

42 Orchard Road

Brighton, Massachusetts

REVIEWED FOR ZBA

Reviewed By: Cheryl Odom
PLAN EXAMINER

Reviewed Date: 01/09/2024

Architect

HRESKO Associates, Inc.
36 Bromfield Street, Suite 209
Boston, Massachusetts 02108
Tel: 617-350-7676
e-Mail: Hresko@ArchUSA.com

H-A Project #39-02

Owner/Developer

Vincent Lee
Supreme Property Solutions, LLC
617-797-3110

Civil Engineer

Waterfield Design Group
50 Cross Street
Winchester, MA 01890
Tel: 781.756.0001
e-Mail: jmurray@wdgrp.com



List of Drawings

T-1.00 Title Sheet

Civil

EC-1 Existing Condition Land Survey
L-1.01 Zoning Summary
L-1.02 Proposed Site Plan
L-1.03 Proposed Landscape Plan

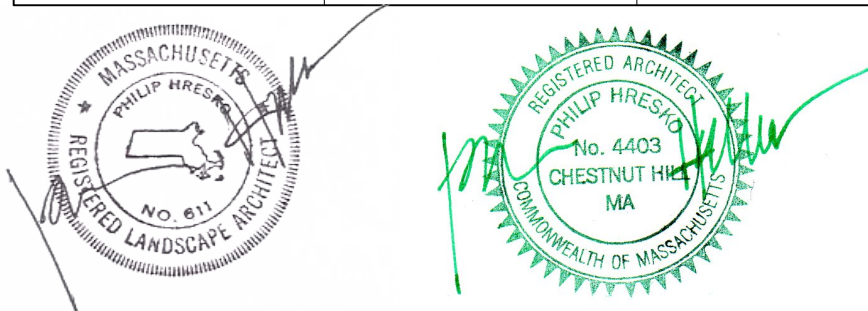
Architectural

Sheet 0.1 Render View
Ex-1.00 Existing condition Lower and 1st Floor Plan
Ex-1.01 Existing condition 2nd and 3rd Floor Plan
Ex-2.00 Existing Condition Photos
Ex-2.01 Existing Condition Elevations
Ex-3.00 Existing Condition Section
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A-1.02 Proposed 2nd & 3rd Floor Plan
A-2.00 Proposed Elevations
A-2.01 Proposed Side & Rear Elevations
A-3.00 Proposed Section
Sheet 1 3D Model Sketch Views (for reference only)
Sheet 2 Design References
A-4.00 Project Summary

Symbol Legend

- 1 Title Scale: Drawing Label
- ① --- Column Line
- --- Control Point
- 10/A-3.01 Building Section
- ① Door Numbers
- 1/A-2.01 Exterior Elevation
- ④ Interior Elevation
- W1 Partition Types
- B-1 Room/Space
- A-1.01 Window Types
- ①/4-1.01 Detail Reference

BUILDING INFORMATION			ZONING	
Floors	Existing Residential Units	Proposed Units	PARCEL ID	2102048000
Lower Level	Storage	Lower level Unit#01	ZONING DISTRICT	Allston/Brighton Neighborhood
1st Floor	Unit #1	Unit #1 & Unit #2	ZONING SUBDISTRICT	MFR-1
2nd Floor	Unit #2	Unit #3 & Unit #4	LOT AREA	5,141 Sq.Ft.
3rd Floor	Unit #3	Unit #5 & Unit #6	LAND USE	Residential Three Family
Total Units:	3	7	CODE INFORMATION	
Parking Spaces:	7	6		



PROJECT NARRATIVE

EXISTING 3 FAMILY BUILDING TO BE RENOVATED TO INCLUDE 7 RESIDENTIAL UNITS.
SCOPE OF WORK INCLUDES:

- NEW EXTERIOR EGRESS STAIR & NEW ADA RAMPS FOR LOWER LEVEL
- ALL NEW WINDOWS AND DOOR OPENINGS TO COMPLY WITH ENERGY CODE REQUIREMENTS.
- STRUCTURAL FRAMING RECONSTRUCTION- NEW &/OR REPLACE IN KIND STUD WALLS & ROOF/FLOOR FRAMMING AS REQUIRED.
- NEW BATHROOM AND KITCHENS TO BE INSTALLED
- UPDATE FIRE ALARM NEW SYSTEM TO 2021 STANDARDS.
- MEP TO BE DESIGN BUILD
- NEW SPRINKLER SYSTEM TO BE INSTALLED

- BUILDING CODE: 9TH EDITION MASSACHUSETTS STATE BUILDING CODE
- IEBC
- IBC
- MECHANICAL CODE
- 521 CMR

SET FOR ZBA: 12.18.23

All work shall be in compliance with State and Local Building Codes.
General Contractor shall be responsible for obtaining all necessary permits, inspections, and paying all related fees.

Contractor shall lay out all work and be responsible for structure, lines, elevation and measurement.

The Contractor shall thoroughly examine the site, the drawings, and the specifications to ensure his/her knowledge of the conditions and requirements of the work.

The Contractor shall report all deviations in the existing conditions, dimensions, and locations, etc. to the architect.

Storage of materials at the site and protection from the elements is the responsibility of each subcontractor. The builder may reject material not properly stored and protected. Damaged material shall not be installed. In no case may a subcontractor store material which interferes with work of other subcontractors or the Owner.

Do not scale these Drawings for quantities, lengths, size or areas, etc. If dimensions are in question, the contractor shall be responsible for obtaining clarification before continuing with construction.

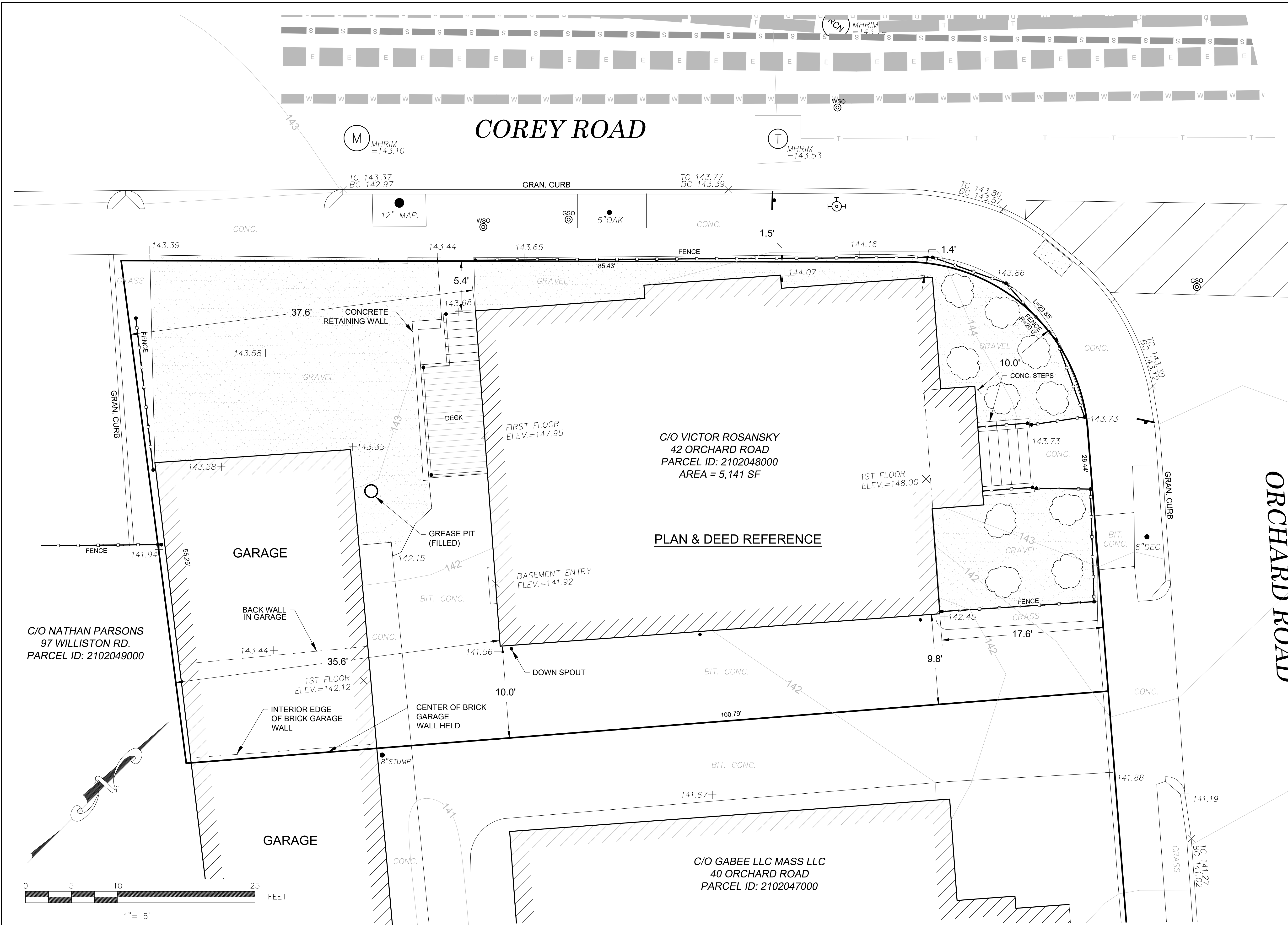
All designs, components, equipment, clearances, sizes and capacities, etc., shall comply with all manufacturers' instructions and recommendations, and shall comply with all applicable federal, state and local codes or ordinances.

Clean up is the responsibility of each subcontractor within a reasonable time and to prevent any hazardous conditions.

It is not intended that these drawings show every cut and/or condition, etc. of the building system, however, the contractor shall furnish a complete product in accordance with the best practice of the trade, to the satisfaction of the Architect, and in strict conformance with all applicable state building code requirements.

All dimensions are to face of stud.

All existing areas disturbed by the new construction are to be patched to match existing and / or new adjacent surfaces.



- EXISTING CONDITIONS NOTES**
1. THIS PLAN REPRESENTS THE SITE CONDITIONS FROM AN ON THE GROUND SURVEY CONDUCTED BY WATERFIELD DESIGN GROUP ON NOVEMBER 2, 2022 AND MARCH 28, 2023.
 2. VERTICAL ELEVATION DATUM IS BOSTON CITY BASE.
 3. HORIZONTAL COORDINATES ARE ASSUMED.
 4. ADDITIONAL BURIED UTILITIES / STRUCTURES MAY BE ENCOUNTERED.
 5. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF WATERFIELD DESIGN GROUP. IT IS ISSUED TO THE ICON ARCHITECTS, INC. FOR PURPOSES RELATED DIRECTLY AND SOLELY TO WATERFIELD DESIGN GROUP'S SCOPE OF SERVICES FOR THE CONTRACT AND PROJECT LISTED BELOW. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PART FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT AND PROJECT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN AUTHORIZATION IS GIVEN THEREFORE BY WATERFIELD DESIGN GROUP.

