

BERDO REVIEW BOARD MEETING

March 10, 2025



Mayor Michelle Wu

BERDO REVIEW BOARD



Jessica Boatright
Board Member



Rashida Boyd
Board Member



Gabriela Coletta Zapata
City Councilor



Stephen Ellis
Board Member



Hessann Farooqi
Board Member



Lori Ferriss
Board Member



Gail Latimore
Board Member



Jack Nelson
Board Member



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Board Member

City of Boston BERDO Staff



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Payne**

*Director,
Carbon Neutrality*



**Diana
Vasquez**

*BERDO Review
Board Manager*



**Zengel
"Ziggy" Chin**

*BERDO Review Board
Assistant*

Agenda

Today's Meeting



Public Meeting

1. *Vote on Flexibility Measure Applications*
2. *Discussion and Vote on Opening the Equitable Emissions Investment Fund for the 2025 Application Cycle*
3. *Approval of Meeting Minutes*
4. *Administrative Updates*
5. *Adjournment*

The background of the slide is a dark blue aerial view of a city, rendered in white line art. The map shows a dense urban layout with numerous rectangular blocks of varying sizes, representing buildings and city blocks. A prominent curved road or highway runs through the center of the map. The overall style is architectural and technical.

Flexibility Measure Applications

Discussion and Vote

Building Portfolio

Reminder: What is a Building Portfolio?

- **Building Portfolios** are a flexibility mechanism that allows Owners of multiple Buildings to comply with a single portfolio-level Emissions standard.

Pathway 1 Requirements

- A Building Portfolio application pathway for buildings that are individually subject to BERDO and **do not** trigger environmental justice requirements.
- No hearing is required for approval.

Options for Voting

- Approve with standard conditions;
- **OR** the board can continue discussing before they feel comfortable voting on a motion

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Codman Square NDC

Building Portfolio Application



Building Portfolio Application

Codman Square NDC



Background Information

- Submitted through Pathway 1.
- 20 buildings in the neighborhoods of Dorchester.
- Applicant meets all eligibility criteria and application was deemed complete.

Standard Conditions

- Timely compliance with reporting and third-party verification requirements.
- Timely compliance with the requirements in [Section XI.b](#), including, when applicable, the submission of a satisfactory Emissions standard compliance plan.
- The Review Board or its designee may inspect any Building that is part of an approved Building Portfolio, at reasonable times and with reasonable notice, in order to assess compliance with the terms and conditions of said Building Portfolio.

Building Portfolio List

Codman Square NDC, Part 1

#	BERDO ID	Address
1	108088	18-34 Kingbird Road, Boston, MA 02124
2	107172	2 Herbert St, Boston, MA 02124
3	104880	155 - 157 Washington St, Boston, MA 02121
4	107772	150 Columbia Rd, Boston, MA 02121
5	107770	71 Washington St, Boston, MA 02121
6	106659	95-103 Washington St, Boston, MA 02121
7	106422	241-257 Talbot Ave, Boston, MA 02124
8	107769	59-63B Washington St, Boston, MA 02121
9	108101	143 Columbia Rd, Boston, MA 02121
10	106661	144-148 Geneva Ave, Boston, MA 02121



Building Portfolio List

Codman Square NDC, Part 2

#	BERDO ID	Address
11	106662	178-180 Columbia Rd, Boston, MA 02121
12	107771	50 -52 Columbia Road, Boston, MA 02121
13	106060	193 Talbot Ave, Boston, MA 02124
14	107174	369-391 Talbot Ave, Boston, MA 02124
15	107646	1 Kingbird Road, Boston, MA 02124
16	106660	102-108 Columbia Road, Boston, MA 02121
17	108100	165 Columbia Rd, Boston, MA 02121
18	106052	112-114 Bernard St , Boston, MA 02124
19	104838	51-55 Catbird Ct, Boston, MA 02124
20	103315	380 Talbot Ave, St, Boston, MA 02124



Codman Square NDC Proposed Portfolio



Owner: Codman Square NDC

Building Use Types: Multifamily Housing

Number of buildings: 20 buildings

Calculated Blended Emission Standards

Calculated Blended Emissions Standards (kgCO2e/SF/yr)						
	2025-2029	2030-2034	2035-2039	2040-2044	2045-2049	2050-
Default Emissions Standards: Multifamily Housing	4.1	2.4	1.8	1.1	0.6	0
Portfolio Emissions Standards	4.1	2.4	1.8	1.1	0.6	0

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Board Q&A

Codman Square NDC



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Board Motion & Vote

Codman Square NDC





The Children's Hospital

Building Portfolio Application



Building Portfolio Application

The Children's Hospital



Background Information

- Submitted through Pathway 1.
- 5 buildings in the neighborhood of Longwood Medical Area.
- Applicant meets all eligibility criteria and application was deemed complete.

Standard Conditions

- Timely compliance with reporting and third-party verification requirements.
- Timely compliance with the requirements in [Section XI.b](#), including, when applicable, the submission of a satisfactory Emissions standard compliance plan.
- The Review Board or its designee may inspect any Building that is part of an approved Building Portfolio, at reasonable times and with reasonable notice, in order to assess compliance with the terms and conditions of said Building Portfolio.

The Children’s Hospital Proposed Portfolio

Owner: The Children’s Hospital

Building Use Types: Healthcare, Storage, and Technology/Science

Number of buildings: 5 buildings

Addresses of buildings:

- 333 Longwood Ave, Boston, MA 02115
 - 300 Longwood Ave, Boston, MA 02115
 - 1 Blackfan Cir, Boston, MA 02115
- 1 Autumn St, Boston MA 02215
 - 21 Autumn St, Boston MA 02215

Calculated Blended Emission Standards

Calculated Blended Emissions Standards (kgCO2e/SF/yr)						
	2025-2029	2030-2034	2035-2039	2040-2044	2045-2049	2050-
Default Emissions Standards: Healthcare (n=4)	15.4	10.0	7.4	4.9	2.4	0
Default Emissions Standards: Technology/Science (n=1)	19.2	11.1	7.8	5.1	2.5	0
Portfolio Emissions Standards	15.9	10.0	7.3	4.8	2.3	0





Board Q&A

The Children's Hospital



An aerial view of a city with white line-art outlines of buildings and streets on a dark blue background. A semi-transparent dark blue horizontal band is positioned across the middle of the image, serving as a background for the text.

Board Motion & Vote

The Children's Hospital



The background of the slide is a dark blue aerial view of a city grid, rendered in white line art. The lines represent building footprints and streets, creating a complex, geometric pattern. The perspective is from a high angle, looking down on the city.

Stony Brook Condo Trust

Building Portfolio Application



Building Portfolio Application

Stony Brook Condo Trust



Background Information

- Submitted through Pathway 1.
- 2 buildings in the neighborhood of West Roxbury
- Applicant meets all eligibility criteria and application was deemed complete.

Standard Conditions

- Timely compliance with reporting and third-party verification requirements.
- Timely compliance with the requirements in [Section XI.b](#), including, when applicable, the submission of a satisfactory Emissions standard compliance plan.
- The Review Board or its designee may inspect any Building that is part of an approved Building Portfolio, at reasonable times and with reasonable notice, in order to assess compliance with the terms and conditions of said Building Portfolio.

