

DRAWING LIST

A0.0 COVER SHEET

Architectural

- A0.1 GENERAL NOTES
- A1.0 SCOPE OF WORK
- A1.1 PROPOSED DECK

Grand total: 4

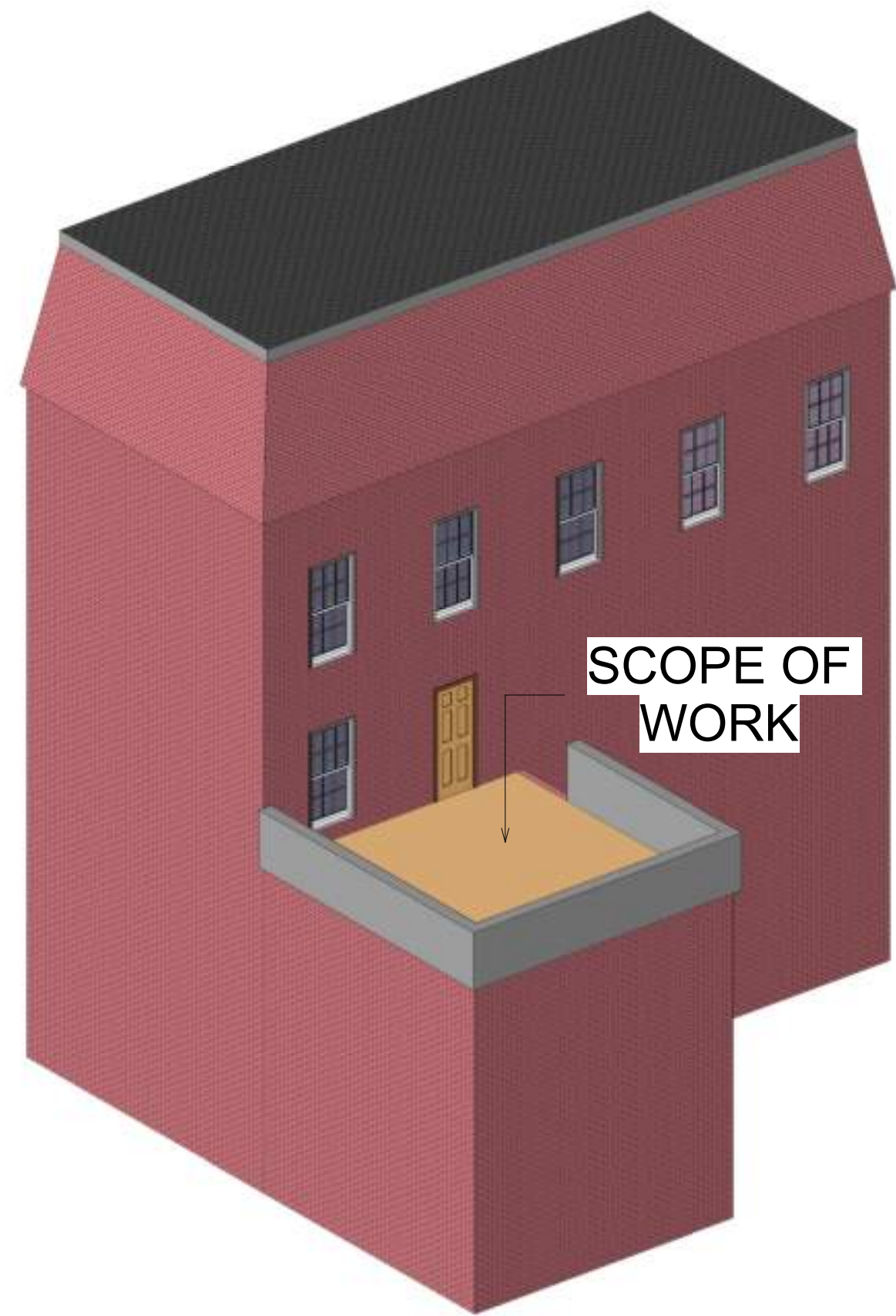


150 CHANDLER STREET UNIT 5

BOSTON, MA, 02116

ROOF DECK REPAIR PERMIT DRAWINGS

**ROOF DECK REPLACEMENT
 150 CHANDLER STREET
 BOSTON, MA, 02116**



AXON VIEW FOR REFERENCE ONLY



SCOPE OF WORK
 REPLACE EXISTING ROOF DECK WITH NEW TIMBERTECH FLOOR BOARDS. EXISTING ROOF STRUCTURE TO REMAIN. PROPOSED ROOF DECK TO MATCH EXISTING SIZE. NO CHANGE TO EXTERIOR WALLS, TRIM, OR FINISH. REPAIR EXISTING RUBBER ROOF FOR LEAKS. EXISTING PRIVACY WALL TO REMAIN. NO CHANGE TO BRICK WORK OR FACADE ALTERATION. PROPOSED DECK WILL NOT BE VISIBLE FROM STREET