PLAN & DEED REFERENCE

SUFFOLK COUNTY REGISTRY OF DEEDS

DEEDS
BOOK 55785 PAGE 90

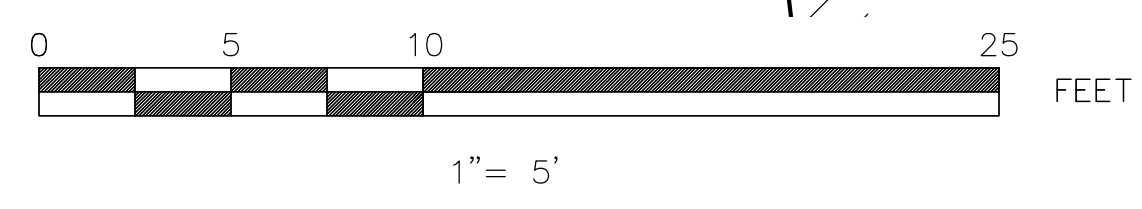
PLANS
BOOK 4648 PAGE 392
LC-6309B

CITY OF BOSTON STREET LAYOUTS
L-4781

C/O VICTOR ROSANSKY
42 ORCHARD ROAD
PARCEL ID: 2102048000
AREA = 5,141 SF

C/O NATHAN PARSONS
97 WILLISTON RD.
PARCEL ID: 2102049000

C/O GABEE LLC MASS LLC
40 ORCHARD ROAD
PARCEL ID: 2102047000



PLAN & DEED REFERENCE

DESIGN BY:
DRAWN BY: MJC
CHECK BY:

EXISTING CONDITIONS			
REV	DATE	BY	

Supreme Property Solutions, LLC
120 Glenville Ave., Suite A
Allston, MA 02134

42 ORCHARD ROAD
EXISTING CONDITIONS LAND SURVEY
BRIGHTON, MASSACHUSETTS

WDG Waterfield Design Group
50 Cross Street | Winchester, Massachusetts | 01890
T 781.756.0001 F 781.756.0007

SCALE:
1" = 5'

DATE:
4-3-23

FILENAME:
W-1722

DRAWING NUMBER:
EC-1

SHEET 1 OF 1



Existing Front Elevation / Orchard Street
Scale: Actual Size 21



Existing Side Elevation / Corey Road
Scale: Actual Size 11



Existing Rear Elevation / Orchard Street
Scale: Actual Size 20



Existing Side Elevation West
Scale: Actual Size 10



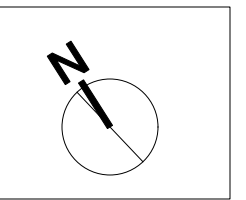
42

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Existing Condition Photos

Scale: As Noted
Date: 4 December 2023

40-07

Ex-2.00

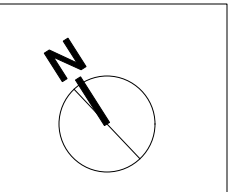
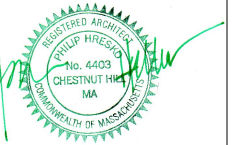
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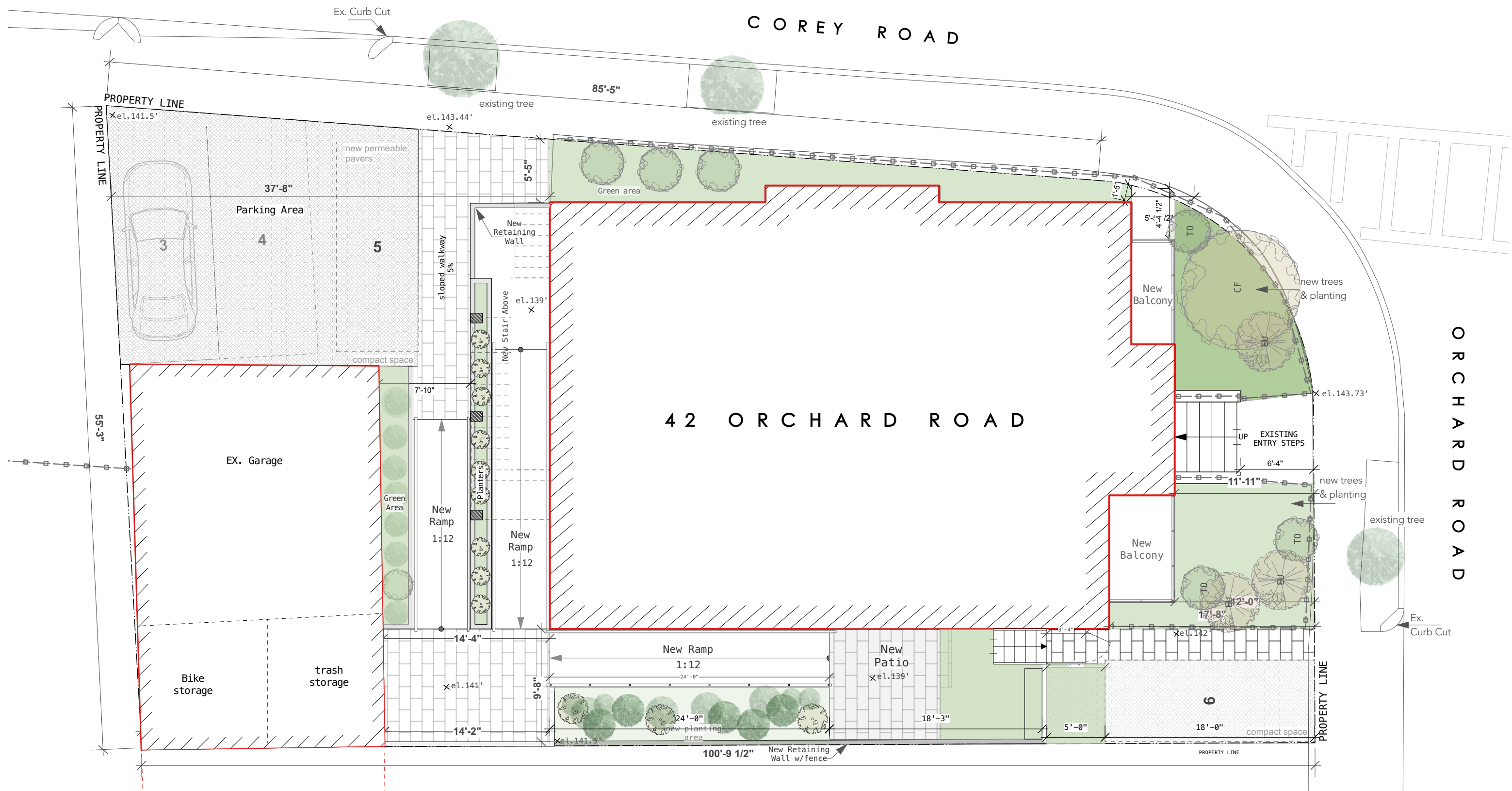


Proposed Site Plan

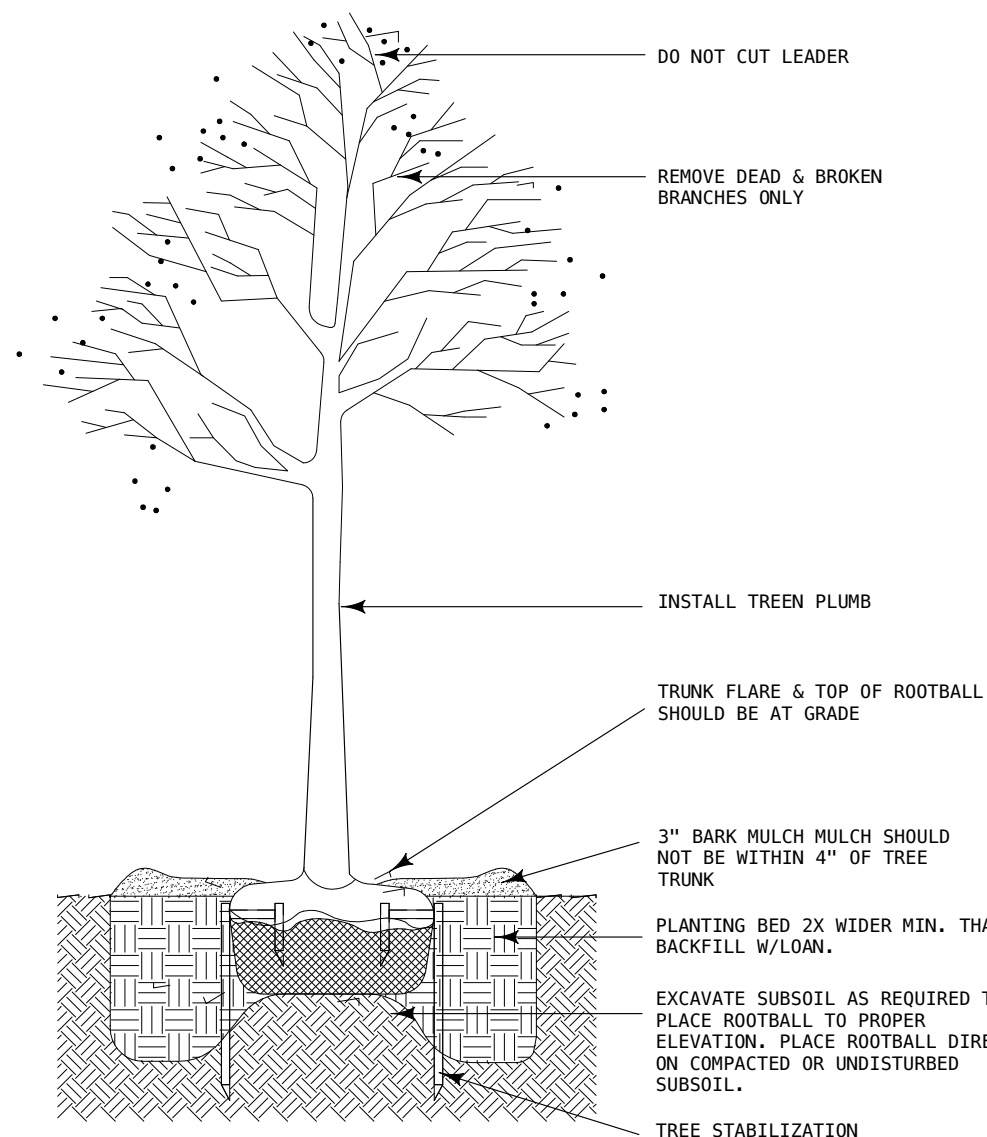
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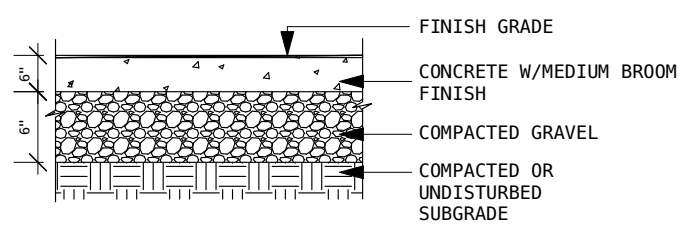
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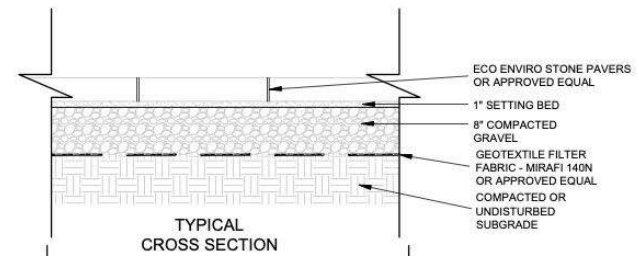
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Scale: 1/8" = 1'-0"



