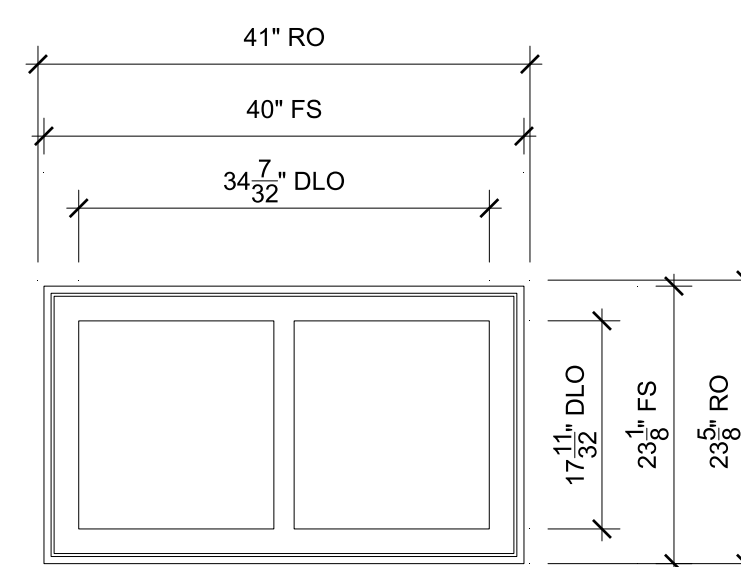
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- ⊕ Head
- ⊕ Jamb
- ⊕ Sill
- ⊕ Divided Lite
- ⊕ Checkrail

SPECIFICATIONS

Line #: 5
 Qty: 2
 Mark Unit: D
 Product Line: Ultimate Wood
 Unit Description: Double Hung
 Rough Opening: 19" X 52 13/32"
 Frame Size: 18" X 51 29/32"
 Masonry Opening: 18 1/2" X 52 5/32"
 Sash Opening: 19" X 52 13/32"
 Inside Opening: 19" X 52 13/32"
 Exterior Finish: Primed
 Species: Pine
 Interior Finish: Primed
 Unit Type: Double Hung
 Call Number: CN22 height
 Glass Information: IG, Clear, Black
 Divider Type: 7/8" Rectangular SDL W/ Spacer - Black
 Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Performance Options : None
 Screen Type: Extruded Aluminum Half Screen
 Hardware Color: White
 Screen Surround Color: Stone White
 Screen Mesh Type: Bright View Mesh
 Jamb Depth: 4 9/16"
 Interior Trim: None
 Exterior Casing: Casing Type : None
 Sub sill: Sub sill Type : None

ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:
 Before ordering the Marvin Window and Door products illustrated within these shop drawings, a copy of these drawings accompanied by an approved signature of the purchaser must be returned to the Architectural Department at Marvin Windows & Doors, 10000 Grandview Avenue, Suite 100, Grandview, MO 64030. The purchaser's signature must be returned to the approved shop drawings. Marvin Windows and Doors assumes no responsibility in guaranteeing product coordination with the drawings.



* E
 SCALE: 3/4" = 1'-0"