No.	Description	Date

Scale:
 Date: 12/10/24
 Drawn By: SLHG

Drawing Name
COVER SHEET

Sheet No.
A0.0

GENERAL CONSTRUCTION NOTES

1. ALL WORK SHALL CONFORM TO MASSACHUSETTS BUILDING CODE AND ALL APPLICABLE FEDERAL, STATE, & TOWN LAWS, ORDINANCES, CODES, AND REGULATIONS.
2. ALL EXISTING CONDITIONS MUST BE VERIFIED IN FIELD. CONTRACTOR IS TO STOP WORK AND IMMEDIATELY INFORM ARCHITECT AND STRUCTURAL ENGINEER UPON DISCOVERY OF ANY SIGNIFICANT & CONSEQUENTIAL DISCREPANCY BETWEEN EXISTING CONDITIONS AND DESIGN DRAWINGS.
3. DISCREPANCIES OR CONFLICTS BETWEEN ARCHITECTS AND STRUCTURAL ENGINEER'S DRAWINGS - SHOULD THEY BE FOUND TO EXIST - ARE NOT TO BE RESOLVED BY EITHER ARCHITECT NOR ENGINEER ALONE. CONTRACTOR IS INSTEAD TO STOP WORK AND NOTIFY BOTH ARCHITECT AND ENGINEER OF CONFLICT AT ONCE. PROCEEDING ONLY ONCE BOTH PARTIES HAVE APPROVE A COMMON RESOLUTION. SIMILARLY, CONTRACTOR SHALL NOT PROCEED WITH ANY WORK DISCOVERED TO BE IN CONFLICT. (I.E. WORK DESCRIBED BY EITHER ARCHITECT OR ENGINEER THAT CANNOT BE PRACTICABLY CONSTRUCTED IN UNISON WITH OTHER DESCRIBED WORK.)
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULING AND WORK OF ALL TRADES.
5. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF THE WORK. THIS INCLUDES BUT IS NOT LIMITED TO BRACINGS AND SHORINGS.
6. THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
7. ALL WORK SHALL BE PERFORMED IN A FIRST-CLASS AND WORKMANLIKE MANNER IN CONFORMITY WITH THE SPECIFICATIONS DRAWINGS & DOCUMENTS AND SHALL BE IN GOOD USABLE CONDITION AT THE COMPLETION OF THE WORK.
8. PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL VISIT THE SITE AND INDEPENDENTLY VERIFY EXISTING CONDITIONS AND QUANTITIES. NO CLAIM AGAINST THE OWNER OR ENGINEER WILL BE ALLOWED FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.
9. THE CONTRACTOR SHALL FIELD-VERIFY ALL EXISTING CONDITIONS INCLUDING UTILITY LOCATIONS, ELECTRICAL PANEL LOCATIONS, BEARING WALL LOCATIONS, AND OTHER RELEVANT INFORMATION PRIOR TO START OF THE WORK.

STRUCTURAL NOTES




1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS. STRUCTURAL DRAWING DIMENSIONS ARE TAKEN FROM FACE OF STRUCTURAL MEMBER U.N.O.
2. ALL LOADS AND LOADING CONDITIONS ARE TO ACCORD WITH INTERNATIONAL CODE COUNCIL INTERNATIONAL RESIDENTIAL CODE AND MASSACHUSETTS BUILDING CODE 9TH EDITION.
3. CONTRACTOR SHALL STOP WORK AND IMMEDIATELY INFORM ARCHITECT UPON DISCOVERY OF ANY CONFLICT BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS.
4. ALL DIMENSIONAL LUMBER MUST BE OF CONSTRUCTION GRADE OR BETTER.

LIFE SAFETY LEGEND

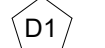
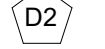
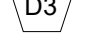
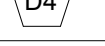
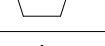
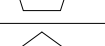
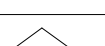
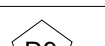

SYMBOL	DESCRIPTION
(SD)	CEILING SURFACE-MOUNTED COMBINED SMOKE & CARBON MONOXIDE DETECTOR W/ AUDIO/VISUAL ALARM, HARD-WIRED