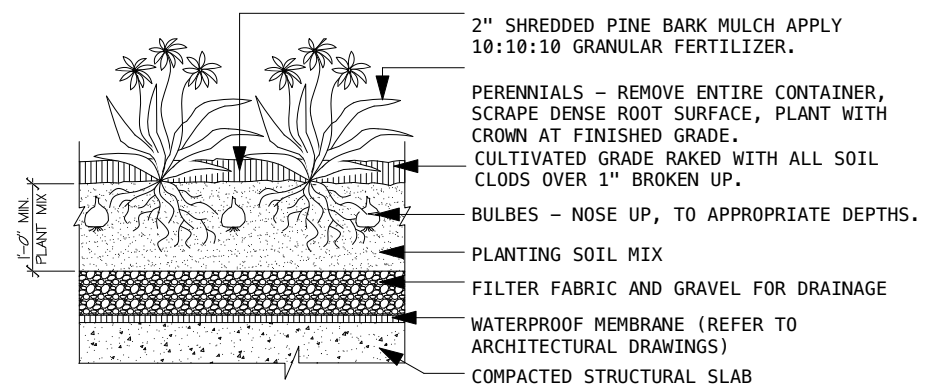
22 6" Concrete Pavement for Sidewalks
Scale: 1/2" = 1'-0"



21 Permeable Paver Detail
Scale: Not Scaled

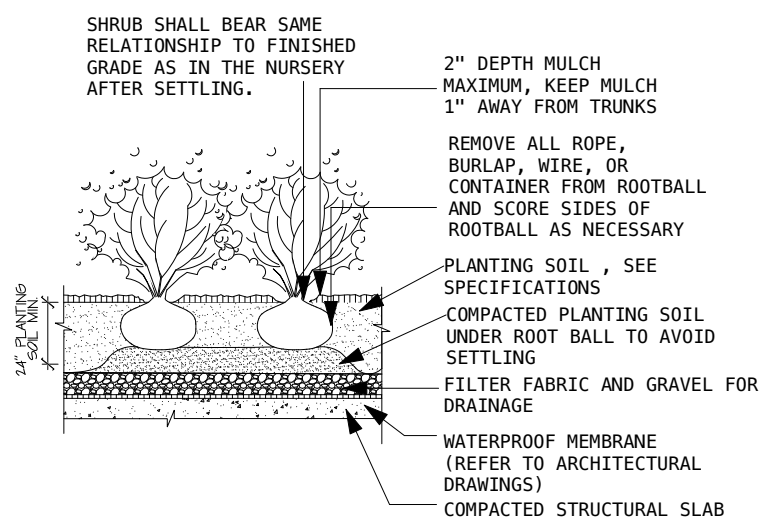


31 Tree Planting Detail
Scale: 1/8" = 1'-0"



30 Perennial, groundcover and bulb planting
Scale: 1/2" = 1'-0"

20 Shrub Planting
Scale: 1/2" = 1'-0"



NOTES:
1. SEE PLAN LIST AND PLANS FOR TYPICAL SPACING.
2. REMOVE ALL TAGS AFTER REVIEW AND APPROVAL IN THE FIELD.
3. KEEP MULCH BEDS WEED AND GRASS-FREE.



10 Proposed Landscape Plan
Scale: 3/32" = 1'-0"

PLANT SCHEDULE					
Item	Quantity	Common Name	Botanical Name	Size	Location
Trees					
CF	1	White dogwood	<i>Cornus Florida</i>	3-3.5" Cal B&B	Screening Along North & East Property Line
TO	7	American Arborvitae	<i>Thuja Occidentalis</i>	10 to 12'	Screening Along North, West & East Property Line
Shrubs					
CS	8	Paris Bigleaf Hydrangea	<i>Hydrangea Macrophylla Paris Flapa</i>	5 Gallon 2 to 3'	Screening at West Property Line At Planting Bed
HM	9	Hortensia	<i>Hydrangea Macrophylla Endless Summer</i>	5 Gallon 2' to 3'	Screening at West Property Line At Planting Bed
LC	13	Matt Rush	<i>Lomandra Coferitifolia Wingarra</i>	5 Gallon	Screening at West Property Line At Planting Bed

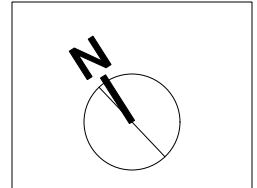
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Brighton, Massachusetts



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Proposed Landscape Plan

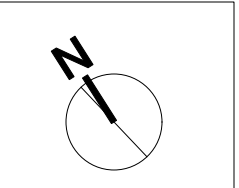
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Date: 18 December 2023

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L-1.03



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Zoning Summary

Scale: As Noted
Date: 18 December 2023

40-07

L-1.01

ZONING SUMMARY							
ZONING DISTRICT: ALLSTON / BRIGHTON NEIGHBORHOOD (ARTICLE 59) SUB DISTRICT: MULTIFAMILY RESIDENTIAL / MFR-1 OVERLAY: HISTORIC DISTRICT: ABERDEEN ARCHITECTURAL CONSERVATION DISTRICT							
DESCRIPTION	CODE REFERENCE	REQUIRED/ALLOWED	EXISTING		PROPOSED		NOTES
GENERAL							
USE	§51 TABLE D MFR-1	RESIDENTIAL USE	RESIDENTIAL USE 3 UNITS EXISTING		RESIDENTIAL BUILDING 7 UNITS PROPOSED		
LOT AREA	PARCEL 2102048000	5,141 +/- FOR 3 UNITS	5,141 +/- FOR 3 UNITS		5,141 SF (EXISTING LOT SIZE TO REMAIN)		NOTE: AS PER LOT SITE, 4 UNITS ALLOWED
GROSS FLOOR AREA (as per Zoning Definition)		5,142 SF ALLOWED PER FAR, 4000 REQUIRED FOR 3 UNITS.	+/-5,421 SF		7,223 +/- SF (REQUIRES RELIEF)		
FAR (as per Zoning Definition)	§51 TABLE D	1	1.05		1,4		
BUILDING HEIGHT	§51 TABLE D	35'					
NUMBER OF STORIES	§51 TABLE D	3	3		3		
USABLE OPEN SPACE	§51 TABLE D	200 SF/DWELLING UNIT	200 X 3= 600 SF REQUIRED 980 SF. EXISTING O.S.		200 X 7= 1,400 SF REQUIRED 1873 +/- SF. PROPOSED O.S. 255 +/- S.F. PROPOSED BALCONIES		
FRONT YARD DEPTH	§51 TABLE D •SECTION 51-50.2	20' OR CONFORMITY W/MODAL BUILDING ALIGNMENT	*SET BACK VARIES		*SET BACK VARIES		NOTE: BUILDING FOOTPRINT REMAINS UNCHANGED
SIDE YARD DEPTH	§51 TABLE D	10'	10'-0 TO 9'-8" VARIES		10'-0 TO 9'-8" VARIES		
REAR YARD DEPTH	§51 TABLE D	20'	35'-4" VARIES		35'-4" VARIES		
PARKING	§51 TABLE J	1.75 SPACE PER DWELLING REQUIRED	1.75 X 3= 5,25 6 SPACES REQUIRED		1.75 X 7= 12,25 13 SPACES REQUIRED		7 SPACES EXISTING 6 SPACES PROPOSED

42 Orchard Road

Brighton, Massachusetts



PROPOSED VIEW 1

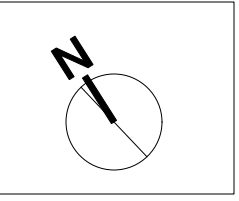
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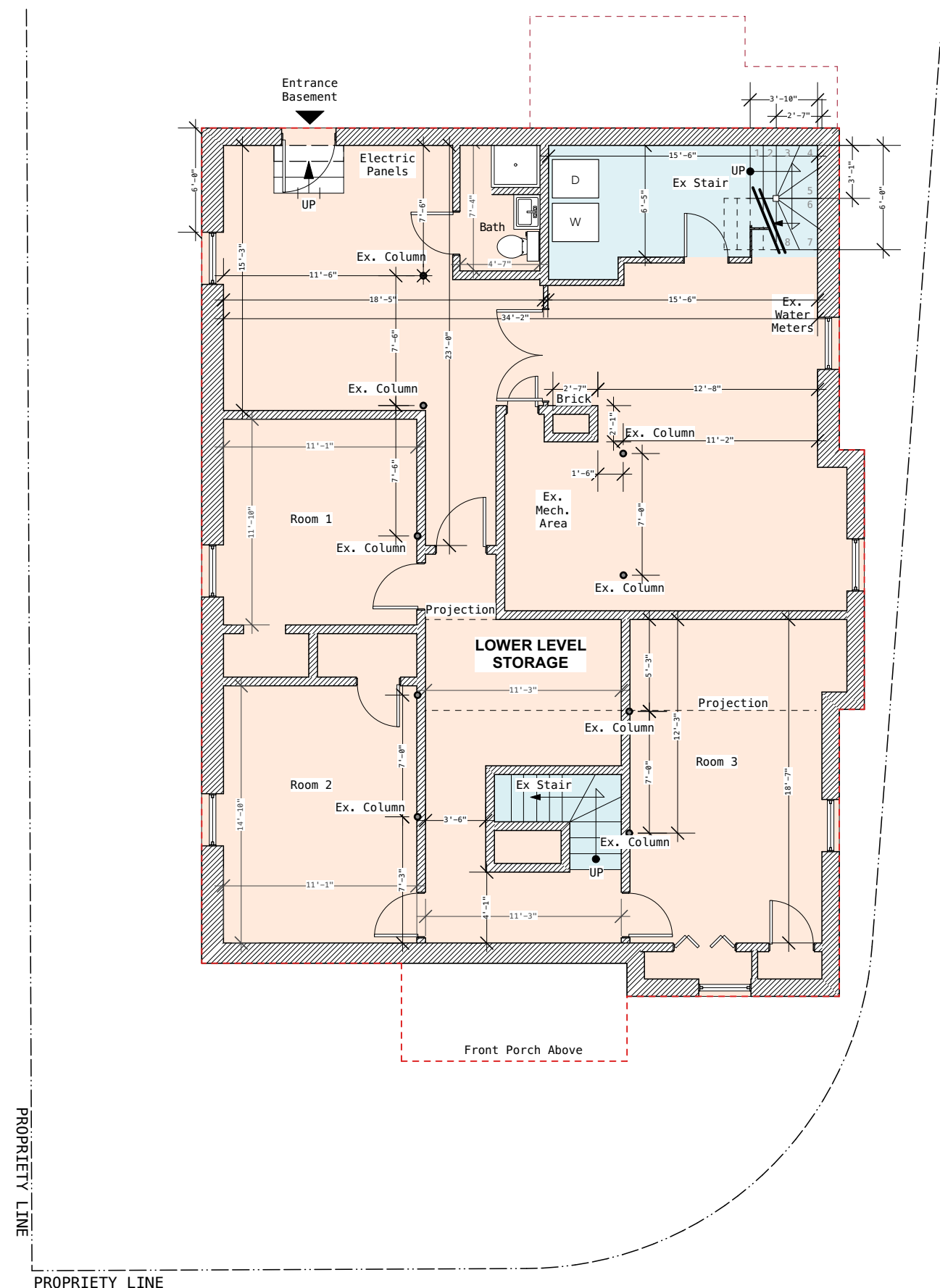