Stony Brook Condo Trust Proposed Portfolio

Owner: Stony Brook Condo Trust

Building Use Types: Multifamily Housing

Number of buildings: 2 buildings

Addresses of buildings:

- 4925 Washington St, West Roxbury, MA 02132
- 14 Heron St, Boston, MA 02132

Calculated Blended Emission Standards

Calculated Blended Emissions Standards (kgCO2e/SF/yr)						
	2025-2029	2030-2034	2035-2039	2040-2044	2045-2049	2050-
Default Emissions Standards: Multifamily Housing	4.1	2.4	1.8	1.1	0.6	0
Portfolio Emissions Standards	4.1	2.4	1.8	1.1	0.6	0



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Board Q&A

Stony Brook Condo Trust



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Board Motion & Vote

Stony Brook Condo Trust



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NB Development Group

Building Portfolio Application



Building Portfolio Application

NB Development Group



Background Information

- Submitted through Pathway 1.
- 7 buildings in the neighborhoods of Brighton and Allston.
- Applicant meets all eligibility criteria and application was deemed complete.

Standard Conditions

- Timely compliance with reporting and third-party verification requirements.
- Timely compliance with the requirements in [Section XI.b](#), including, when applicable, the submission of a satisfactory Emissions standard compliance plan.
- The Review Board or its designee may inspect any Building that is part of an approved Building Portfolio, at reasonable times and with reasonable notice, in order to assess compliance with the terms and conditions of said Building Portfolio.

NB Development Group Proposed Portfolio



Owner: NB Development Group

Building Use Types: Assembly, Office, Storage, Retail and Technology/Science.

Number of buildings: 7 buildings

Addresses of buildings:

- 145 Newton St. Boston, MA 02135
- 223-231 N. Beacon St. Boston, MA 02135
- 38-42 Everett St. Boston, MA 01234
- 65 N. beacon St. Boston, MA 02135
- 40 Guest St. Boston, MA 02135
- 67-91 Guest St. Boston, MA 02135
- 80 Guest St. Boston, MA 01235

NB Development Group Blended Emissions



Calculated Blended Emission Standards

Calculated Blended Emissions Standards (kgCO2e/SF/yr)						
	2025-2029	2030-2034	2035-2039	2040-2044	2045-2049	2050-
Default Emissions Standards: Assembly (n=2)	7.8	4.6	3.3	2.1	1.1	0
Default Emissions Standards: Office (n=2)	5.3	3.2	2.4	1.6	0.8	0.0
Default Emissions Standards: Storage (n=1)	5.4	2.8	1.8	1.0	0.4	0.0
Default Emissions Standards: Technology/Science (n=2)	19.2	11.1	7.8	5.1	2.5	0.0
Portfolio Emissions Standards	9.6	5.5	3.9	2.5	1.2	0



Board Q&A

NB Development Group





Board Motion & Vote

NB Development Group



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Urban Edge Housing Corp

Building Portfolio Application



Building Portfolio Application

Urban Edge Housing Corp



Background Information

- Submitted through Pathway 1.
- 26 buildings in the neighborhoods of Jamaica Plain.
- Applicant meets all eligibility criteria and application was deemed complete.

Standard Conditions

- Timely compliance with reporting and third-party verification requirements.
- Timely compliance with the requirements in [Section XI.b](#), including, when applicable, the submission of a satisfactory Emissions standard compliance plan.
- The Review Board or its designee may inspect any Building that is part of an approved Building Portfolio, at reasonable times and with reasonable notice, in order to assess compliance with the terms and conditions of said Building Portfolio.

Building Portfolio List

*Urban Edge Housing Corp,
Part 1*

#	BERDO ID	Address
1	108102	1989-1991 Columbus Ave., Boston, MA 02119
2	108081	3089 - 3091 Washington St, Boston, MA 02119
3	106524	3134 Washington Street, Boston, MA 02130
4	107947	107-109 Elm Hill St., Boston, MA 02121
5	107949	78-84 Stoughton St., Boston, MA 02125
6	107809	9 Cleaves St, Boston, MA 02119
7	100529	1-11 Bancroft Street, Boston, MA 02119
8	107950	6-16 Cleaves, Boston, MA 02119
9	107537	3316-3324 Washington St , Boston, MA 02130
10	107767	3224-3234 Washington Street, Boston, MA 02130
11	107443	80 Walnut Park, Boston, MA 02119
12	103586	70 Hazelton St, Boston, MA 02126
13	106617	361-363 Walnut Ave, Boston, MA 02119



Building Portfolio List

*Urban Edge Housing Corp,
Part 2*

#	BERDO ID	Address
14	107946	17-21 Sonoma St., Boston, MA 02121
15	102779	67 Walnut Park, Boston, MA 02130
16	107539	1542 Columbus Ave, Boston, MA 02119
17	106757	49-51 Cheney Street, Boston, MA 02121
18	106437	2018 Columbus Ave., Boston, MA 02119
19	102778	3037 Washington St., Boston, MA 02119
20	107153	129-135 Columbia Rd., Boston, MA 02121
21	101683	1865-1869 Columbus Ave, Boston, MA 02119
22	106638	71 Westminster Ave, Boston, MA 02119
23	100391	20 Amory Ave, Boston, MA 02119
24	106731	30-108 Westminster Court, Boston, MA 02119
25	100272	1596, 1590 Columbus Ave, Boston, MA 02119
26	104065	112 Talbot Ave, Boston, MA 02124



Urban Edge Proposed Portfolio



Owner: Urban Edge Housing Corporation

Building Use Types: Multifamily Housing, Assembly, and Education

Number of buildings: 26 buildings

Calculated Blended Emission Standards

Calculated Blended Emissions Standards (kgCO2e/SF/yr)						
	2025-2029	2030-2034	2035-2039	2040-2044	2045-2049	2050-
Default Emissions Standards: Multifamily Housing (n=25)	4.1	2.4	1.8	1.1	0.6	0.0
Default Emissions Standards: Education (n=1)	3.9	2.4	1.8	1.2	0.6	0
Portfolio Emissions Standards	4.1	2.4	1.8	1.1	.6	0

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Board Q&A

Urban Edge Housing Corp



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Board Motion & Vote

Urban Edge Housing Corp



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WinnCompanies

Building Portfolio Application



Building Portfolio Application

WinnCompanies



Background Information

- Submitted through Pathway 1.
- 17 buildings in the neighborhoods of Dorchester, Brighton, Mission Hill, East Boston, and South End.
- Applicant meets all eligibility criteria and application was deemed complete.

Standard Conditions

- Timely compliance with reporting and third-party verification requirements.
- Timely compliance with the requirements in [Section XI.b](#), including, when applicable, the submission of a satisfactory Emissions standard compliance plan.
- The Review Board or its designee may inspect any Building that is part of an approved Building Portfolio, at reasonable times and with reasonable notice, in order to assess compliance with the terms and conditions of said Building Portfolio.