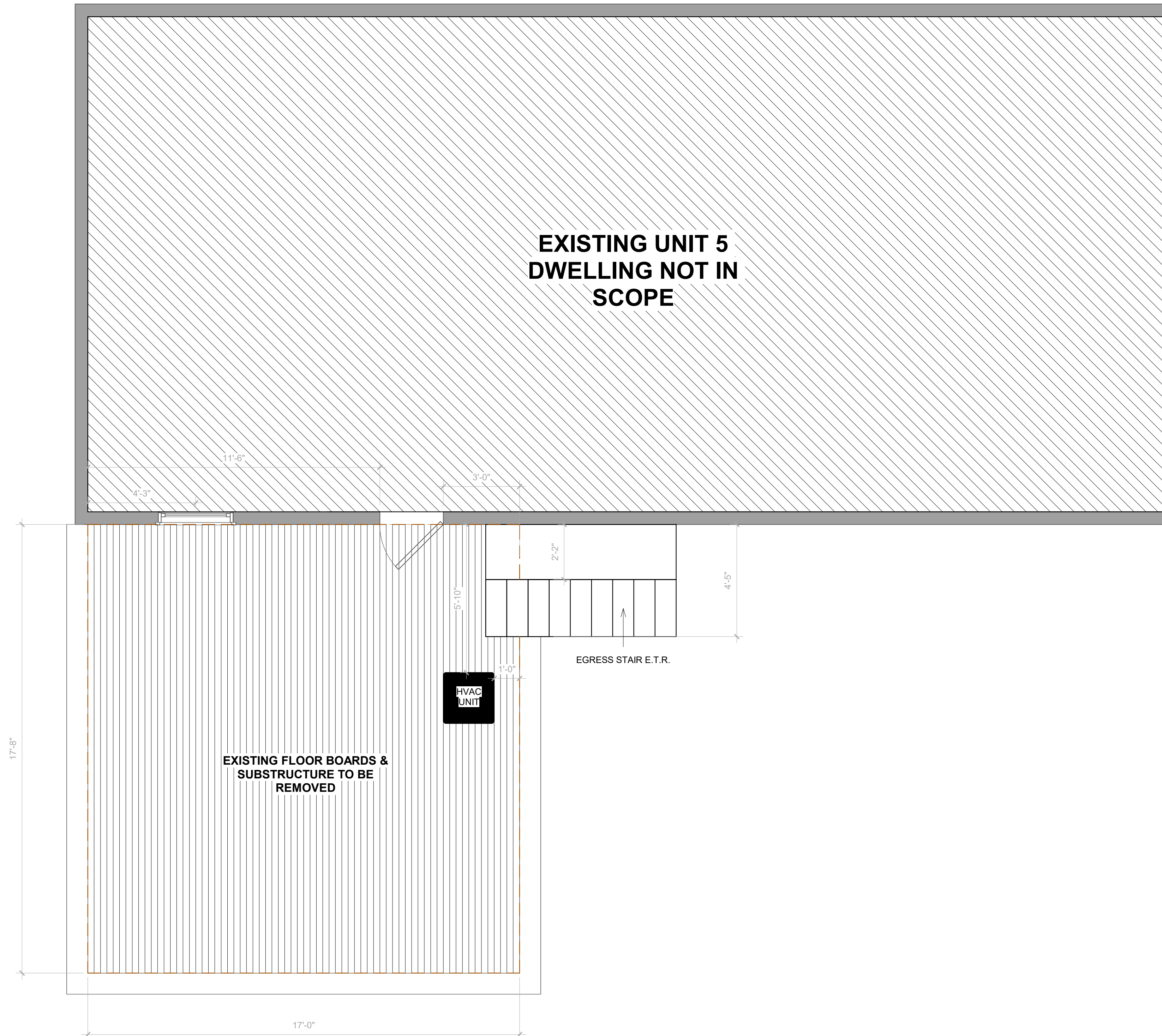
NOTE: DEVICES TO COMPLY W/ NFPA RULE 72®, MOST CURRENT EDITION

PHASING LEGEND

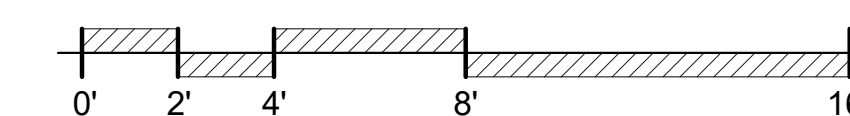
	EXISTING TO REMAIN
	NEW
	TO BE DEMOLISHED

DEMOLITION LEGEND

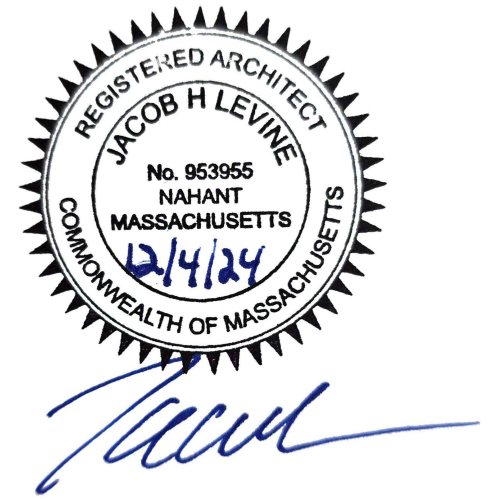
DEMOLITION LEGEND	
	DEMOLISH EXISTING WALL
	REMOVE EXISTING DOOR, HARDWARE AND FRAME
	REMOVE EXISTING WINDOW, HARDWARE AND FRAME
	DEMOLISH EXISTING DECK AS NEEDED
	REMOVE EXISTING FLOOR AND FLOOR STRUCTURE AS REQ.
	DEMOLISH EXISTING STAIR
	REMOVE EXISTING PLUMBING FIXTURES
	REMOVE CABINETS & COUNTERTOPS
	(RESERVED)



1 EXISTING UNIT 5 DECK FLOOR
A1.0 3/8" = 1'-0"



ROOF DECK REPLACEMENT
150 CHANDLER STREET
BOSTON, MA, 02116



No.	Description	Date

Scale: As indicated
Date: 12/10/24
Drawn By: SLHG

Drawing Name
SCOPE OF WORK

Sheet No.
A1.0

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LIFE SAFETY LEGEND

SYMBOL	DESCRIPTION
(SD)	CEILING SURFACE-MOUNTED COMBINED SMOKE & CARBON MONOXIDE DETECTOR W/ AUDIO/VISUAL ALARM, HARD-WIRED

NOTE: DEVICES TO COMPLY W/ NFPA RULE 720, MOST CURRENT EDITION

PHASING LEGEND

	EXISTING TO REMAIN
	NEW
	TO BE DEMOLISHED

DEMOLITION LEGEND

SYMBOL	DESCRIPTION
(D1)	DEMOLISH EXISTING WALL
(D2)	REMOVE EXISTING DOOR, HARDWARE AND FRAME
(D3)	REMOVE EXISTING WINDOW, HARDWARE AND FRAME
(D4)	DEMOLISH EXISTING DECK AS NEEDED
(D5)	REMOVE EXISTING FLOOR AND FLOOR STRUCTURE AS REQ.
(D6)	DEMOLISH EXISTING STAIR
(D7)	REMOVE EXISTING PLUMBING FIXTURES
(D8)	REMOVE CABINETS & COUNTERTOPS
(D9)	(RESERVED)