Existing Condition Lower Level & 1st Floor

Scale: As Noted
 Date: 4 December 2023

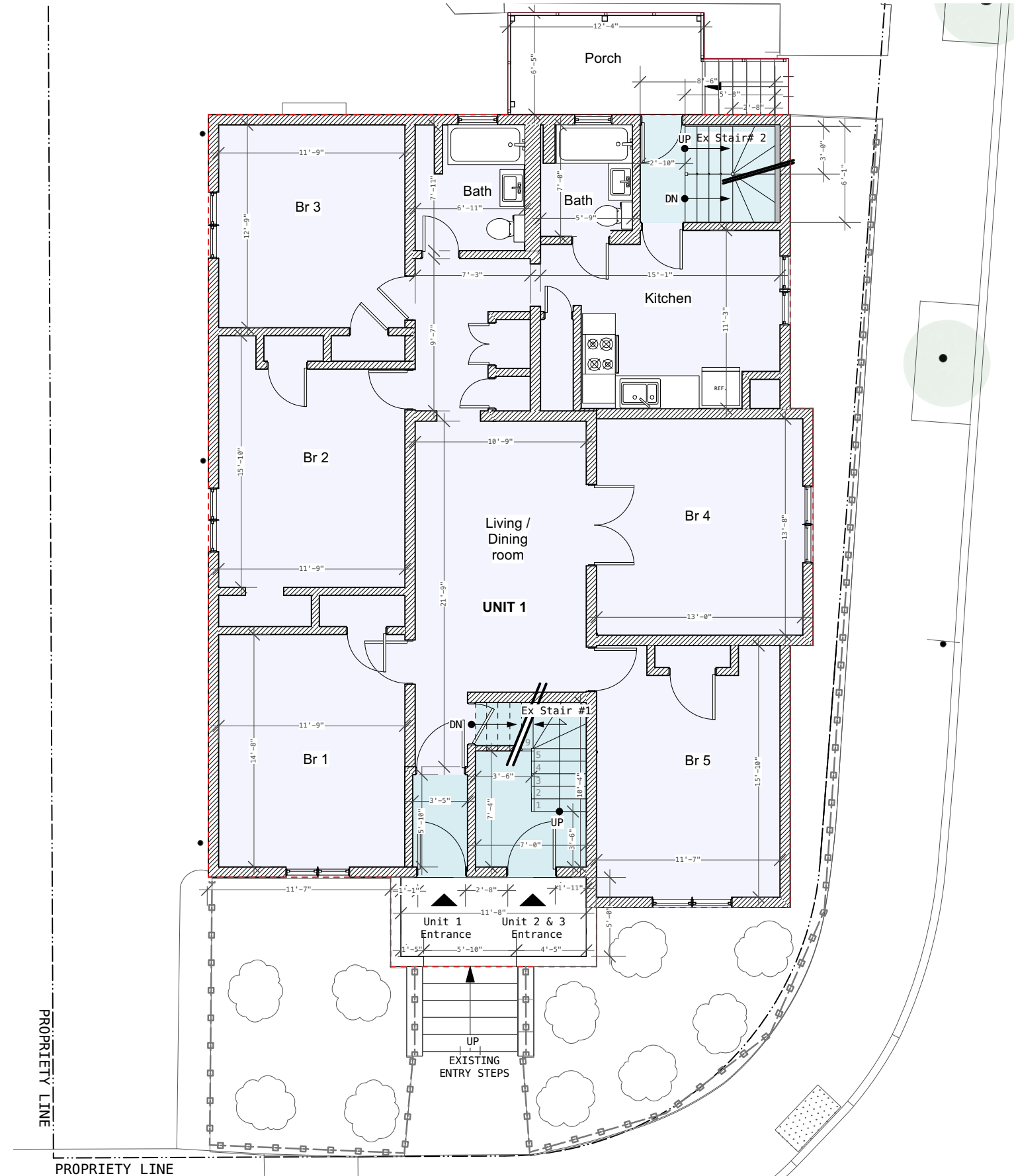
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Ex-1.00



Key Legend		Floor / # Unit	Total NET S.F.	Total Ex. GFA S.F.
	Existing Stud Wall	Lower Level / Storage	1,645 S.F.	
	New Interior Wall	First Floor / Unit 1	1,638 S.F.	1,807 S.F.
	Existing Wall to be removed	Second Floor / Unit 2	1,620 S.F.	1,807 S.F.
		Third Floor / Unit 3	1,620 S.F.	1,807 S.F.
				5,421 S.F.

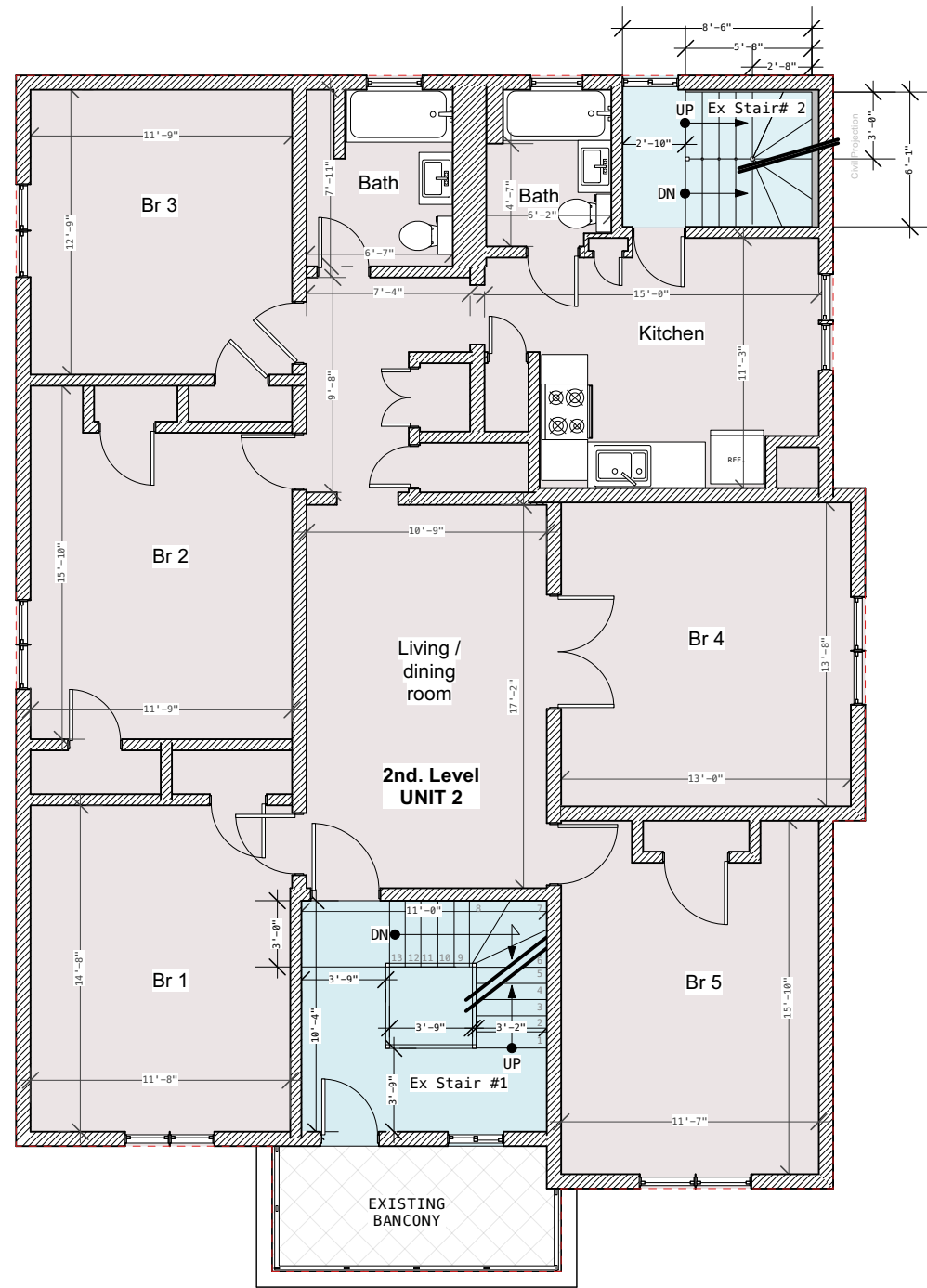
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 Scale: 1/8" = 1'-0"