Building Portfolio List

WinnCompanies, Part 1

#	BERDO ID	Address
1	108103	224-236 Seaver St Boston, MA 02121
2	104547	1-8 Nazing Court, Boston, MA 02121
3	101434	1465 Commonwealth Ave, Boston, MA 02135
4	104822	156-168 Terrace St, Boston, MA 02120
5	104473	69 McGreevey Way, Boston, MA 02120
6	104474	601-629 Parker St, Boston, MA 02120
7	104464	631-651 Parker St, Boston, MA 02120
8	104457	34-46 St Alphonsus St, Boston, MA 02120
9	107151	2-12 Smith, 14-24 Smith, Boston, MA 02120

Building Portfolio List

WinnCompanies, Part 2

#	BERDO ID	Address
10	104480	Smith St, 2-20 Horadan Way, Boston, MA 02120
11	107152	55 Smith St, Boston, MA 02120
12	102304	125 - 131 Sumner St, Boston, MA 02128
13	108104	169 C-B Perth St, Boston, MA 02121
14	104469	39-43 Smith St, Boston, MA 02120
15	104462	32-38 McGreevey Way, Boston, MA 02120
16	105054	5 Perth St, Boston, MA 02121
17	102558	460-498 Tremont st, Boston, MA 02116



WinnCompanies Proposed Portfolio



Owner: WinnCompanies

Building Use Types: Multifamily Housing and Office

Number of buildings: 17 buildings

Calculated Blended Emission Standards

Calculated Blended Emissions Standards (kgCO2e/SF/yr)						
	2025-2029	2030-2034	2035-2039	2040-2044	2045-2049	2050-
Default Emissions Standards: Multifamily Housing (n=16)	4.1	2.4	1.8	1.1	0.6	0
Default Emissions Standards: Office (n=1)	5.3	3.2	2.4	1.6	0.8	0.0
Portfolio Emissions Standards	4.1	2.4	1.8	1.1	0.6	0

The background of the slide is a dark blue aerial view of a city, rendered in white line art. The map shows a dense grid of buildings, streets, and parks. A prominent feature is a large, curved road or highway that winds through the center of the city. The overall style is clean and modern, with a focus on geometric shapes and lines.

Board Q&A

WinnCompanies



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Board Motion & Vote

WinnCompanies



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Madison Park Development Corp

Building Portfolio Application



Building Portfolio Application

Madison Park Development Corporation



Background Information

- Submitted through Pathway 1.
- 17 buildings in the neighborhoods of Roxbury and Fenway.
- Applicant meets all eligibility criteria and application was deemed complete.

Standard Conditions

- Timely compliance with reporting and third-party verification requirements.
- Timely compliance with the requirements in [Section XI.b](#), including, when applicable, the submission of a satisfactory Emissions standard compliance plan.
- The Review Board or its designee may inspect any Building that is part of an approved Building Portfolio, at reasonable times and with reasonable notice, in order to assess compliance with the terms and conditions of said Building Portfolio.



Building Portfolio List

Madison Park Development Corp, Part 1

#	BERDO ID	Address
1	104157	2093-2115 washington St. Roxbury, MA 02119
2	100647	101-139 Madison Park Ct. Boston, MA 02120
3	104152	205-213 Dudley St. Roxbury, MA 02119
4	104147	725-751 Shawmut Ave. Roxbury, MA 02119
5	104153	40 Raynor Cir. Boston, MA 02120
6	107154	600 Melnea Cass Blvd. Boston, MA 02120
7	107598	1-39 Raynor Cir, 83 Ruggles St. Boston, MA 02120
8	107605	53-65 Ruggles Street, 45-52 Sojourner Truth, 2-14 Kerr Pl, 101-111 Dewitt Dr, 113-153 Dewitt Dr
9	107601	1-31 Sojourner Truth, 67-81 Ruggles, 2-16 Raynor Circle.



Building Portfolio List

Madison Park Development Corp, Part 2

#	BERDO ID	Address
10	107610	138-158 Dewitt Dr, 4-22 Estabrook, 759-771 Shawmut, 2 Estabrook Rd
11	107574	40-100 Dewitt dr, 693-723 Shawmut Ave
12	108105	2-38 Sojourner Truth, 59-79 Dewitt Drive
13	108106	1-23 Brook Marshall, 18-32 Raynor Circle
14	108107	100-142 Madison Park Court, 149 Dewitt, 773-789 Shawmut Ave
15	105565	41 Ruggles Street, 750 Shawmut Avenue, 746 Shawmut Avenue
16	105830	757 Shawmut Ave. Roxbury, MA 02119
17	104150	351-367 Massachusetts Ave. Boston, MA 02115

Madison Park Development Corp Proposed Portfolio



Owner: Madison Park Development Corporation

Building Use Types: Multifamily Housing

Number of buildings: 17 buildings

Calculated Blended Emission Standards

Calculated Blended Emissions Standards (kgCO2e/SF/yr)						
	2025-2029	2030-2034	2035-2039	2040-2044	2045-2049	2050-
Default Emissions Standards: Multifamily Housing	4.1	2.4	1.8	1.1	0.6	0
Portfolio Emissions Standards	4.1	2.4	1.8	1.1	0.6	0

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Board Q&A

Madison Park Development Corporation



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Board Motion & Vote

Madison Park Development Corporation



Building Portfolio Application

Pathway 2



Pathway 2 Reminder:

Review Board **may** vote to hold a hearing:

- Review Board invites applicant to prepare slides at a subsequent meeting
- Applicant presents on their application and requested information regarding impacts to EJ populations
- Review Board accepts public comment regarding application

Review Board **may** vote to:

- Approve with standard conditions;
- Approve with special conditions; or
- Deny the application

Special Conditions:

- These are conditions that are relevant to the distribution of decarbonization benefits to Environmental Justice Populations.

The background of the slide is a dark blue aerial view of a city, overlaid with a white wireframe pattern that highlights the outlines of buildings and streets.

Wentworth Institute of Technology

Building Portfolio Application



Building Portfolio Application

Wentworth Institute of Technology



Background Information

- Submitted through Pathway 2.
 - *On-site Combined Heat and Power Plants that use non-renewable or CO₂_e emitting fuels and are located in Environmental Justice Populations.*
- 26 buildings in the neighborhoods of Fenway and Mission Hill.
- Applicant meets all eligibility criteria and application was deemed complete.

Standard Conditions

- Timely compliance with reporting and third-party verification requirements.
- Timely compliance with the requirements in [Section XI.b](#), including, when applicable, the submission of a satisfactory Emissions standard compliance plan.
- The Review Board or its designee may inspect any Building that is part of an approved Building Portfolio, at reasonable times and with reasonable notice, in order to assess compliance with the terms and conditions of said Building Portfolio.

Building Portfolio List

Wentworth Institute of Technology, Part 1

#	BERDO ID	Address	Campus ID
1	107107	105-117 Ward St, Boston, MA 02120	C10041
2	106706	572 Huntington Ave, Boston, MA 02115	
3	106707	574 huntington ave, Boston, MA 02115	
4	106708	103 Ward St, Boston, MA 02120	
5	106709	95-99 Ward St, Boston, MA 02115	
6	106711	555 Parker St, Boston, MA 02120	
7	107092	550 Huntington Ave., Boston, MA 02115	
8	107093	550 Huntington Ave., Boston, MA 02115	
9	107094	550 Huntington Ave., Boston, MA 02115	
10	107095	550 Huntington Ave., Boston, MA 02115	
11	107096	550 Huntington Ave., Boston, MA 02115	
12	107097	550 Huntington Ave., Boston, MA 02115	
13	107098	550 Huntington Ave., Boston, MA 02115	



Building Portfolio List

Wentworth Institute of Technology, Part 2

#	BERDO ID	Address	Campus ID
14	106715	550 Parker St, Boston, MA 02120	C10042
15	107102	550 Parker St, Boston, MA 02120	
16	107103	550 Parker St, Boston, MA 02120	
17	107104	550 Parker St, Boston, MA 02120	
18	107105	550 Parker St, Boston, MA 02120	
19	106703	541 Huntington Ave, Boston, MA 02115	
20	106713	590-594 Huntington Ave, Boston, MA 02115	
21	106712	620 Huntington Ave, Boston, MA 02115	
22	106714	540 Parker St, Boston, MA 02120	
23	107106	660 Parker St, Mission Hill, MA 02120	
24	106702	20 Evans Way, Boston, MA 02115	
25	106716	525 Huntington Ave., Boston, MA 02115	
26	106704	30-48 Evans Way, Boston, MA 02115	