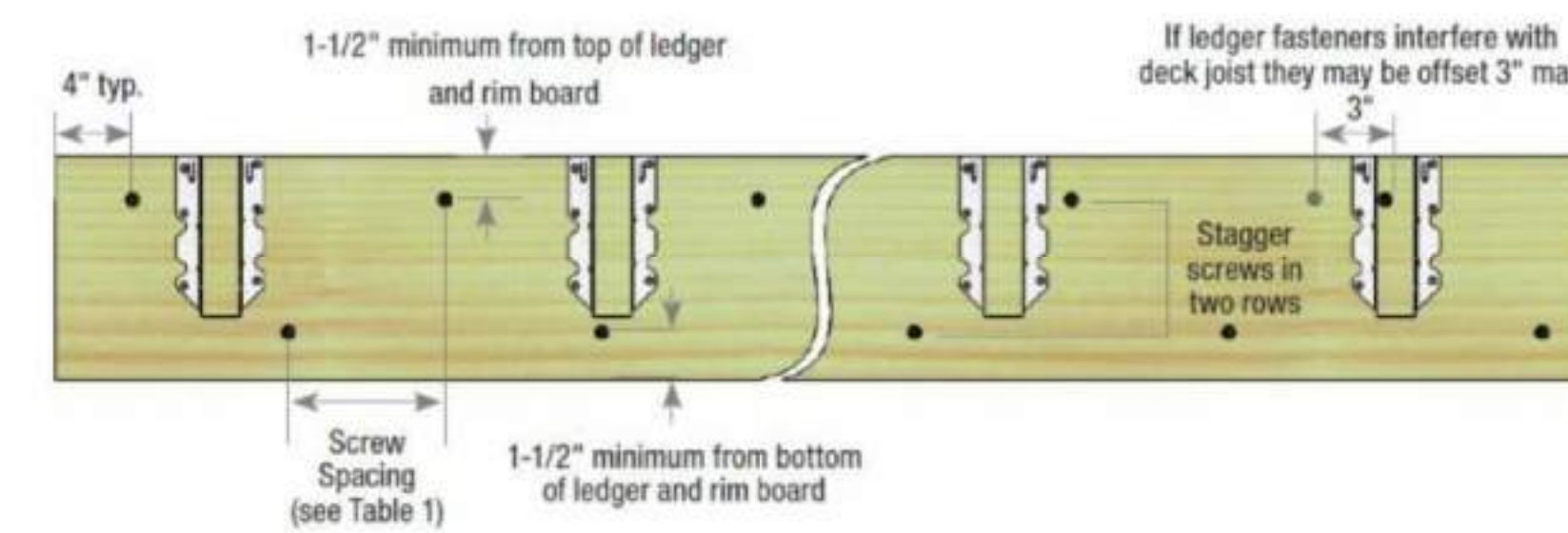
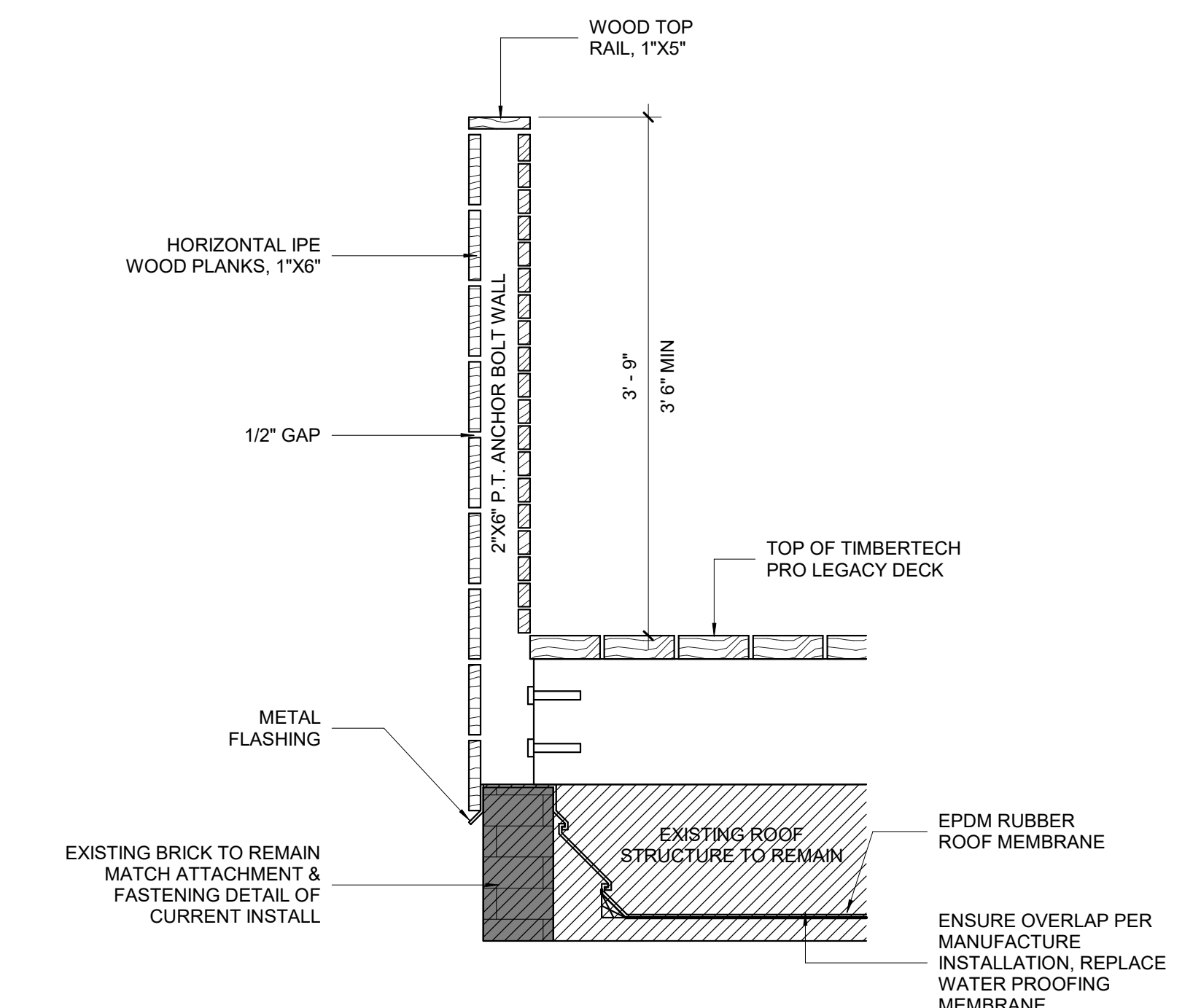