10 Existing Condition First Floor
 Scale: 1/8" = 1'-0"



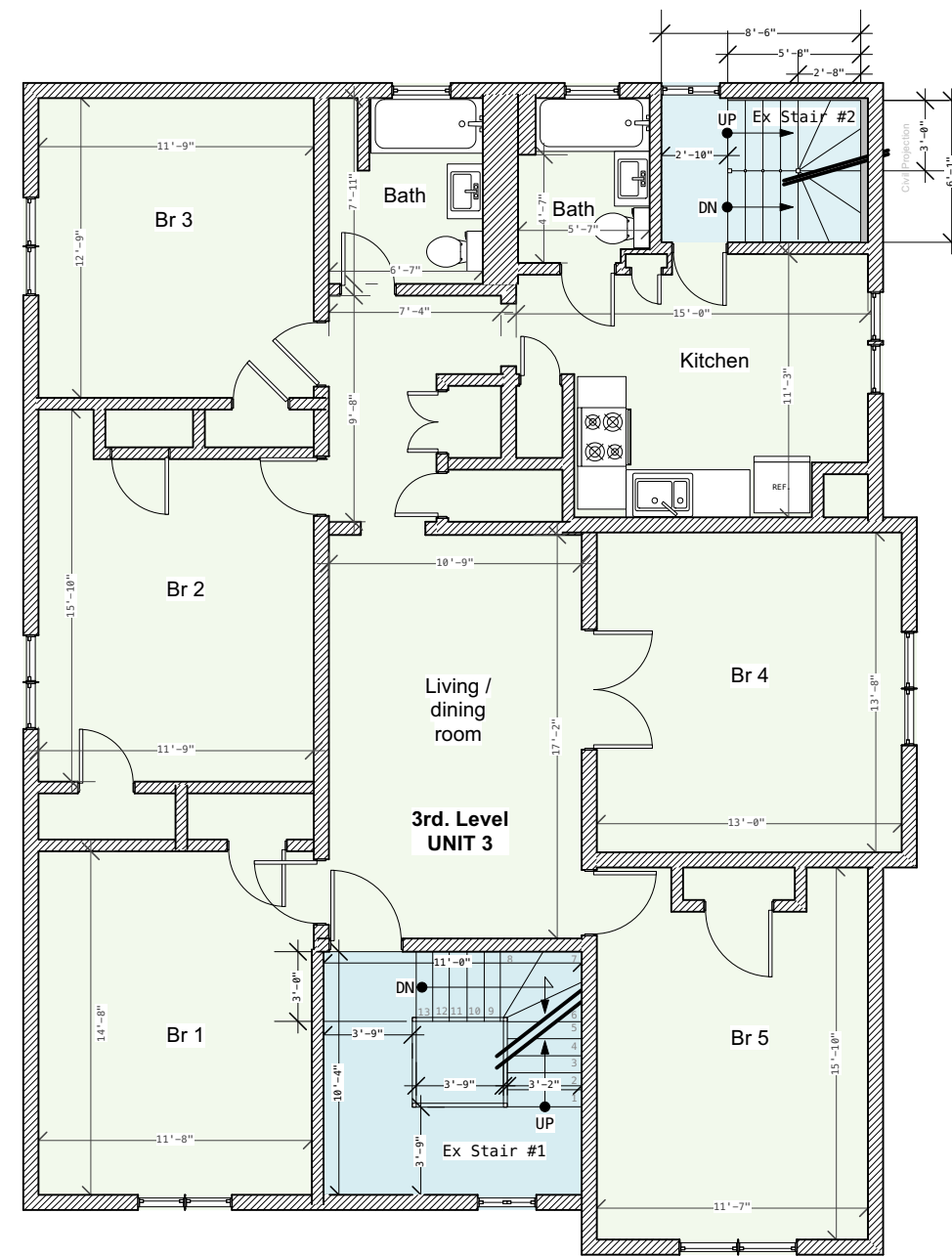
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20

Existing Condition Second Level

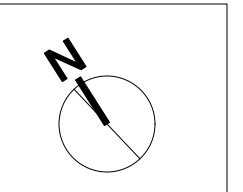
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10

Existing Condition Third Level

Scale: 1/8" = 1'-0"



Existing Condition 2nd & 3rd Floor

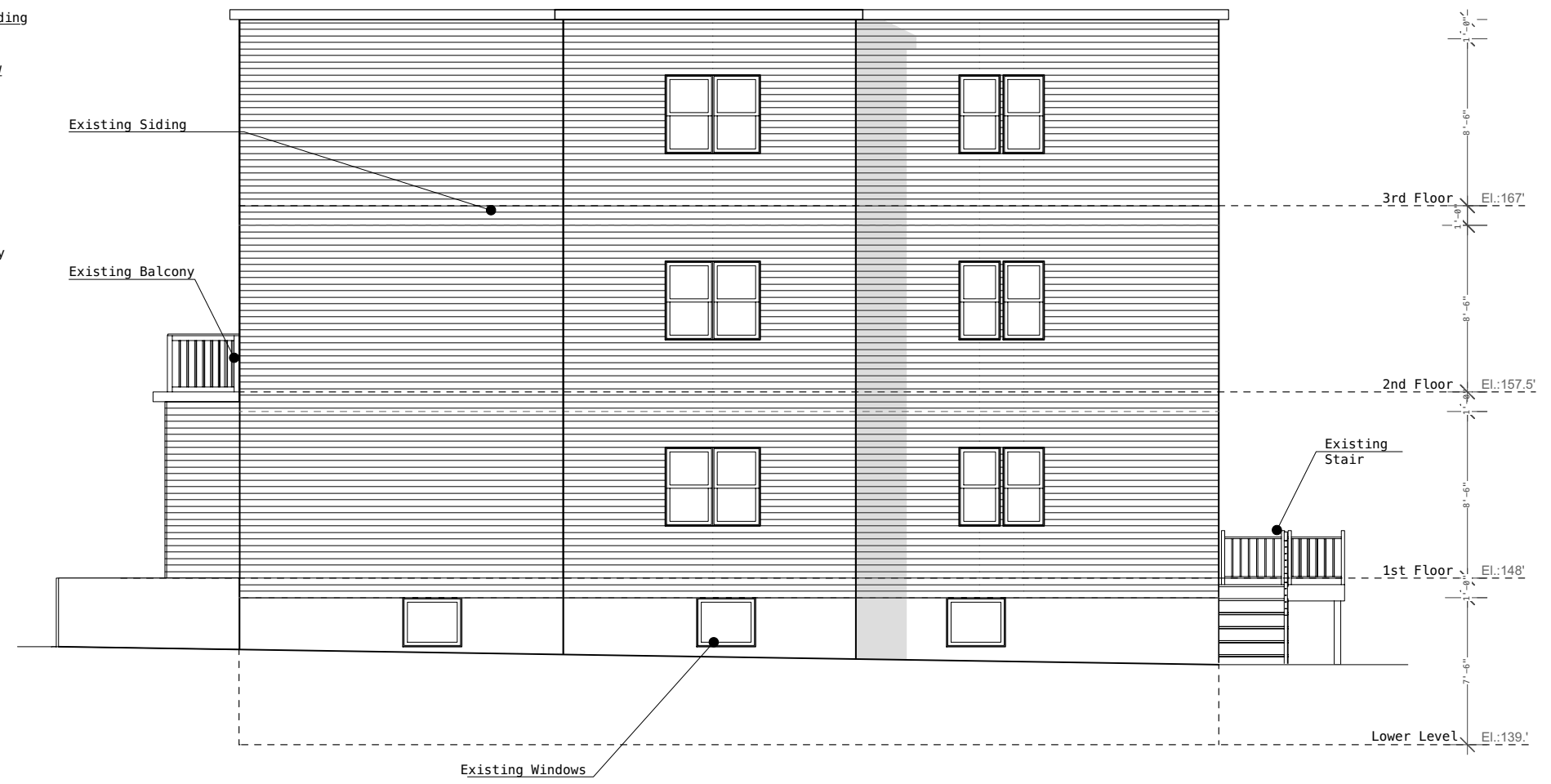
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Date: 4 December 2023

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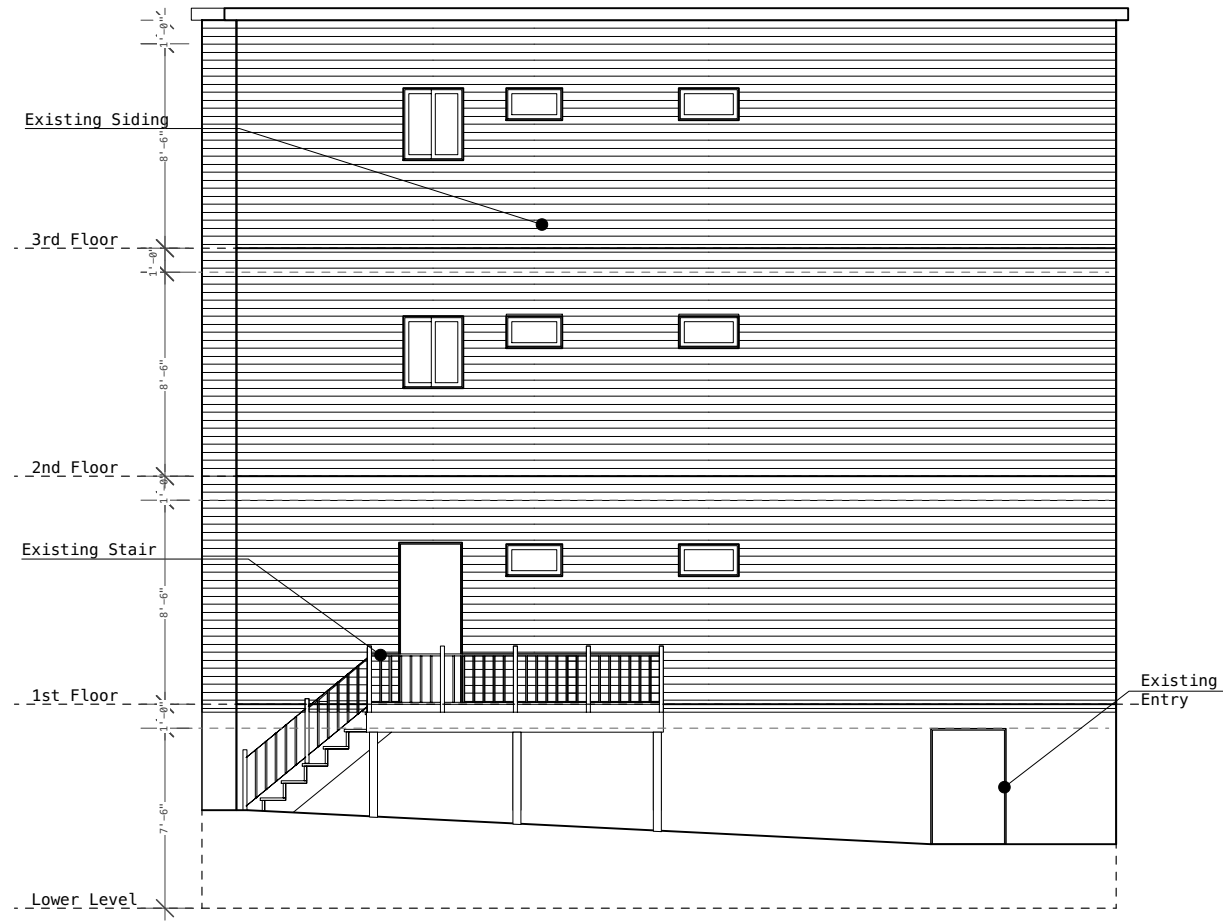
Ex-1.01



21 Existing Front Elevation / Orchard Street
Scale: 1/8" = 1'-0"



11 Existing Side Elevation / Corey Road
Scale: 1/8" = 1'-0"



20 Existing Rear Elevation
Scale: 1/8" = 1'-0"



10 Existing Side Elevation West
Scale: 1/8" = 1'-0"

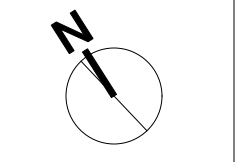
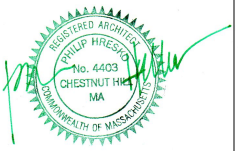
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Existing Elevations