Wentworth Institute of Technology Proposed Portfolio



Owner: Wentworth Institute of Technology

Building Use Types: College/University, Services, and Storage

Number of buildings: 26 buildings

Calculated Blended Emission Standards

Calculated Blended Emissions Standards (kgCO2e/SF/yr)						
	2025-2029	2030-2034	2035-2039	2040-2044	2045-2049	2050-
Default Emissions Standards: College/University (n=24)	10.2	5.3	3.8	2.5	1.2	0
Default Emissions Standards: Services (n=1)	7.5	4.5	3.3	2.2	1.1	0
Default Emissions Standards: Storage (n=1)	5.4	2.8	1.8	1.0	0.4	0
Portfolio Emissions Standards	10.1	5.2	3.8	2.5	1.2	0

Environmental Justice Map



ArcGIS Web Map

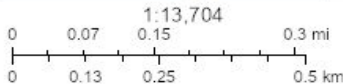


12/30/2024, 3:34:36 PM

Massachusetts Environmental Justice Populations 2020

- Three criteria: Minority, Income and English isolation
- Two criteria: Minority and English isolation

- Two criteria: Minority and Income
- One criterion: Minority



Asthma Prevalence Map



ArcGIS Web Map



12/30/2024, 3:35:25 PM

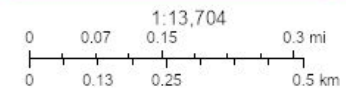
Asthma Prevalence

Lowest asthma prevalence

Low asthma prevalence

Moderate asthma prevalence

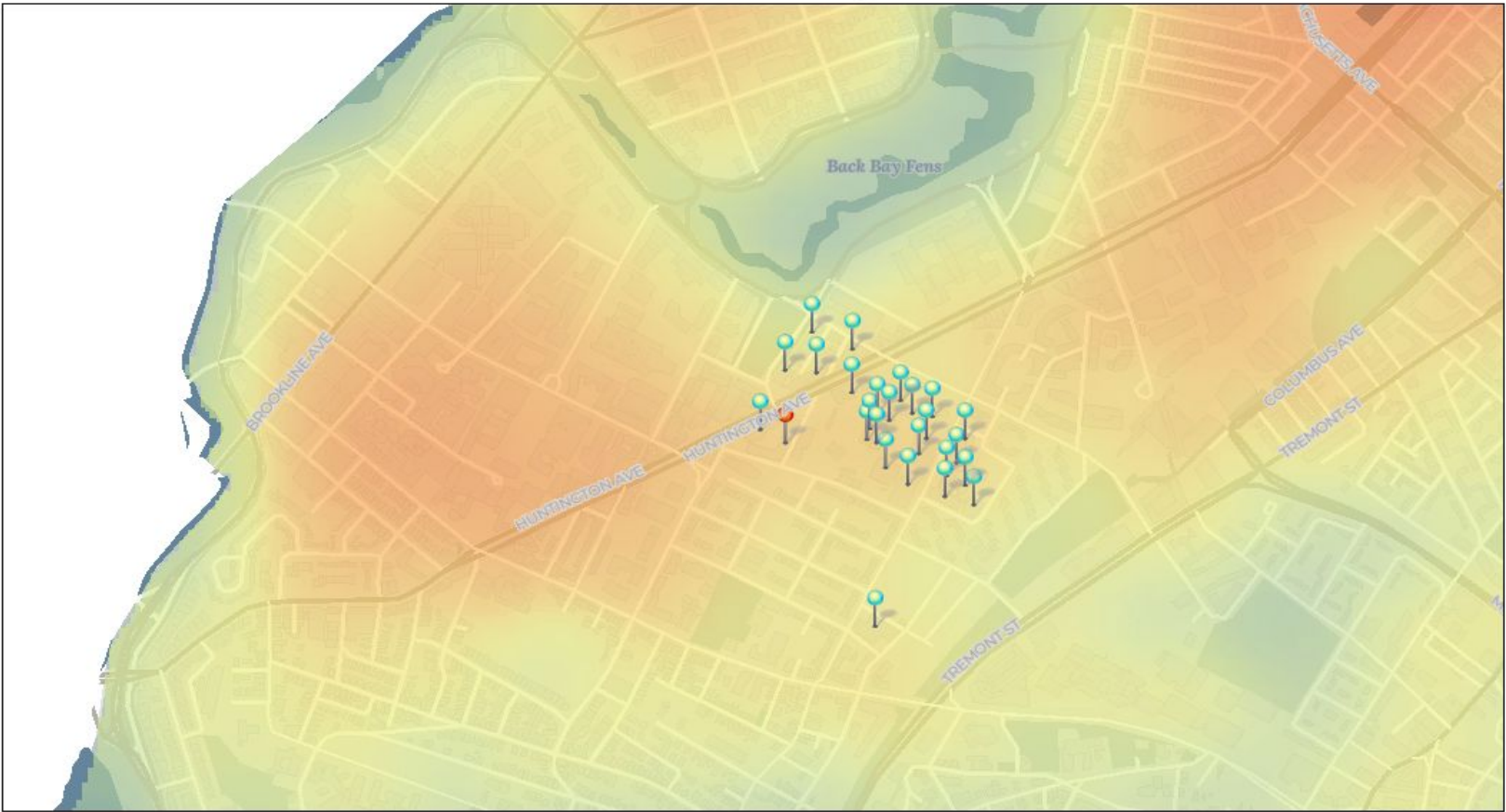
High asthma prevalence



Urban Heat Island Intensity Map

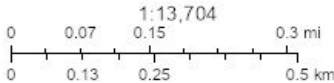


ArcGIS Web Map



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Respiratory Hazard Index Map



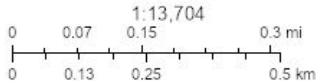
ArcGIS Web Map



12/30/2024, 3:36:34 PM

Respiratory Hazard

- High Hazard Index in Boston
- Low Hazard Index in Boston



The background of the slide is a dark blue aerial view of a city, rendered in white line art. The map shows a dense urban layout with numerous rectangular blocks of varying sizes, some curved streets, and a prominent bridge or overpass structure in the center. The overall style is architectural and modern.

Board Q&A

Wentworth Institute of Technology





Board Motion & Vote

Wentworth Institute of Technology



An aerial view of Boston, Massachusetts, rendered in a white line-art style on a dark blue background. The map shows the city's layout, including major roads, parks, and the harbor. The text is overlaid on a semi-transparent dark blue horizontal band.

Boston Medical Center

Building Portfolio Application



Building Portfolio Application

Boston Medical Center



Background Information

- Submitted through Pathway 2.
 - *On-site Combined Heat and Power Plants that use non-renewable or CO₂_e emitting fuels and are located in Environmental Justice Populations.*
- 4 buildings in the neighborhoods of Roxbury and South End.
- Applicant meets all eligibility criteria and application was deemed complete.

Standard Conditions

- Timely compliance with reporting and third-party verification requirements.
- Timely compliance with the requirements in [Section XI.b](#), including, when applicable, the submission of a satisfactory Emissions standard compliance plan.
- The Review Board or its designee may inspect any Building that is part of an approved Building Portfolio, at reasonable times and with reasonable notice, in order to assess compliance with the terms and conditions of said Building Portfolio.

