



**FORT POINT CHANNEL LANDMARK DISTRICT COMMISSION
PUBLIC HEARING MINUTES**

Held virtually via Zoom

October 10, 2024

Commissioners Present: David Berarducci, Thomas Rodde, Raber Umphenour

Commissioners Absent: Susan Goganian

Staff Present: Rachel Ericksen, Preservation Planner

A full recording of the hearing is available at:

<https://www.boston.gov/historic-district/fort-point-channel-landmark-district>

There were no members of the press present.

6:06 PM: Chair D. Berarducci called the public hearing to order. He explained that, pursuant to the Commonwealth of Massachusetts Executive Order Suspending Certain Provisions of the Open Meeting Law, that the public hearing was being conducted via the online meeting platform Zoom in order to review Design Review applications. He also briefly explained how to participate in this online hearing. He then called the design review hearing to order.

I. DESIGN REVIEW

APP # 25.0263 FPC

10 NECCO STREET

Applicant: Marie O'Brien

Proposed Work: Removal of 17 dead pear trees on Necco Street and Necco Ct. and replace with new honey locust trees.

Project Representatives: Naomi Mayeux, Tyler Ledin, Eileen Malvesti, and Marie O'Brien were the project representative.

Documents Presented: Photos of existing conditions and plans of the proposed work.

Discussion Topics: Commissioners discussed permeable pavers, size of the tree pits, types of trees, types of filling for the tree pits, and maintenance of the trees

Public Comment:



T. Rodde made a motion to Continue approve the application with provisos R. Umphenour seconded the motion. The vote was 3-0 (Y: TR, DB, RU) (N: None) (Abs: None). Provisos were as follows:

- Detail of the cross section of the pit
- A better representation in plan of the size of the tree pits
- Which pits will be open, which will have tree grates
- Sense of what we can ask for regarding future maintenance/conservation of the trees
- Preference to stone dust or decomposed granite over mulch

APP # 25.0271 FPC

5 NECCO STREET

Applicant: Eileen Malvesti

Proposed Work: A signage masterplan for the 5 Necco Street building to be utilized by future tenants.

APP # 25.0274 FPC

5 NECCO STREET

Applicant: Eileen Malvesti

Proposed Work: The proposed sign consists of painted white aluminum, internally lit letters. They will be individually mounted with studs into the mortar joints of the brick on the east side of 5 Necco Street facing the Harborwalk.

I. ADMINISTRATIVE REVIEW/APPROVAL:

*In order to expedite the review process, the commission has delegated the approval of certain work items, such as those involving ordinary maintenance and repair, restoration or replacement, or which otherwise have a minimal impact on a building's appearance, to commission staff pending ratification at its monthly public hearing. **Having been identified as meeting these eligibility criteria and all applicable guidelines, the following applications will be approved at this hearing:***

► Applicants whose projects are listed under this heading **NEED NOT APPEAR** at the hearing. Following the hearing, you will be issued a Determination Sheet to present at the Inspectional Services Department (1010 Massachusetts Avenue) as proof of project approval when applying for permits. ISD personnel will send an electronic copy of your building-permit application to the commission staff for review. (To avoid potential confusion, the text of your building-permit application should be consistent with the project description



given below.) Commission staff will accordingly authorize the execution of the work, attaching any applicable provisos, reflecting the relevant guidelines and precedents.

► **PLEASE NOTE THAT FOLLOWING ISSUANCE OF THE DETERMINATION SHEET NO FURTHER CORRESPONDENCE WILL BE ISSUED FOR THE APPLICATIONS LISTED.** The electronic building-permit application as annotated by commission staff will constitute your Certificate of Appropriateness; this will be valid for two years from the date of the approval letter. The applicant is required to notify the commission of any project changes; failure to do so may affect the status of the approval.

► If you have any questions not addressed by the above information, please contact staff at 617.635.1935 or FortPointLDC@boston.gov Thank you.

S. Goganian made a motion to approve the applications as submitted. L. Smiledge seconded the motion. The vote was 3-0 (Y: LS, SG, DB) (N: None) (Abs: None).

APP # 25.0299 FPC — ~~**12 FARNSWORTH STREET:** Install new exterior logo panel to replace the existing top panel in the same location mounted through the mortar joints. Withdrawn by applicant.~~

APP # 25.0224 FPC **311 SUMMER STREET:** Install new signage: Painted aluminum logo; Non-illuminated blade signs; Vinyl logos on entry doors.

II. RATIFICATION OF 6/13/24 PUBLIC HEARING MINUTES

L. Smiledge made a motion to approve the minutes as submitted. S. Goganian seconded the motion. The vote was 3-0 (Y: SG, LS, DB) (N: None) (Abs: None).

III. STAFF UPDATES

VI. ADJOURNMENT: 6:30 PM