Scale: As Noted
Date: 4 December 2023

40-07

Ex-2.01

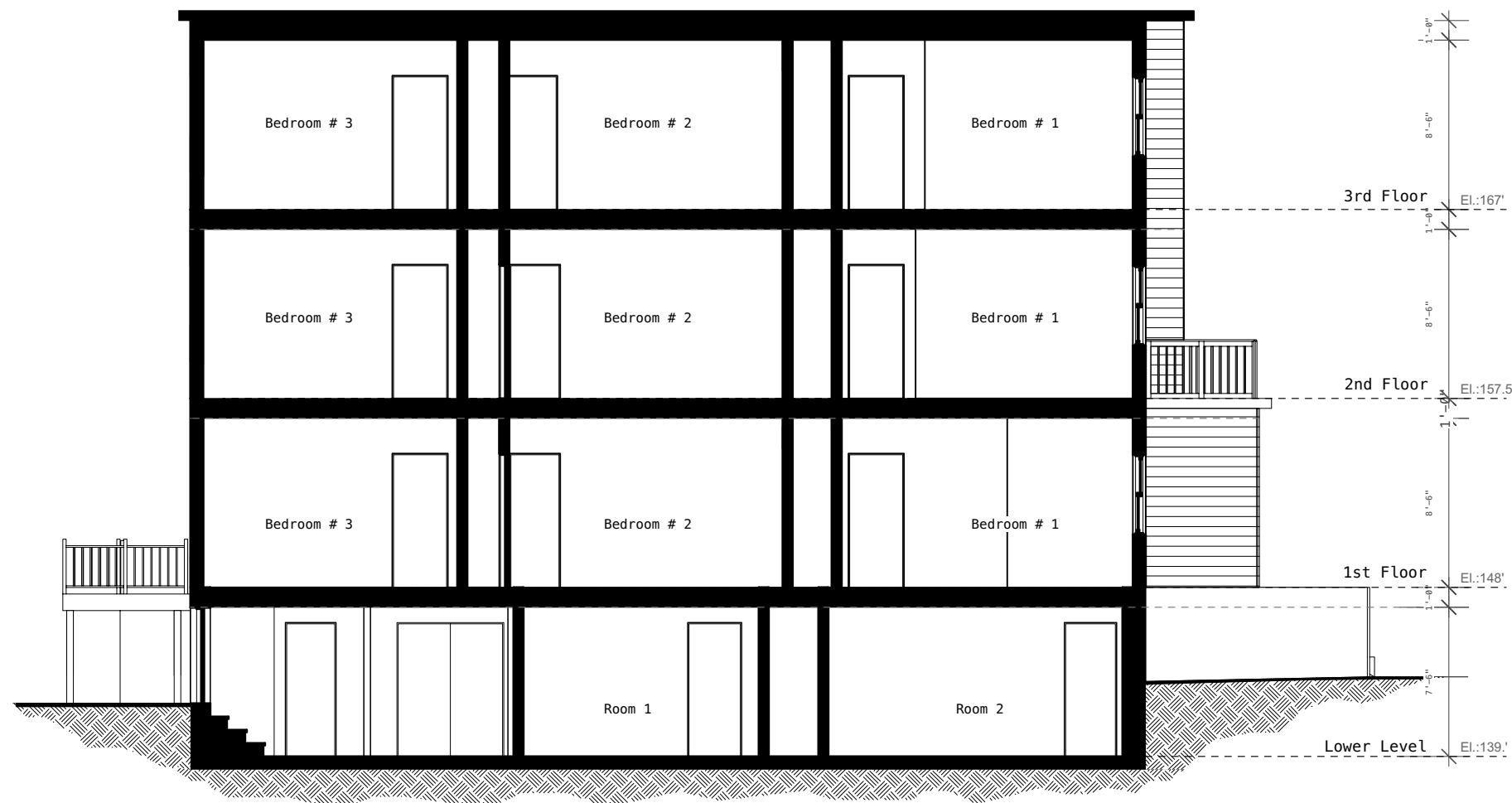
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10 Existing Side Elevation West
Scale: 1/8" = 1'-0"

Existing Section

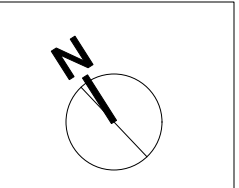
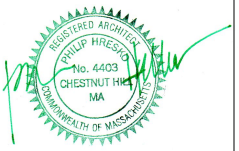
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Date: 4 December 2023

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Ex-3.00



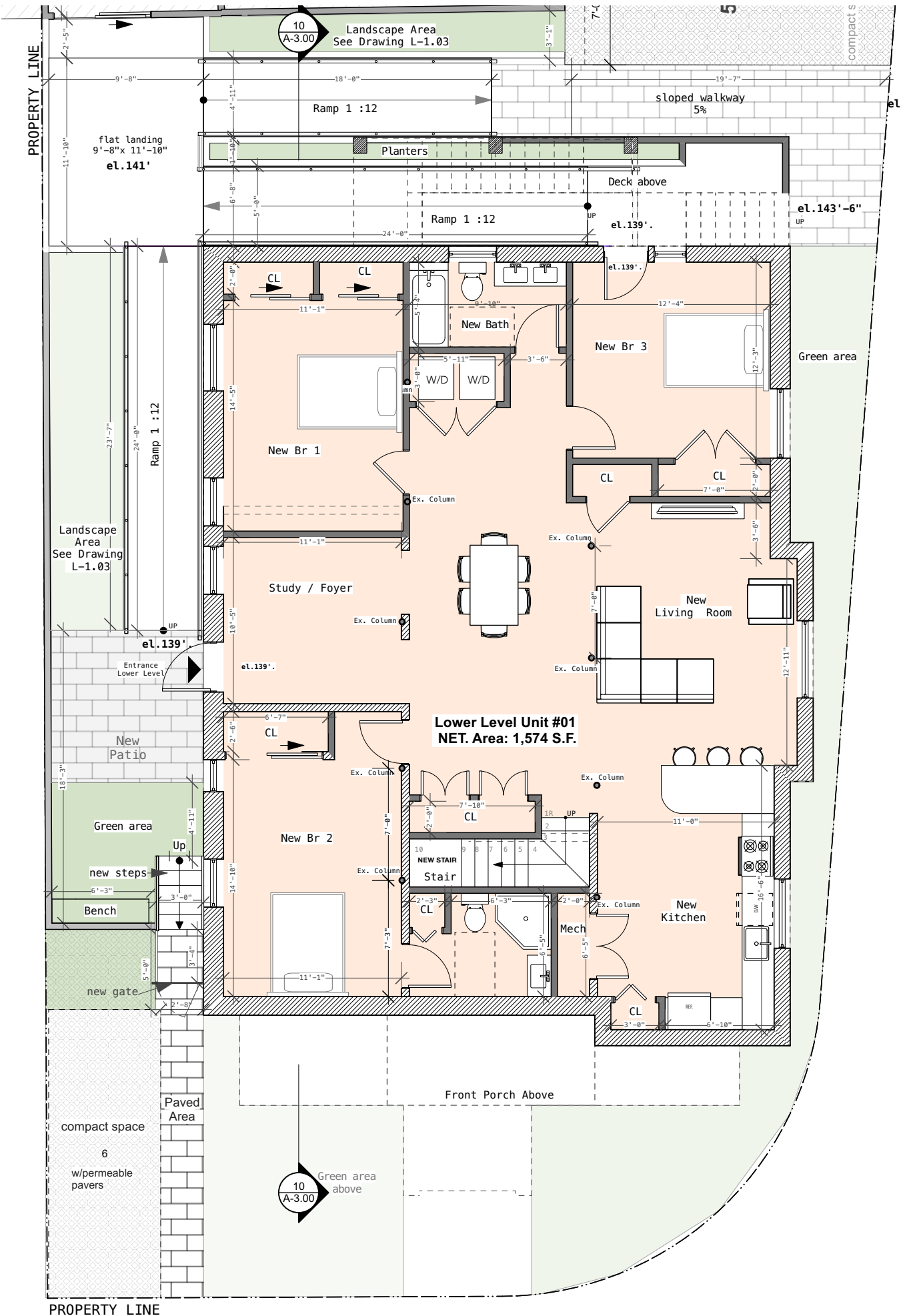
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Proposed Lower Level & 1st Floor

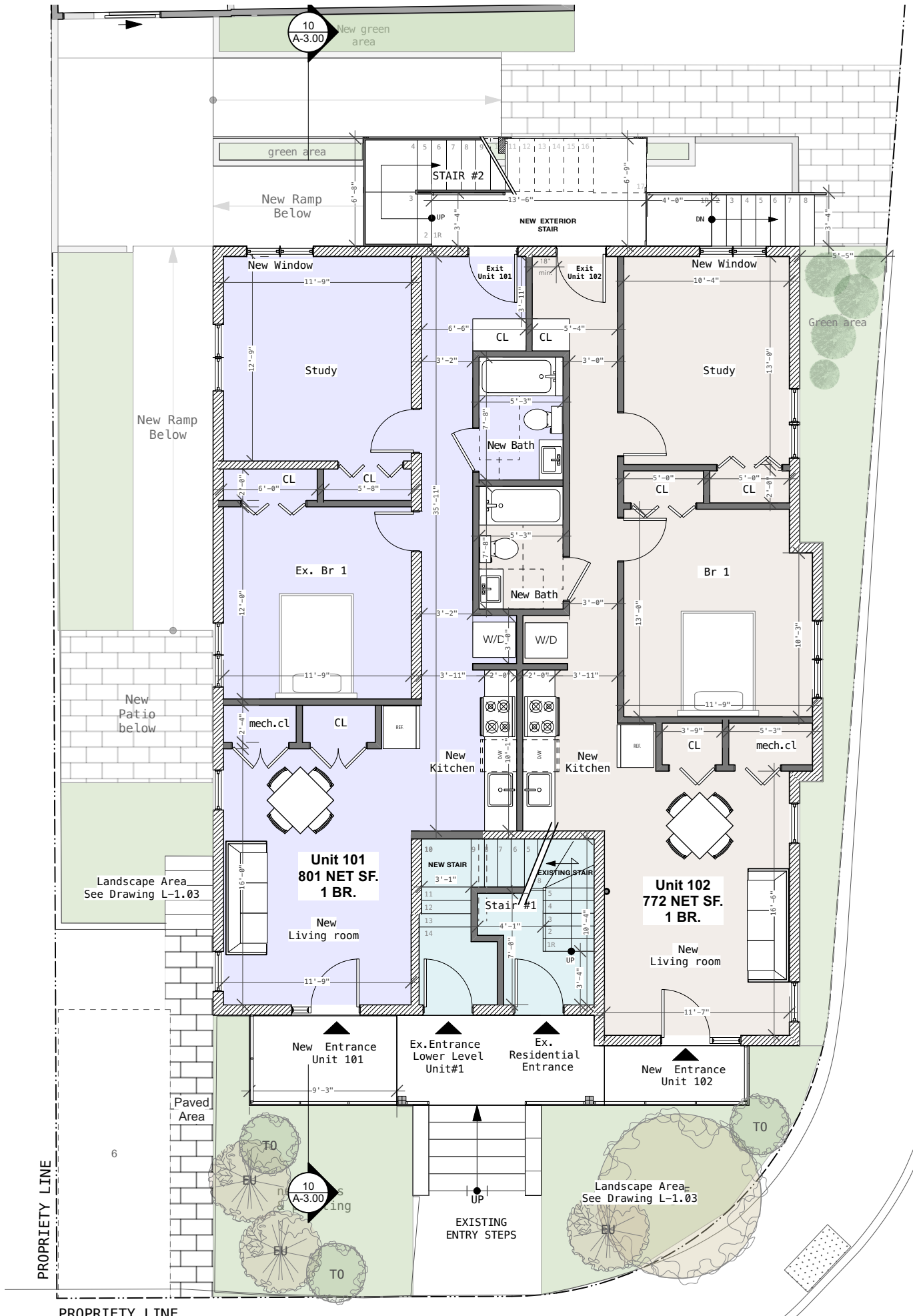
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Date: 18 December 2023

40-07



20 Proposed Lower Level
Scale: 1/8" = 1'-0"

Floor / # Unit	Total NET S.F.	Gross Floor Area(GFA) S.F.	Total GFA S.F.	Bedroom
Lower Level / Unit #1	1,574 S.F.	1,807 S.F.	1,807 S.F.	3 Br
1st Floor/ Unit 101	799 S.F.	849 S.F.		1 Br
1st Floor/ Unit 102	775 S.F.	828 S.F.		1 Br
1st Floor Stairs		130 S.F.		
1st Floor Area			1,807 S.F.	