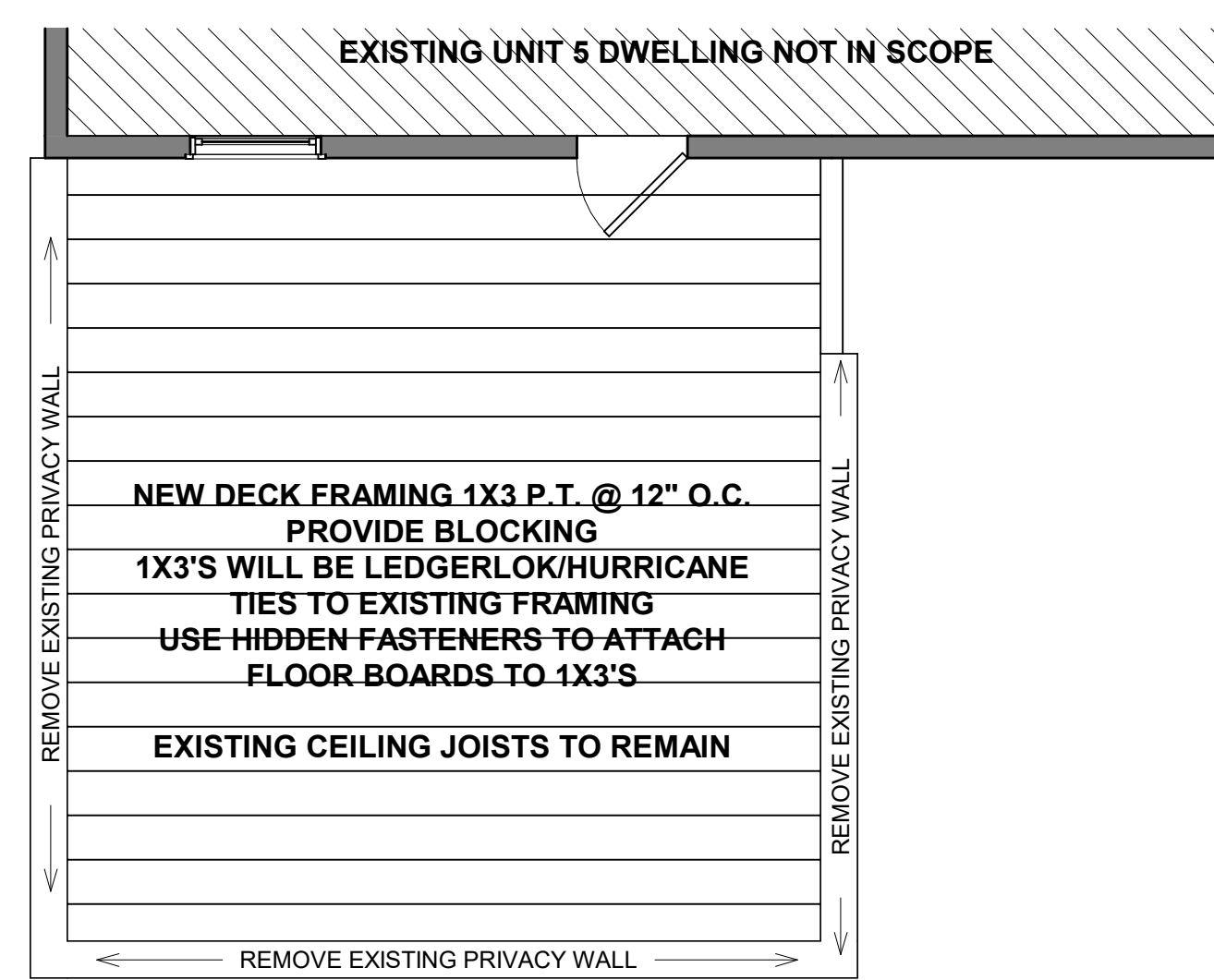