Boston Medical Center Proposed Portfolio



Owner: Boston Medical Center

Building Use Types: Healthcare and Office

Number of buildings: 4 buildings

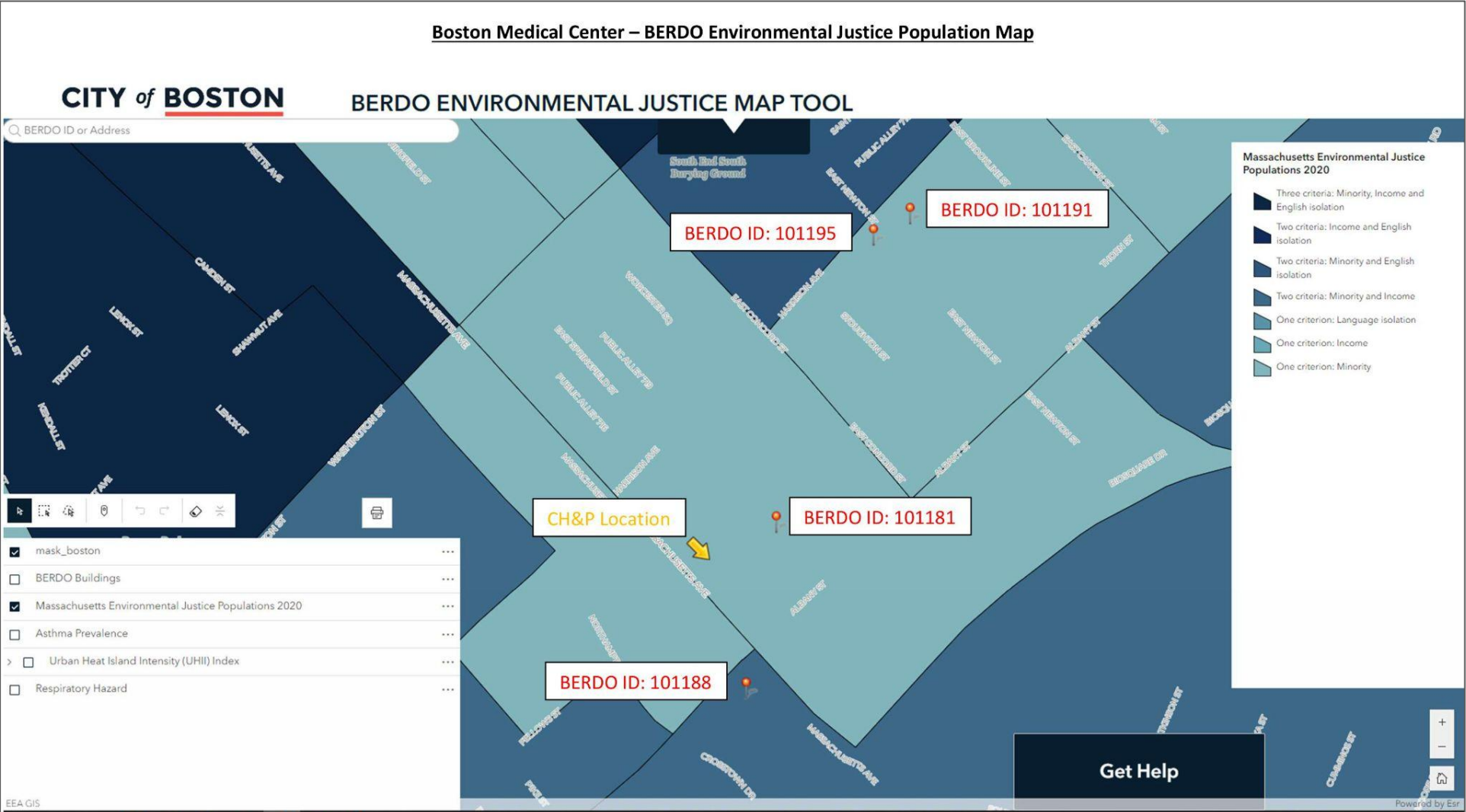
Addresses of buildings:

- 801 Massachusetts Ave, Roxbury, MA 02119
 - 750 Albany St, Boston, MA 02118
- 748 Harrison Ave, Boston, MA 02118
 - 732 Harrison Ave, Boston, MA 02118

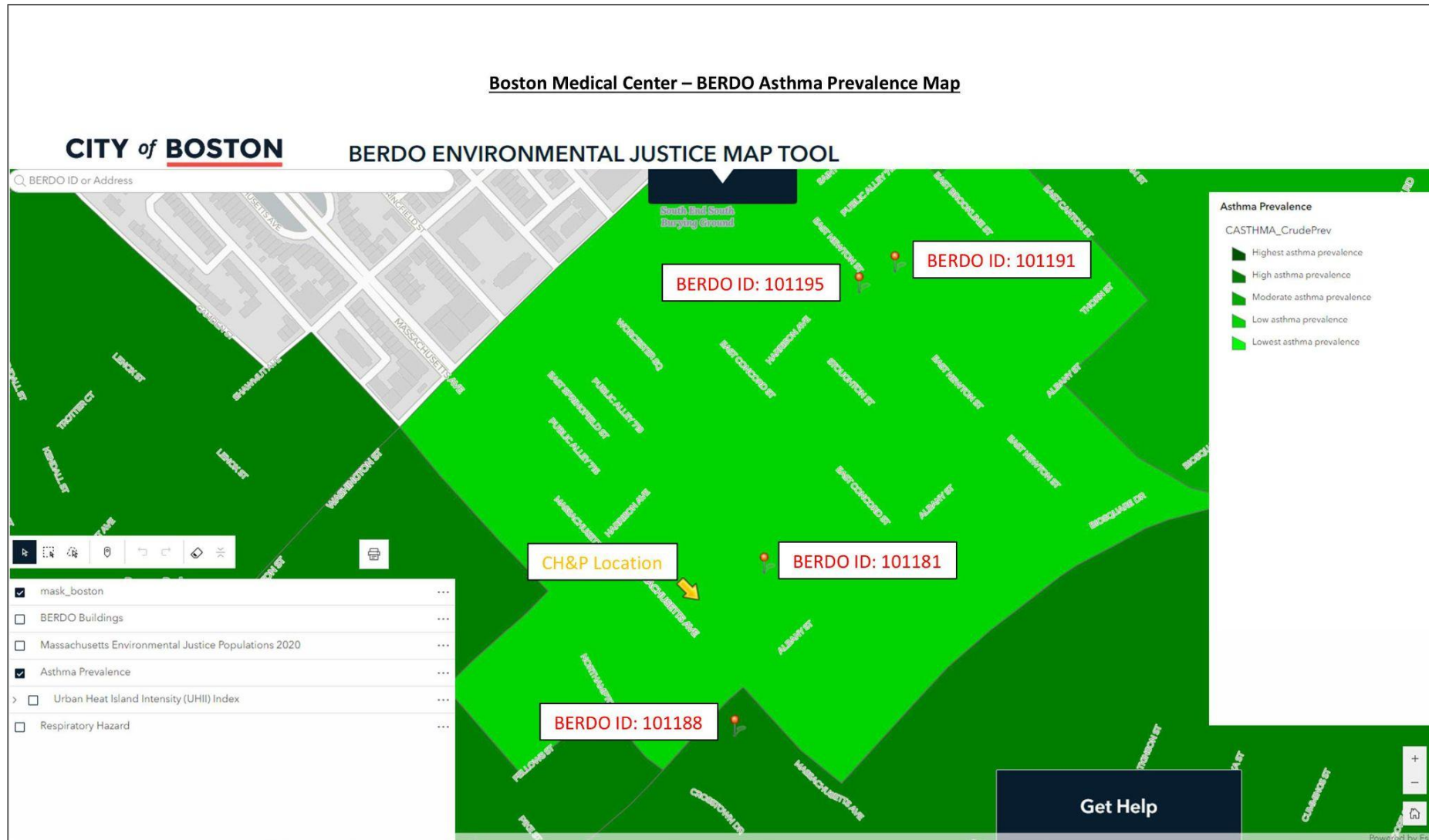
Calculated Blended Emission Standards

Calculated Blended Emissions Standards (kgCO2e/SF/yr)						
	2025-2029	2030-2034	2035-2039	2040-2044	2045-2049	2050-
Default Emissions Standards: Healthcare (n=3)	15.4	10.0	7.4	4.9	2.4	0
Default Emissions Standards: Office (n=1)	5.3	3.2	2.4	1.6	0.8	0
Portfolio Emissions Standards	14.4	9.3	6.9	4.6	2.2	0