10 Proposed First floor
Scale: 1/8" = 1'-0"

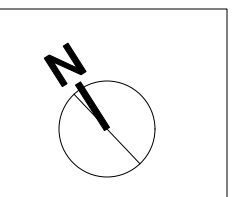
Key Legend

	Existing Stud Wall
	New Interior Wall
	Existing Wall to be removed

21 A-2.00



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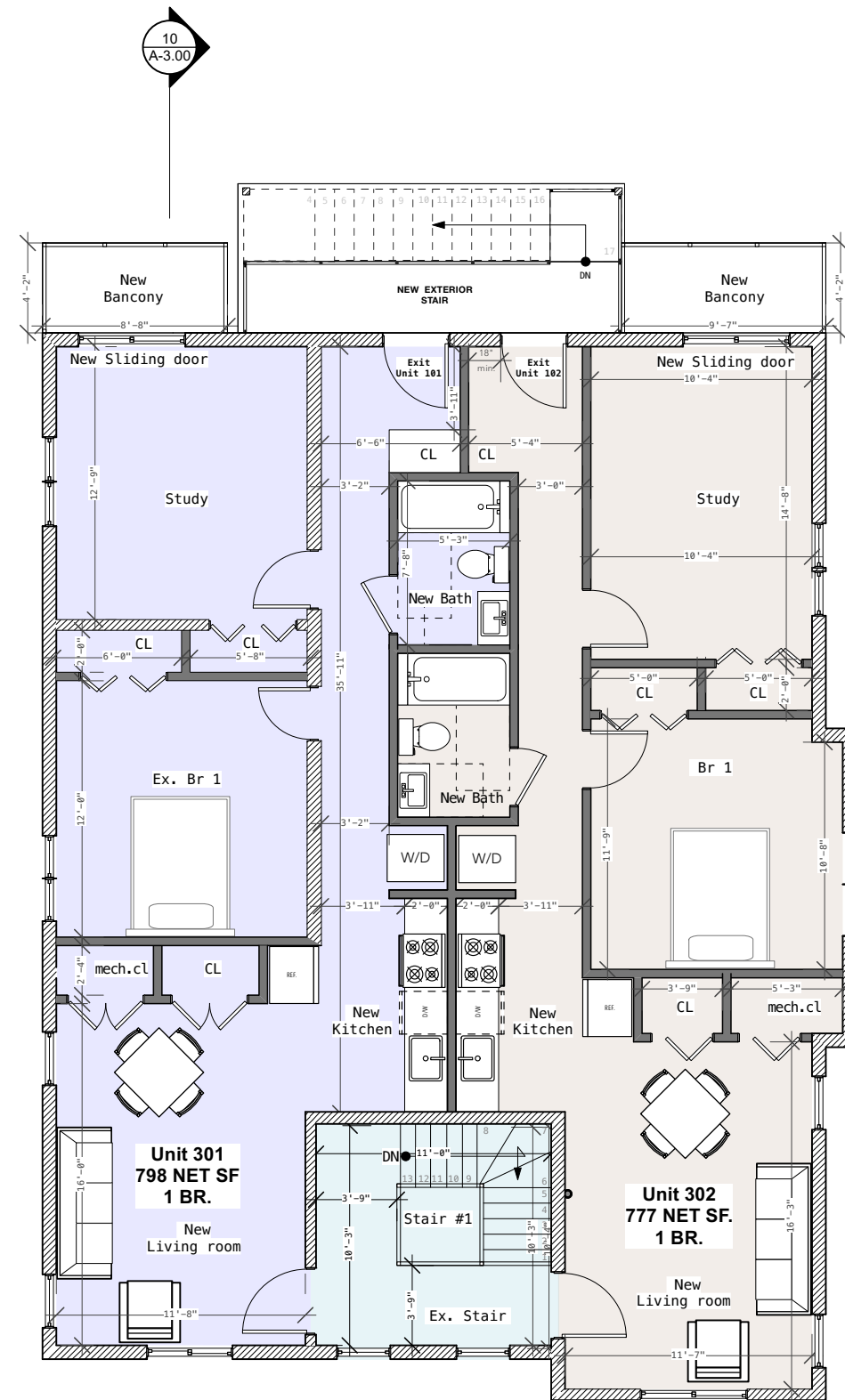


Proposed 2nd & 3rd Floor

Scale: As Noted
 Date: 18 December 2023

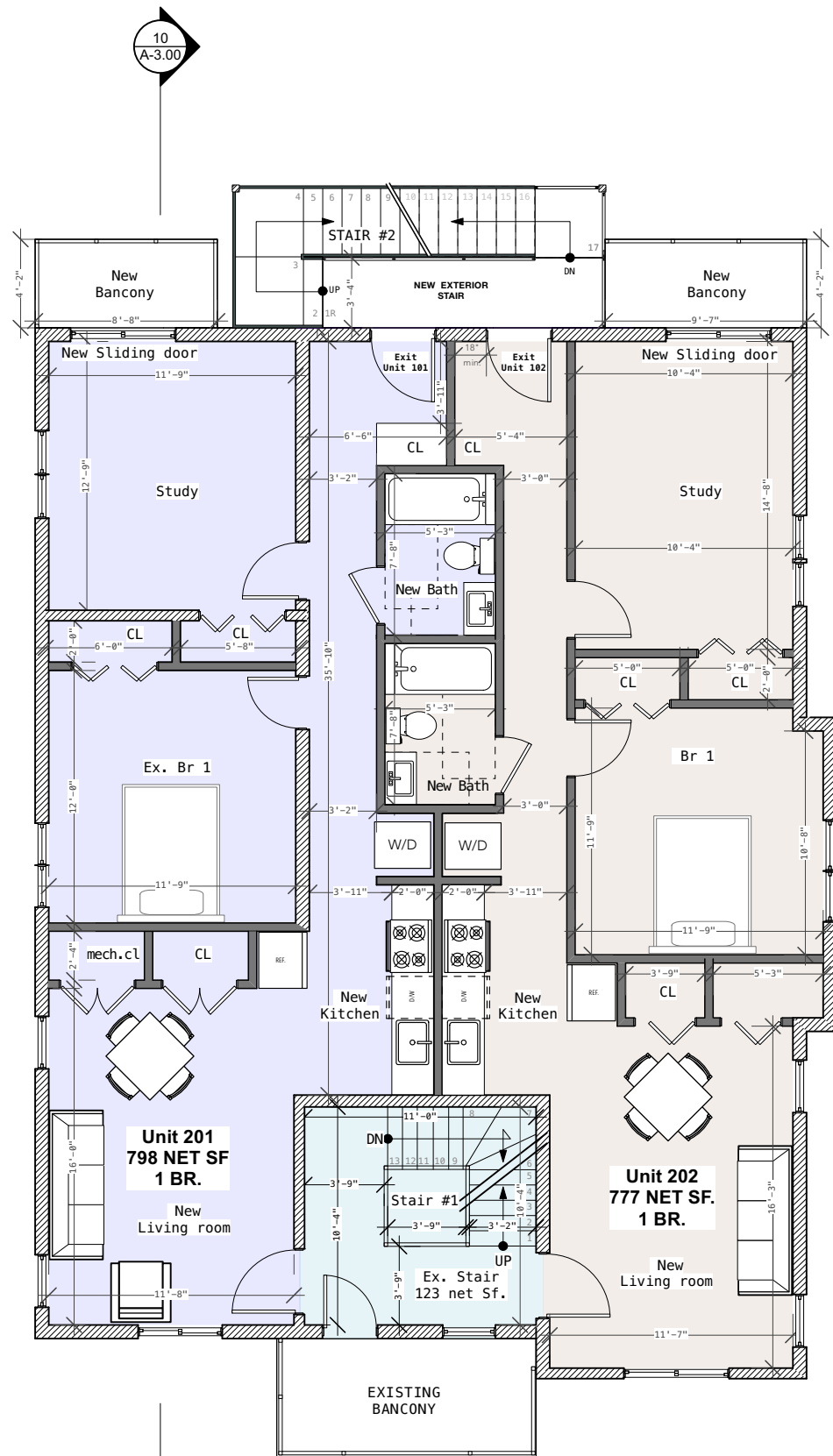
40-07

Key Legend	
	Existing Stud Wall
	New Interior Wall
	Existing Wall to be removed



10 Proposed Third floor
 Scale: 1/8" = 1'-0"

Floor / # Unit	Total NET S.F.	Gross Floor Area(GFA) S.F.	Total GFA S.F.	Bedroom
2nd Floor Stair		131 S.F.		
2nd Floor/ Unit 201	798 S.F.	848 S.F.		1 Br
2nd Floor/ Unit 202	777 S.F.	828 S.F.		1 Br
2nd Floor Area			1,807 S.F.	
3rd Floor Stair		131 S.F.		
3rd Floor/ Unit 301	798 S.F.	848 S.F.		1 Br
3rd Floor/ Unit 302	777 S.F.	828 S.F.		1 Br
3rd Floor Area			1,807 S.F.	