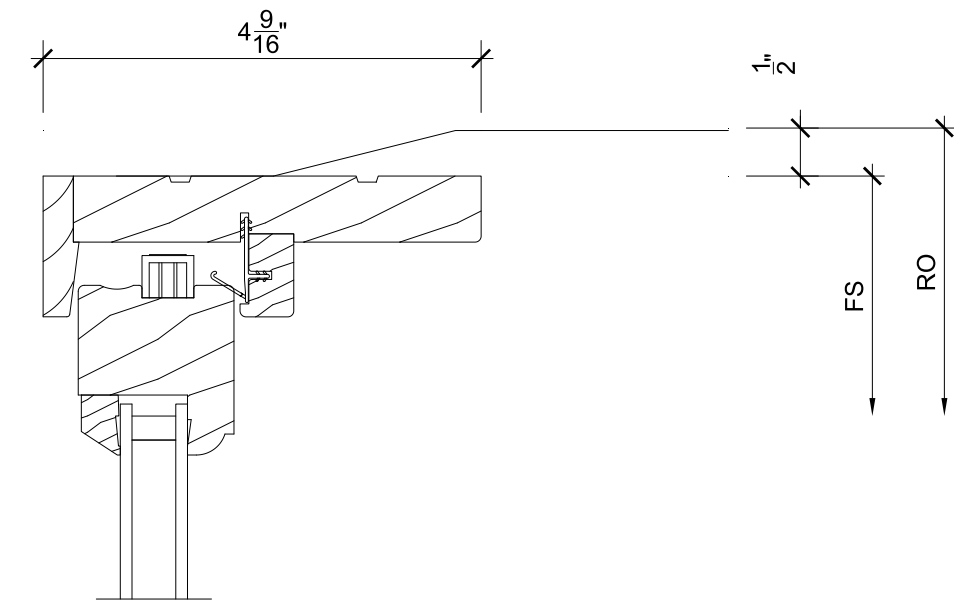


SPECIFICATIONS

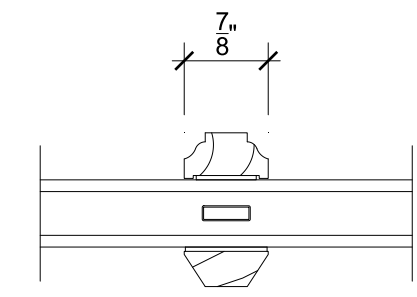
Line #: 6
 Qty: 1
 Mark Unit: E
 Product Line: Ultimate Wood
 Unit Description: Casement
 Rough Opening: 41" X 23 5/8"
 Frame Size: 40" X 23 1/8"
 Masonry Opening: 40 1/2" X 23 3/8"
 Sash Opening: 41" X 23 5/8"
 Inside Opening: 41" X 23 5/8"
 Exterior Finish: Primed
 Species: Pine
 Interior Finish: Primed
 Unit Type: Casement, Stationary
 Call Number: CN4024
 Glass Information: IG, Low E2 w/Argon, Black
 Divider Type: Rectangular ADL
 Hardware Type: None
 Screen Type: None
 Hardware Color: None
 Screen Surround Color: None
 Screen Mesh Type: None
 Jamb Depth: 4 9/16"
 Interior Trim: None
 Exterior Casing: Casing Type : None
 Sub sill: Sub sill Type : None

* The quote for this unit has an error on it. Please verify availability prior to order.

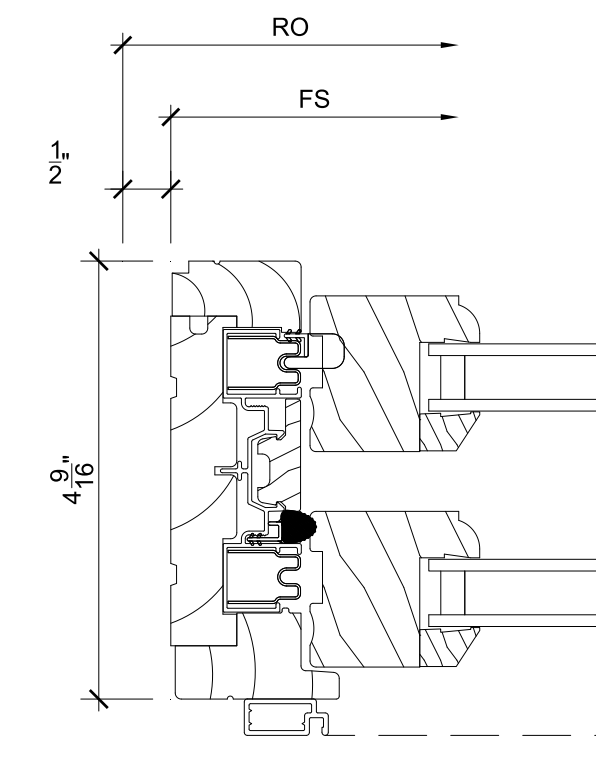
PROJ/JOB: RIVER FRONT 8 SPRINGFIELD / RIVER FRONT 8 SPRINGFIELD
 DIST/DEALER: KOOPMAN LUMBER-GO
 DRAWN: LEE HARPER
 QUOTE#: FCLOUGX
 PK VERSION: 0004.08.00
 CREATED: 04/30/2024
 REVISION:



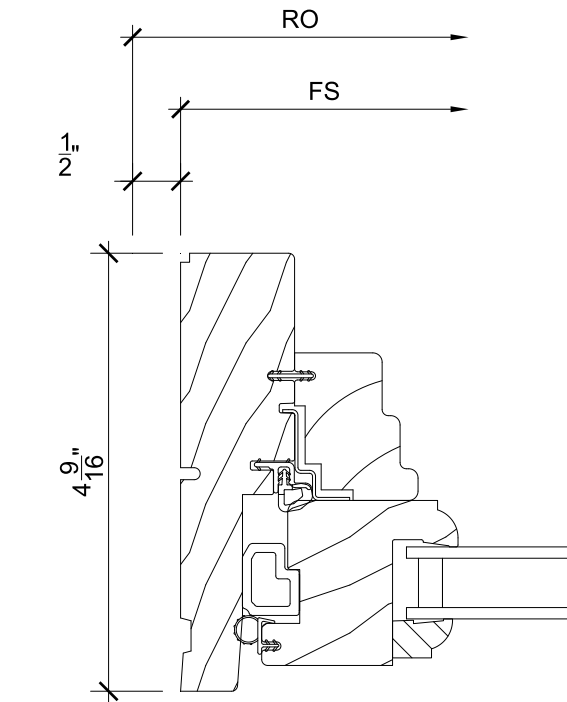
1
3 Head SCALE: 6" = 1'-0"



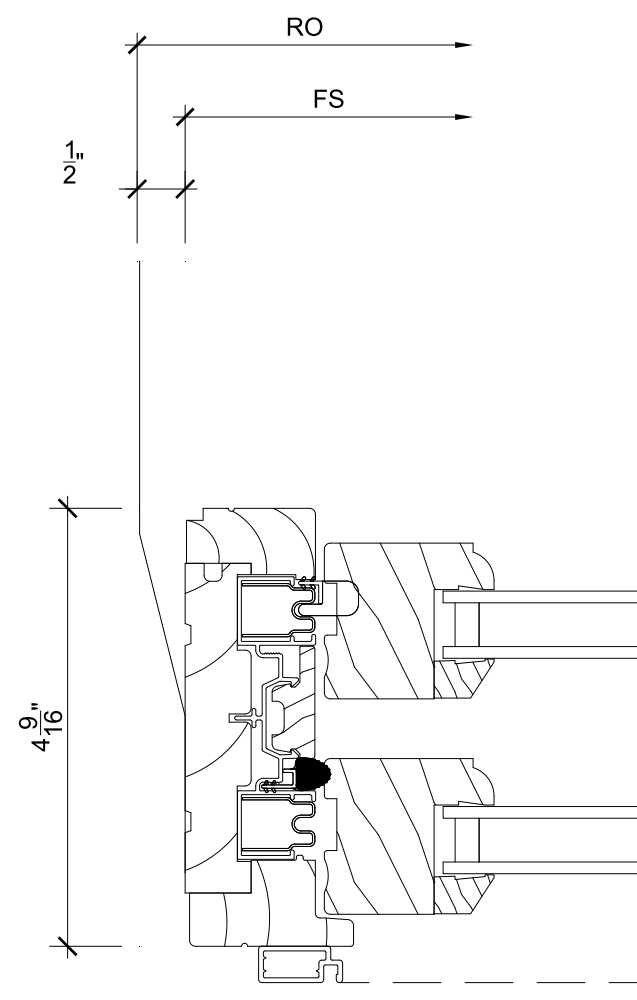
4
3 Divided Lite SCALE: 6" = 1'-0"



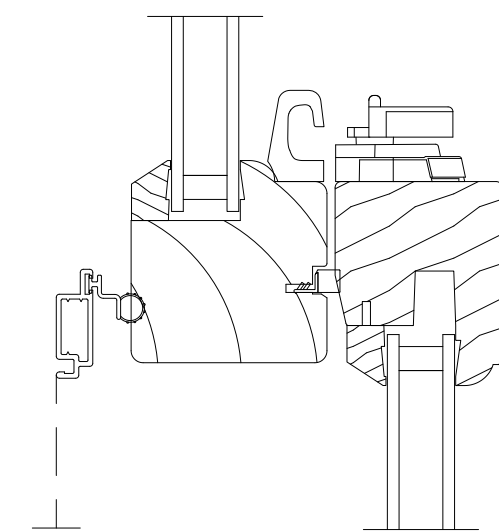
7
3 Jamb SCALE: 6" = 1'-0"