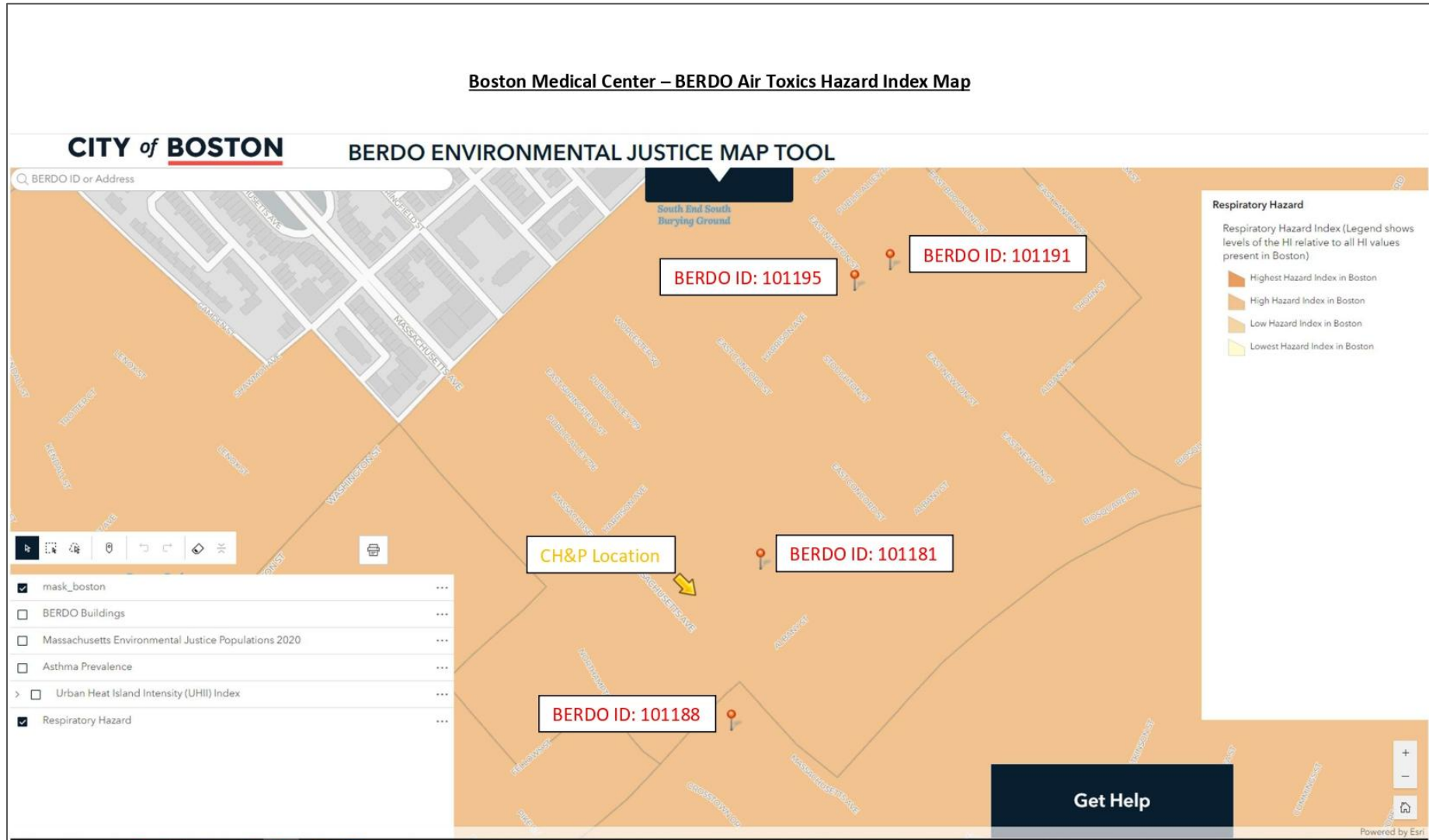
Environmental Justice Map



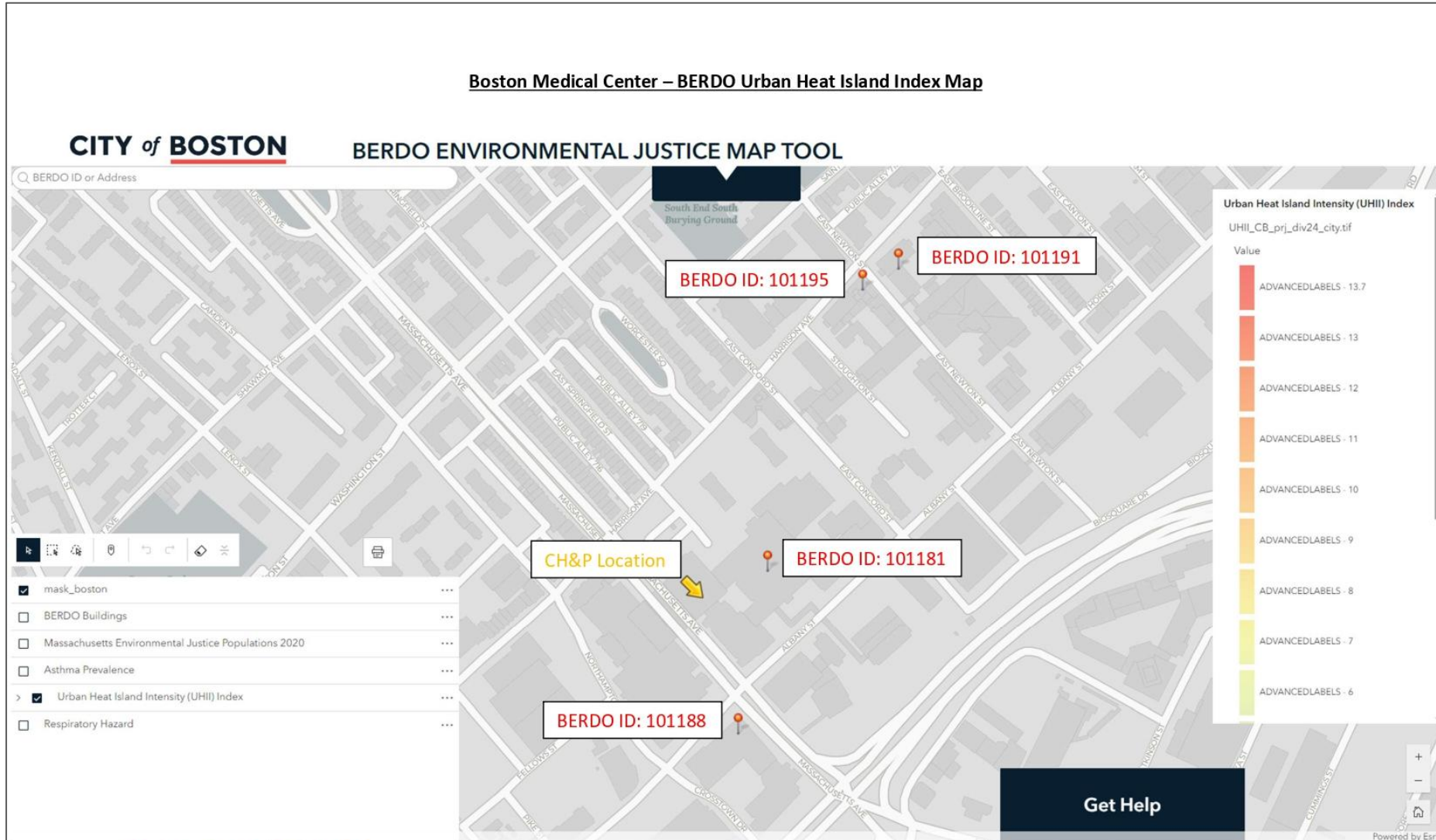
Asthma Prevalence Map



Respiratory Hazard Map



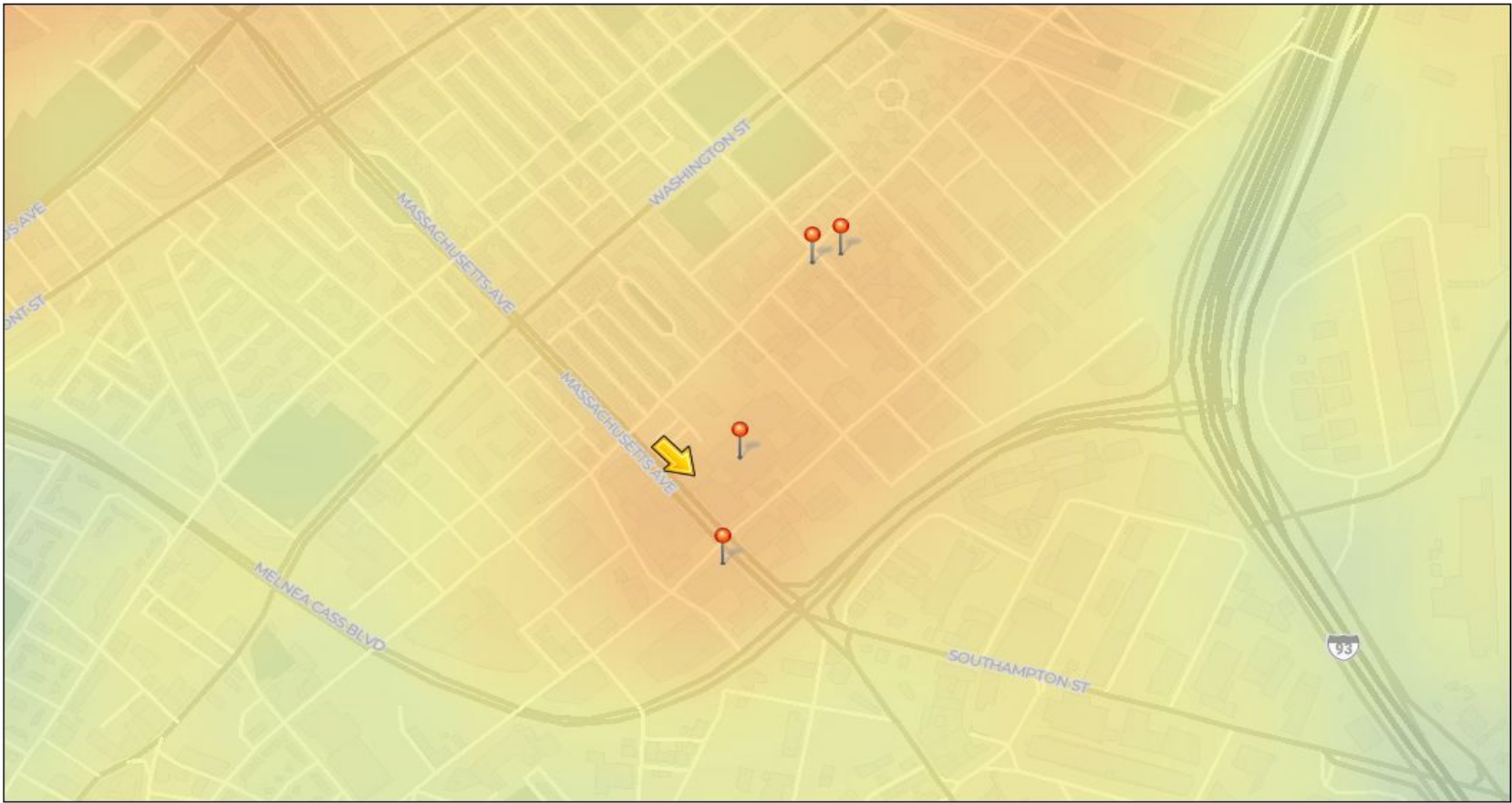
Urban Heat Island Intensity Map



Urban Heat Island Intensity Map

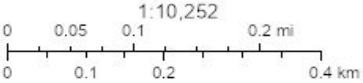
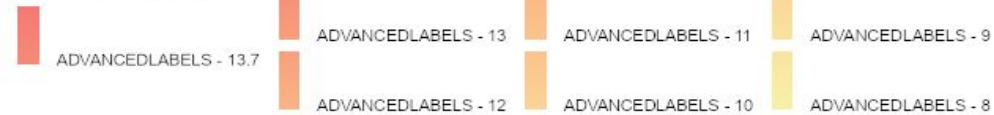


ArcGIS Web Map



2/6/2025, 10:07:17 AM

UHII_CB_prj_div24_city.tif



An aerial view of Boston, Massachusetts, rendered in a white line-art style on a dark blue background. The map shows the city's layout, including major roads, parks, and the harbor. The text "Board Q&A" is overlaid on the left side of the map.