20 Proposed Second Level
 Scale: 1/8" = 1'-0"

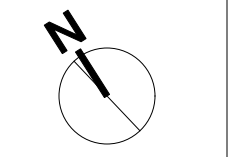
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Proposed Elevations

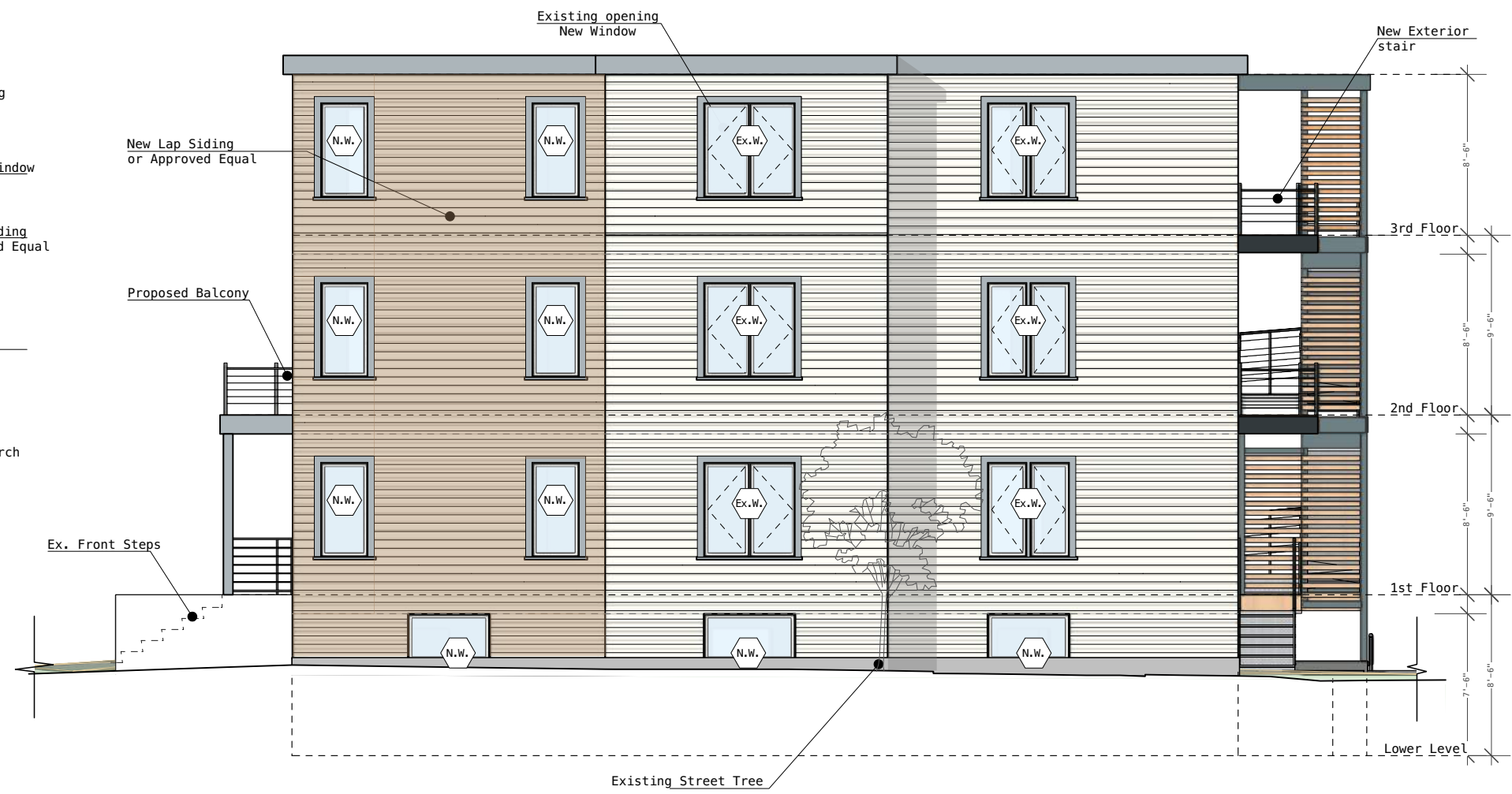
Scale: As Noted
Date: 18 December 2023

40-07

A-2.00



21 Orchard Street Elevation
Scale: 1/8" = 1'-0"



11 Corey Road Elevation
Scale: 1/8" = 1'-0"



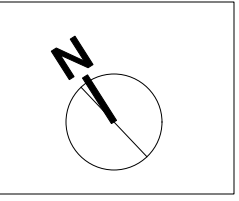
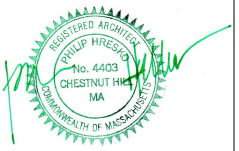
20 Rear Elevation
Scale: 1/8" = 1'-0"



10 Side Elevation
Scale: 1/8" = 1'-0"



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Proposed Side Elevations

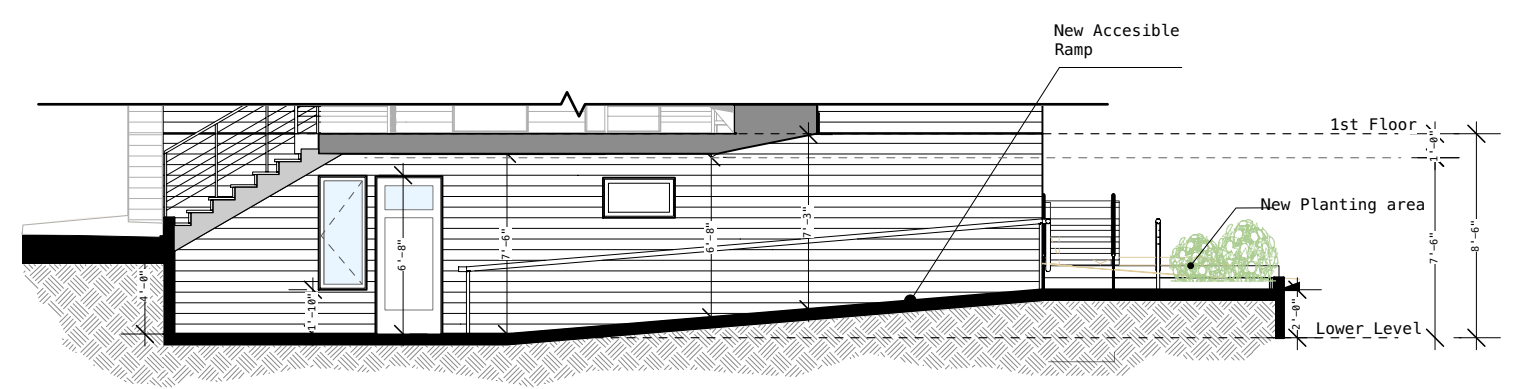
Scale: As Noted
Date: 18 December 2023

40-07

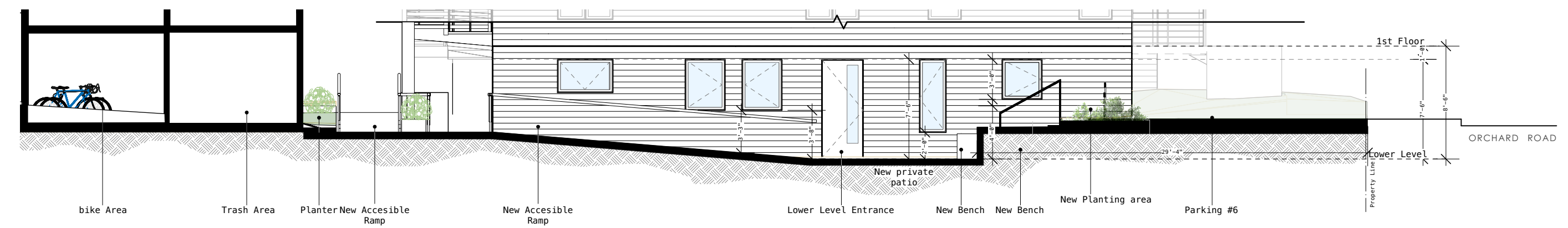
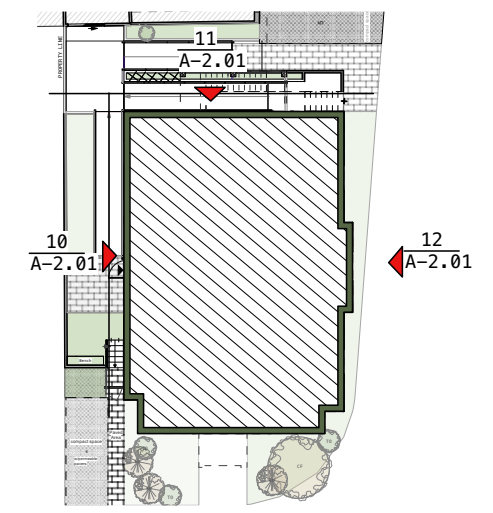
A-2.01



12 Corey Road Elevation
Scale: 1/8" = 1'-0"



11 New Garden Level Ext. Elevation Rear Ramp Detail
Scale: 1/8" = 1'-0"



10 Garden Level Side Elevation -Ramp View
Scale: 1/8" = 1'-0"

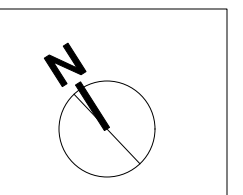
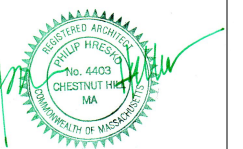
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Orchard Road

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Proposed Section

Scale: As Noted
Date: 18 December 2023

40-07

A-3.00



10 Section B-B'
Scale: 1/8" = 1'-0"



4 Accessible Paths View
Scale: 1/8" = 1'-0"



2 Rear Stair- Parking View
Scale: 1/8" = 1'-0"



3 Garden Level Entrance View
Scale: 1/8" = 1'-0"



1 Private Patio View- Garden Level
Scale: 1/8" = 1'-0"



WOOD VENEER CEILING
WIRE RAILING



PLANTERS AND LANDSCAPE REFERENCES



HORIZONTAL WOODEN SCREEN SLATS



HORIZONTAL WOODEN SCREEN FENCE
& BUILT IN BENCH PART OF LANDSCAPE



GRASSCRETE PAVERS

Square Feet Calculation

Floor	Units	1BR	3BR	Circulation Stairs+Walls (SF)	Unit Net Area (SF)	Floor GFA (SF)
Lower Level	#01		1	233	1,574	1,807
1st	#101	1		234	801	1,807
	#102	1			772	
2nd	#201	1		232	798	1,807
	#202	1			777	
3rd	#301	1		232	798	1,807
	#302	1			777	
Total	7	6	1	931	6,297	7,228

BR COUNT

	Units	BR'S per Unit	Total Bedroom Count
Existing	3	5 BR	15 BR's
Proposed	6	(6) 1 BR (1) 3 BR	9 BR's



EXTERIOR & INTERIOR REMODEL
W/CONTEMPORARY DESIGN ELEMENTS
& ENERGY EFFICIENCY



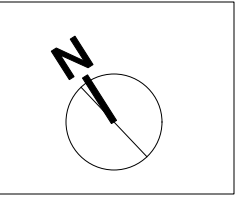
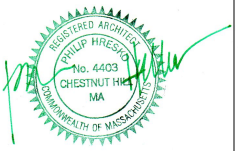
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Project Summary

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A-4.00