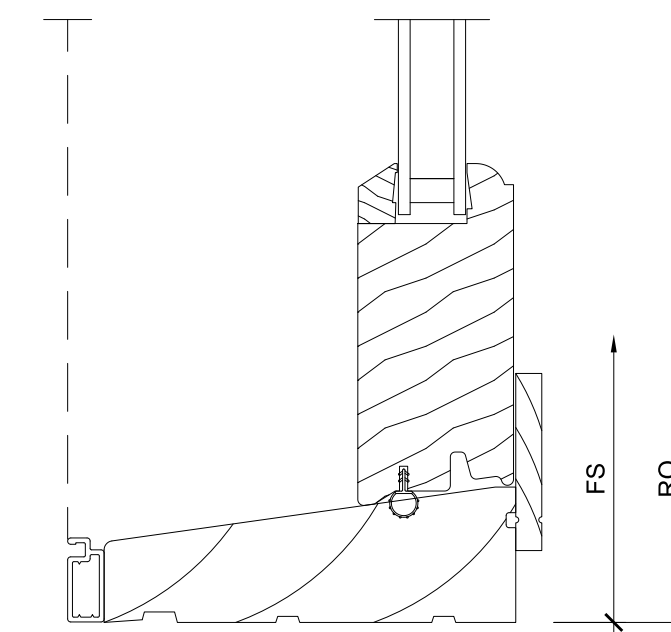
10
3 Jamb SCALE: 6" = 1'-0"



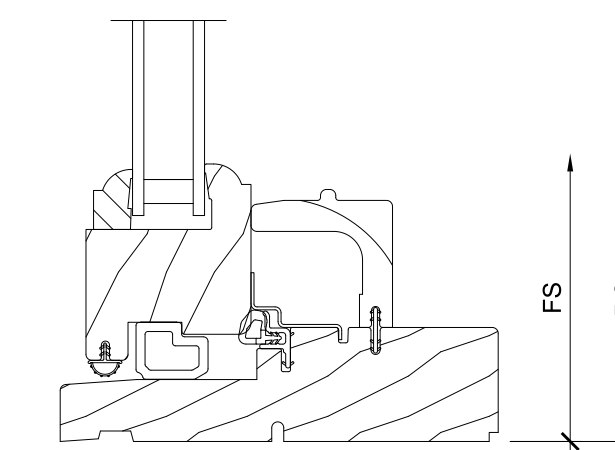
2
3 Jamb SCALE: 6" = 1'-0"



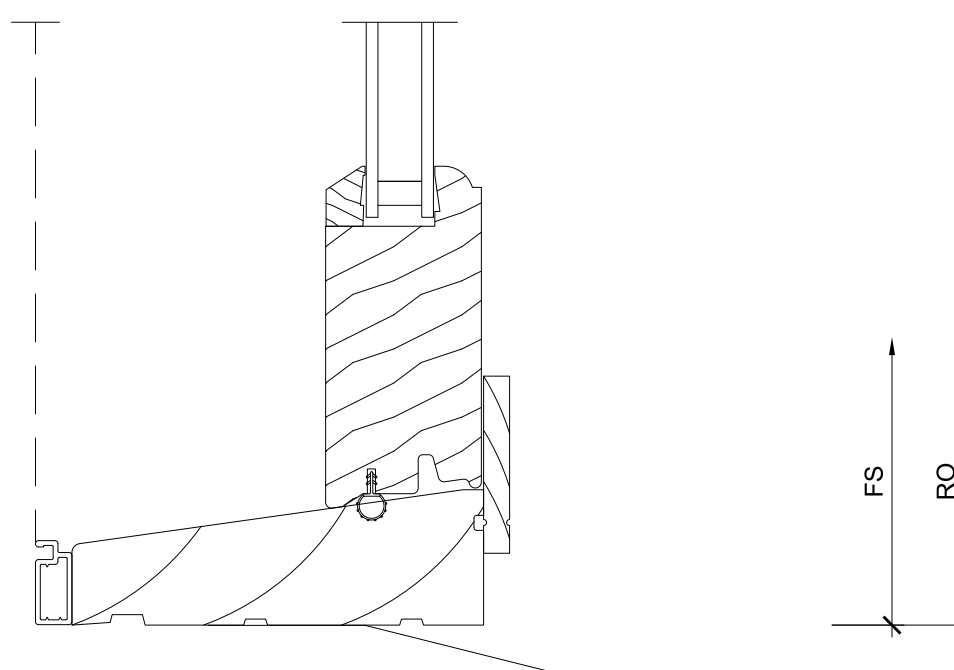
5
3 Checkrail SCALE: 6" = 1'-0"