Board Q&A

Boston Medical Center

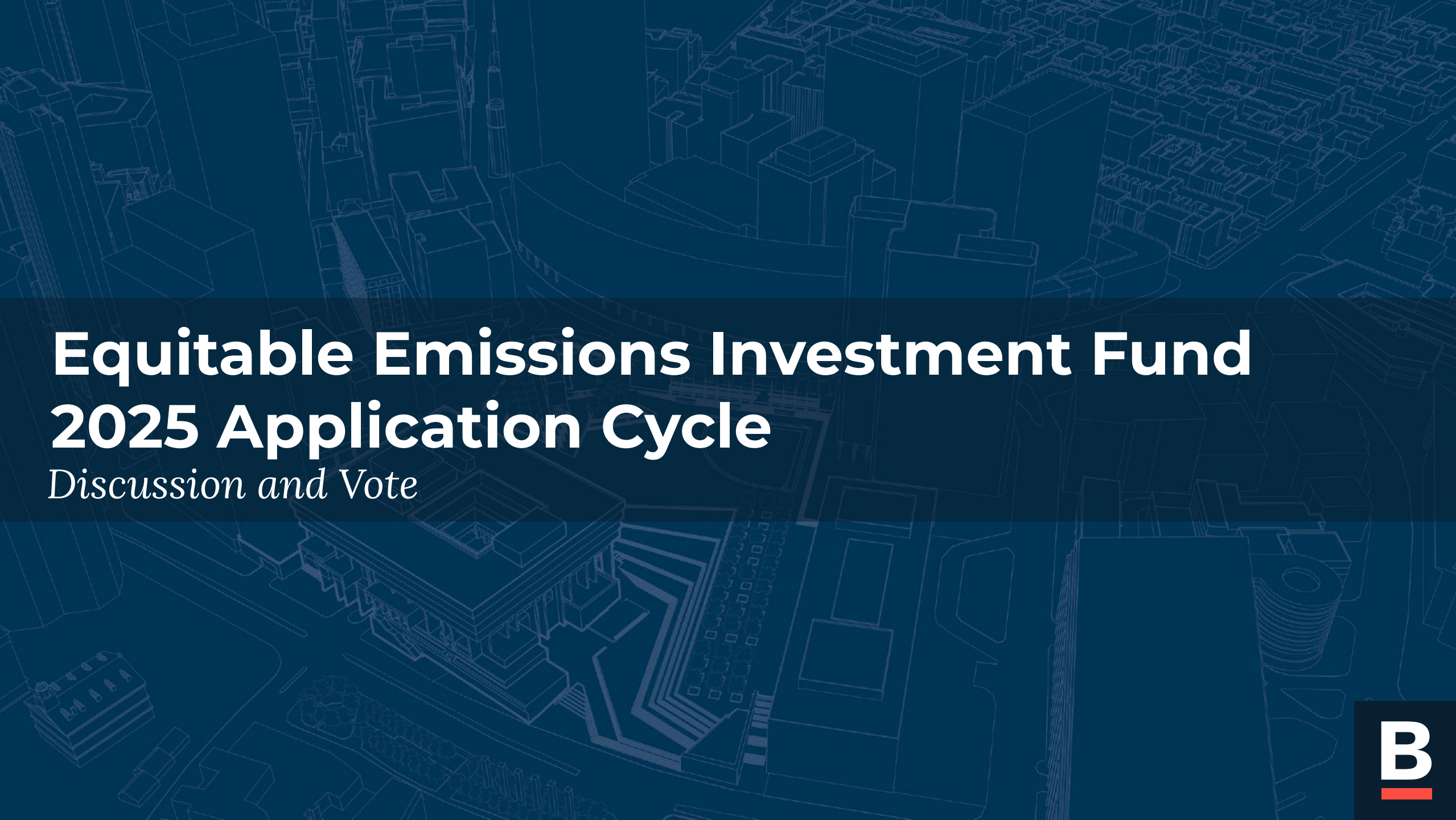


An aerial view of Boston, Massachusetts, rendered in a white line-art style on a dark blue background. The map shows the city's layout, including major roads, parks, and the harbor. The text "Board Motion & Vote" is overlaid on the map.

Board Motion & Vote

Boston Medical Center



The background of the slide is a dark blue aerial view of a city grid, rendered in white line art. The lines represent building footprints and streets, creating a complex, geometric pattern. The text is overlaid on a semi-transparent dark blue horizontal band that spans the width of the image.

Equitable Emissions Investment Fund 2025 Application Cycle

Discussion and Vote



Review of Application Proposal

Proposal for opening second application cycle

Proposal for the second application cycle:

The Review Board release up to \$750,000 for the second application cycle as a grant agreement, with a preference to multiple awards of about \$250,000.

Additional Item

- Allow applicants from the previous round to roll over their applications to this funding round.

Second Application Cycle of the Fund

Proposed Process and Timeline

Proposed Process

Release a notice for the Equitable Emissions Investment Fund granting opportunity

- Open application on **Monday, March 31, 2025**
- Close application on **Friday, May 30, 2025**

Eligibility

- Applicants: Nonprofit organizations (registered 501c3 or organization with a fiscal sponsor).
 - *Applicants from last year can roll over applications.*
- Projects must include:
 - *Reductions in building emissions in Boston*
 - *Benefits to Environmental Justice Populations and populations disproportionately impacted by air pollution*



GRANTING OPPORTUNITY

*BERDO's Equitable
Emissions Investment Fund*

Issued by:
City of Boston,
Environment Department

Issue Date: Monday, March 31, 2025, 9 am ET

Closing Date: Friday, May 30, 2025, 5 pm ET

Inquiries:
Questions should be directed to
BerdoReviewBoard@boston.gov



Second Application Cycle of the Fund

Proposed Process and Timeline

Application Form

- Google Form to input responses to questions from updated Grant Announcement.
 - Last year’s Grant Announcement [available here](#).
 - Alternative methods of submission available upon request.

Awards

- Preference to grant multiple awards, targeting up to \$250,000 per award.
 - Subject to change based on applications received and the board’s discretion.

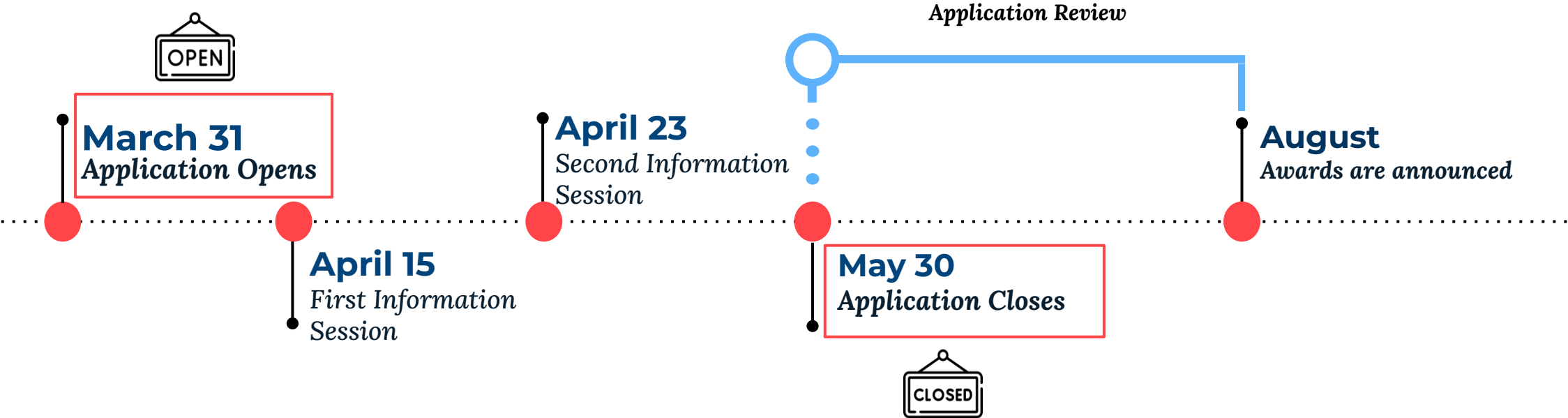
Additional information

- A Frequently Asked Questions (FAQs)
- Two information sessions for interested parties

Dates	Times	Location
April 15, 2025	12 - 1pm	Virtual (Zoom)
April 23, 2025	10 - 11 am	Virtual (Zoom)

Proposed Timeline

2025 Application Cycle





Approval of Meeting Minutes

Board votes on approving previous meeting's minutes

The background of the slide is a dark blue aerial view of a city, overlaid with a white line-art map showing building footprints and street layouts. The map is centered and covers the entire background.

Administrative Updates

Staff presents administrative updates

Sign up for the BERDO Webinar Series

Registration is required



BERDO WEBINAR TITLE	DATE AND TIME	PAGE LINK
Hardship Compliance Plans for 2025 and 2025	Wednesday, March 5 2 - 3:30 pm	Recording available online
Launch of 2025 BERDO Reporting and Emissions Compliance	Wednesday, March 12 2 - 3:30 pm	Register here
Renewable Energy	Wednesday, April 2 2 - 3:30 pm	Register here
Condo Associations and BERDO Compliance	Tuesday, April 8 6 - 7:30pm	Register here
Building Portfolios and Individual Compliance Schedules for 2026	Wednesday, May 21 2 - 3:30pm	Register here

All webinars are available at boston.gov/berdo#events.

Adjourn

Thank you! A recording and slide deck for this meeting will be available at boston.gov/berdo-review-board.