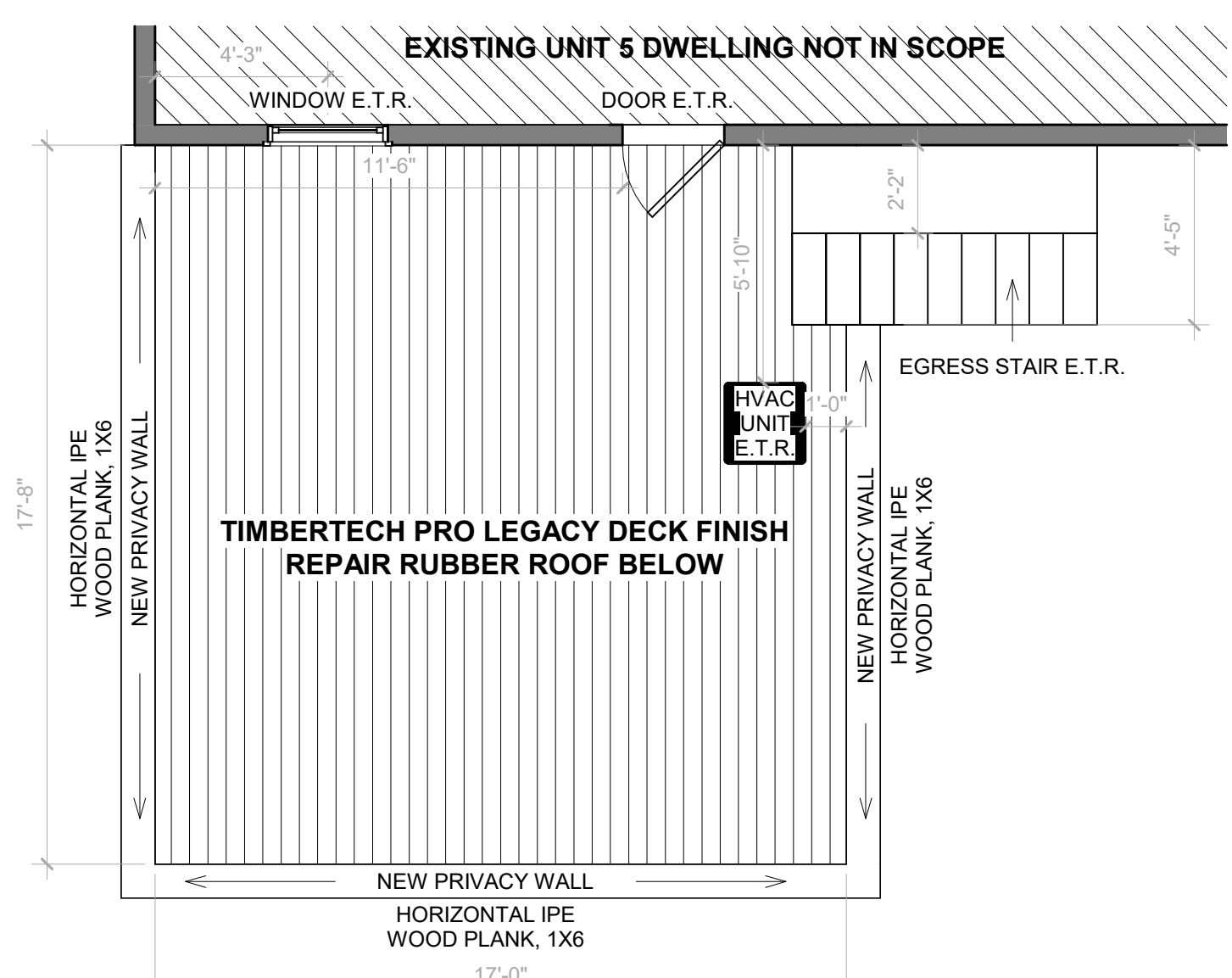
Figure 1



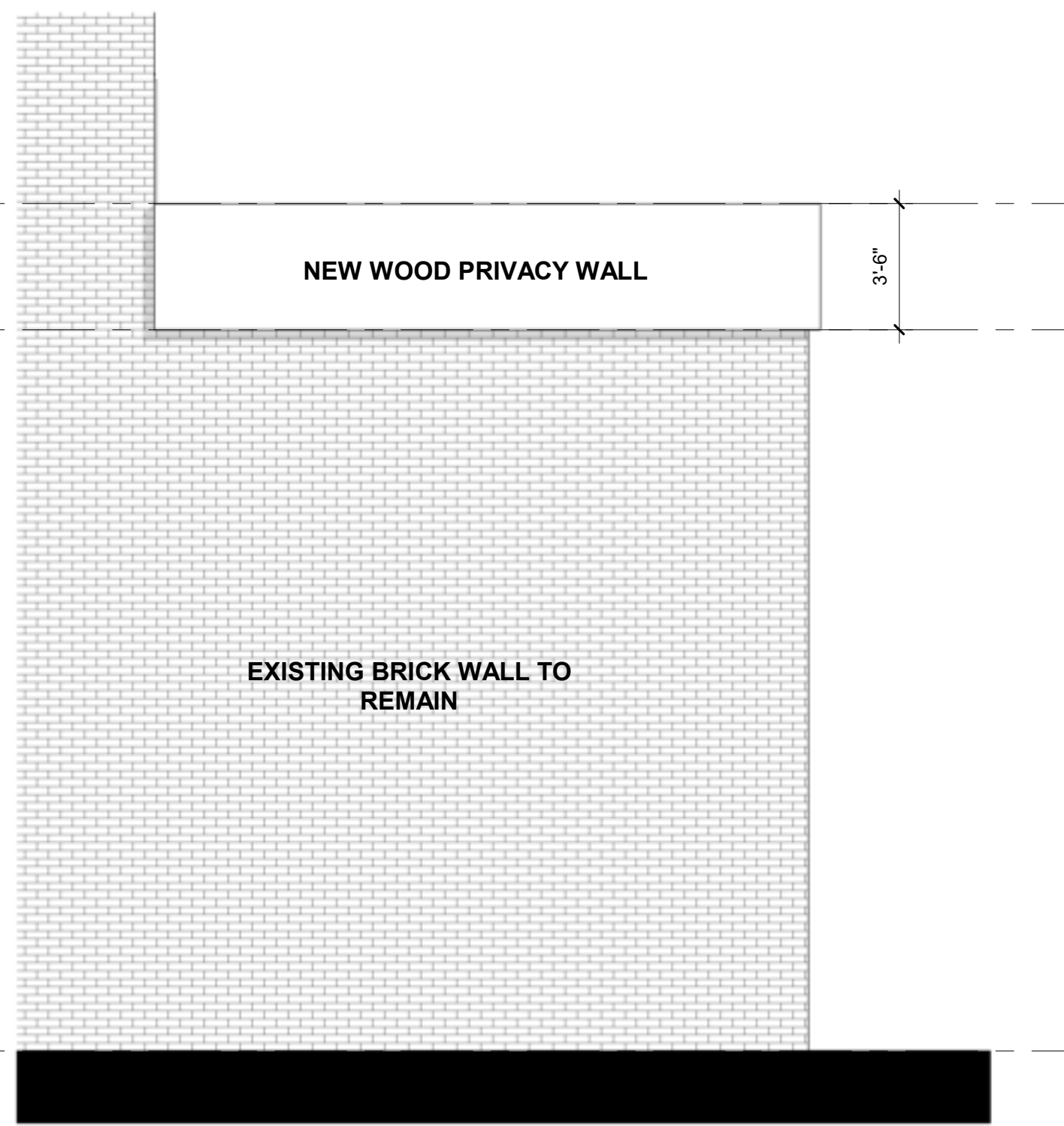
3 PRIVACY WALL DETAIL
A1.1 1" = 1'-0"



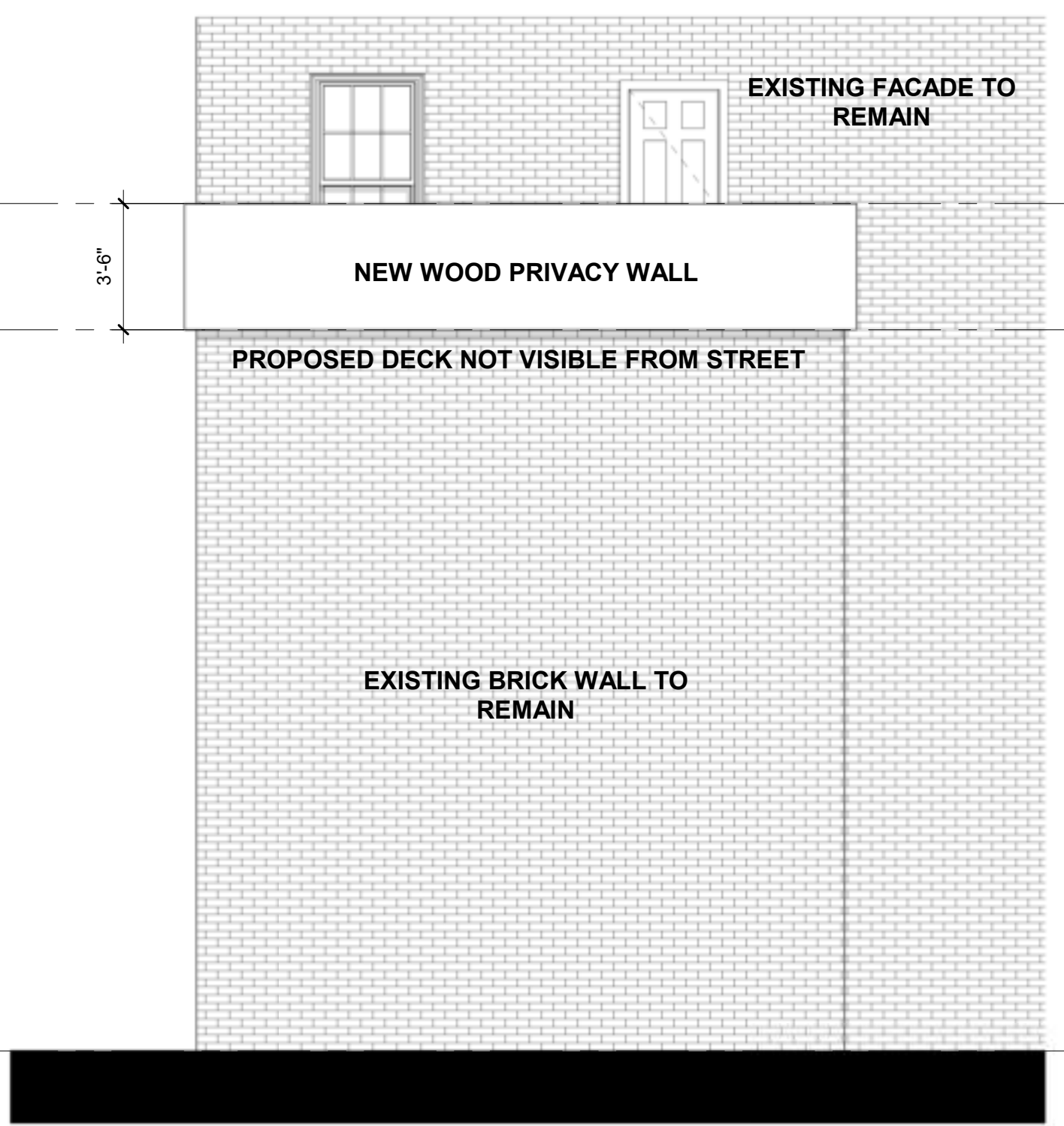
2 UNIT 5 DECK FRAMING PLAN
A1.1 1/4" = 1'-0"



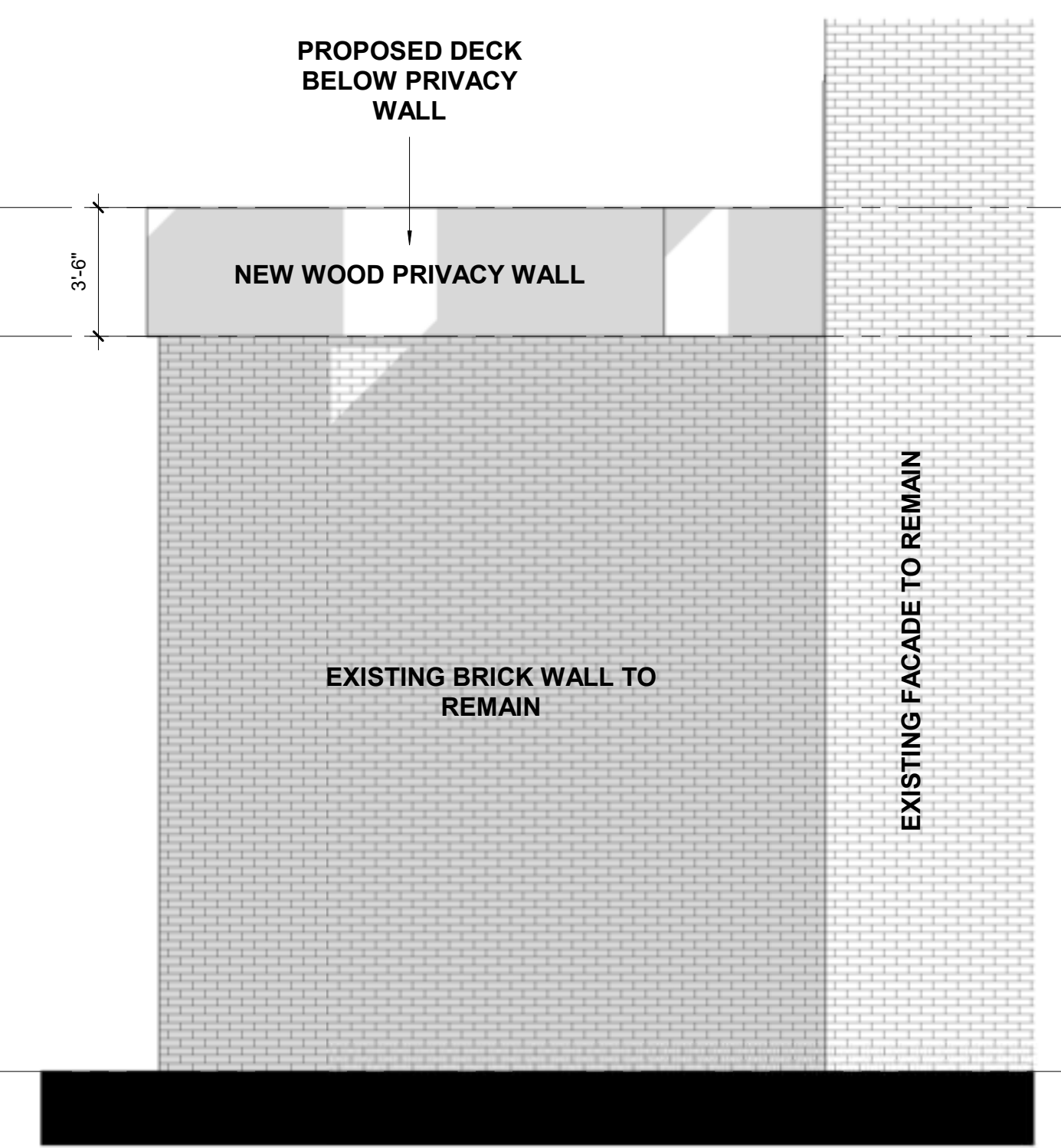
1 UNIT 5 DECK PLAN
A1.1 1/4" = 1'-0"



5 PROPOSED LEFT ELEVATION
A1.1 1/4" = 1'-0"

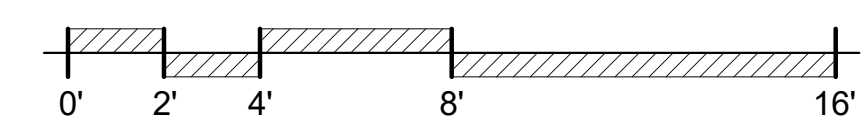


4 PROPOSED FRONT ELEVATION
A1.1 1/4" = 1'-0"

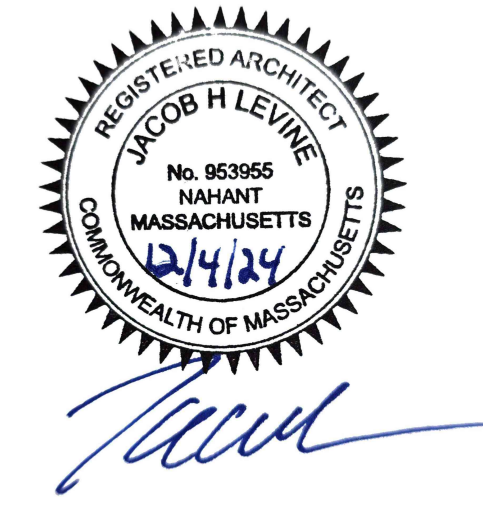


6 PROPOSED RIGHT ELEVATION
A1.1 1/4" = 1'-0"

ELEVATIONS PROVIDED FOR REFERENCE ONLY



**ROOF DECK REPLACEMENT
150 CHANDLER STREET
BOSTON, MA, 02116**



No.	Description	Date

Scale: As indicated
Date: 12/10/24
Drawn By: SLHG

Drawing Name
PROPOSED DECK

Sheet No.
A1.1