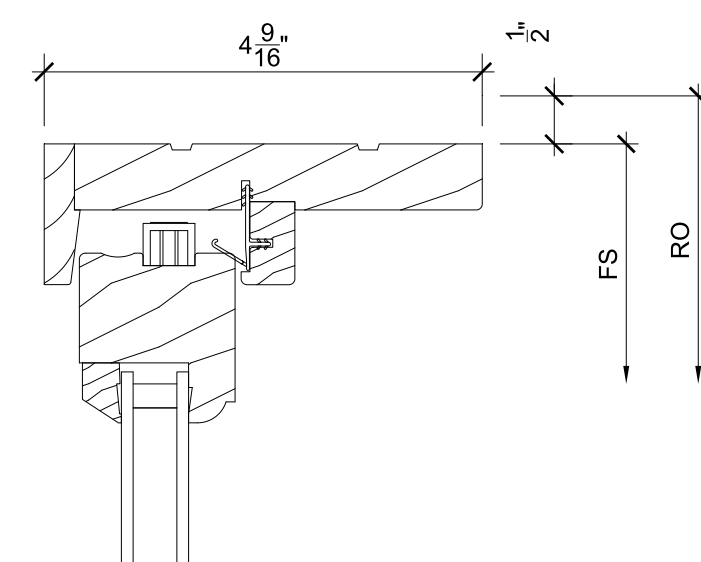
8
3 Sill SCALE: 6" = 1'-0"



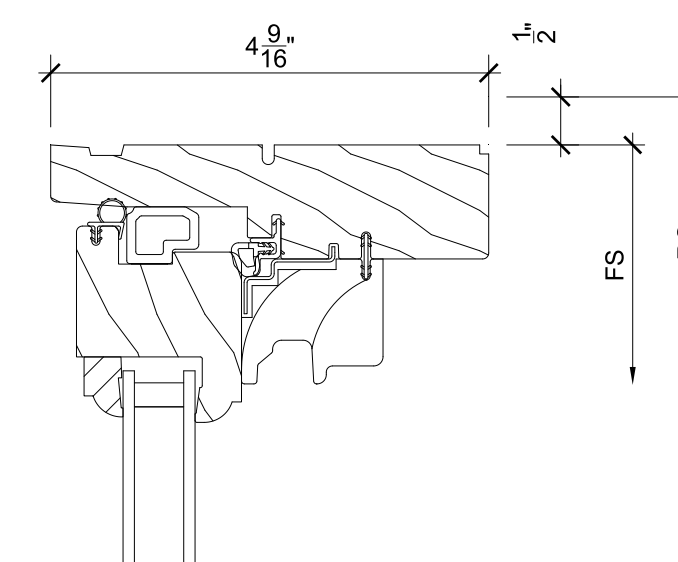
11
3 Sill SCALE: 6" = 1'-0"



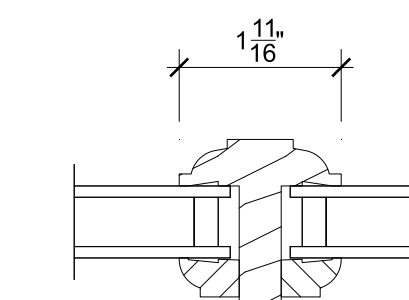
3
3 Sill SCALE: 6" = 1'-0"



6
3 Head SCALE: 6" = 1'-0"



9
3 Head SCALE: 6" = 1'-0"



12
3 Divided Lite SCALE: 6" = 1'-0"

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PROJ/JOB: RIVER FRONT 8 SPRINGFIELD / RIVER FRONT 8 SPRINGFIELD

DIST/DEALER: KOOPMAN LUMBER-GO

DRAWN: LEE HARPER

QUOTE#: FCLOUGX

PK VERSION: 0004.08.00

CREATED: 04/30/2024

REVISION: