

SINGLE-FAMILY RENOVATION & ADDITIONS

18 COMMONWEALTH AVENUE, BOSTON, MA 02116



ZONING SUMMARY

ZONING CODE ANALYSIS - 18 COMMONWEALTH AVE., BOSTON
ZONE: H-3-65

Use Regulations: Section Table	
Existing	Proposed
Multi-family - 11 UNITS	Single-family - 1 UNIT

Dimensional Regulations: Table					
	Code Requirement		Existing Condition	Proposed Project	Notes
	Use 1	Any Other Use			
Any Dwelling					
Lot Area Minimum	NONE				
Min Lot Area for Additional Units	NONE				
Total Required Lot Size	NONE		2,366 SF	2,366 SF	
Min Required Lot Width and Frontage	NONE		19.0'	19.0'	
Max FAR	3.00		3.38	3.21	
Max Building Height / Stories	65'		66.0'	66.0'	
Usable Open Space	50 SF / UNIT		34 SF / UNIT	905 SF / UNIT	
Min Front Yard	20'		20'	20'	
Min Side Yard	0'		0'	0'	
Min Rear Yard	31.1'		34.4'	31.1'	
Max Use of Rear Yard					

Overlays:
GROUND WATER OVERLAY DISTRICT
RESTRICTED PARKING
BACK BAY ARCHITECTURAL DISTRICT

Other Non-Dimensional Zoning Issues:
EX'G PARKING - 2 SPACES
REQUIRED - 0 SPACES
PROPOSED - 2 SPACES

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 01-03-2025
Drawn By: DF

Drawing Name
COVER SHEET

Sheet No.
A-0

CODE SUMMARY

EX'G TYPE 3B CONSTRUCTION
EX'G MULTI-FAMILY (11 DWELLING UNITS)
PROPOSED R-3 USE GROUP (SINGLE-FAMILY)
EX'G NON-SPRINKLERED AND ALARMED
PROPOSED SPRINKLERED AND ALARMRED
ZONE: MFR, SOUTH END

SOIL TESTING

NOTE: THERE HAS BEEN NO SOIL TESTING PROVIDED TO THIS OFFICE FOR THIS PROJECT. THE DESIGNING ARCHITECT OR STRUCTURAL ENGINEER ACCEPTS NO RESPONSIBILITY FOR EXISTING SOIL CONDITIONS. ANY SOIL BEARING CAPACITY OF THIS FOUNDATION SYSTEM IS DESIGNED BASED ON A 2 TON MINIMUM SOIL BEARING CAPACITY. IT SHALL BE THE CONTRACTORS OR OWNERS' RESPONSIBILITY TO DETERMINE SUITABLE SOIL CONDITIONS AND VERIFY THE BEARING PRESSURE. IF A SUITABLE SOIL THAT CAN WITHSTAND A 2 TON BEARING CAPACITY IS NOT AVAILABLE, THIS OFFICE SHOULD BE CONTACTED BY THE CONTRACTOR OR OWNER FOR A FOUNDATION REDESIGN.

KEY

- SD SMOKE DETECTOR
- HD HEAT DETECTOR
- CO CARBON MONOXIDE DETECTOR
- 1 1 HOUR WALL
- FAN FAN
- # DOOR TYPE
- ? WINDOW TYPE
- 1 1 HOUR CLG. ABOVE
- NEW WALL
- EX'G WALL TO REMAIN
- WALL TO BE REMOVED

GENERAL NOTES:

CONTRACTOR RESPONSIBILITY-
CONTRACTOR IS SOLELY RESPONSIBLE FOR:

- 1. VIEWING SITE AND INCLUDING ANY SPECIAL CONDITIONS NECESSARY TO PERFORM THE WORK AS DESCRIBED IN THE DRAWINGS.
- 2. ESTABLISHING CONTROL OF THE SITE VIA SURVEY, AND LAYOUT.
- 3. OBTAINING AND PAYING FOR ALL PERMITS.
- 4. PAYING FOR ALL TEMPORARY UTILITIES AND FACILITIES.
- 5. CHECKING AND CONFIRMING ALL DIMENSIONS, AND LAYOUTS.
- 6. SCHEDULING AND SEQUENCING.
- 7. CONSTRUCTION MEANS, METHODS AND TECHNIQUES
- 8. MAINTAINING DRAWINGS AND PERMITS ON SITE.
- 9. JOB SITE SAFETY
- 10. COORDINATION BETWEEN TRADES, AND SUPPLIERS.
- 11. PROVIDE SCHEDULE TO OWNER AND ARCHITECT,
- 12. PROVIDE A SCHEDULE OF VALUES TO THE OWNER AND ARCHITECT.
- 13. TEMPORARY HEAT, ICE AND SNOWPLOWING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 14. SITE CLEANLINESS AND CONFORMANCE TO NFPA 241 REQUIREMENTS.
- 15. REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
- 16. GIVING WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

REVIEW OF WORK BY DESIGNERS-

CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE PROJECT STARTS.

CONTRACTOR SHALL NOTIFY ARCHITECT, ONE WEEK PRIOR TO:

- 17. POURING CONCRETE
- 18. INSULATING
- 19. INSTALLING DRYWALL
- 20. FINAL INSPECTION

SHOP DRAWINGS-

ALL SHOP DRAWINGS SHALL BE SUBMITTED 30 DAYS AFTER CONTRACT AWARD.

GENERAL CONTRACTOR SHALL APPROVE SHOP DRAWINGS, PRIOR TO SUBMITTING TO ARCHITECT OR ENGINEER.

NON SUBMISSION DOES NOT CONSTITUTE APPROVAL OF ANY WORK.

NO EXCEPTIONS TAKEN DOES NOT RELIEVE THE CONTRACTOR OF PERFORMING ANY OTHER WORK ON THE DRAWINGS.

CONTRACTOR SHALL EXPECT A MINIMUM OF 2 WEEKS FOR DESIGNERS' REVIEW TIME.

ANY VARIANCE FROM THE ORIGINAL DESIGN SHALL BE NOTED.

ANY SUBSTITUTION NOT INDICATED SHALL NOT CONSTITUTE APPROVAL OF A CHANGE.

SHOP DRAWINGS ARE NOT COORDINATION DRAWINGS.

DESIGNERS ARE NOT RESPONSIBLE FOR DIMENSIONS.

CONTRACTOR TO ENSURE MATERIALS AND ASSEMBLIES ARE COMPATIBLE AND ACCEPTABLE TO THE MANUFACTURER. ALL ASSEMBLY MATERIALS SHALL BE FROM A SINGLE SOURCE AS MUCH AS POSSIBLE.

REQUEST FOR INFORMATION -

ONLY RFIs SENT THROUGH BY THE OWNER AND AWARDDING CONTRACTOR WILL BE ANSWERED. SUBCONTRACTORS MUST SUBMIT RFIs THROUGH THE GENERAL CONTRACTOR.

BIDDING PHASE - OWNER AND AWARDDING CONTRACTOR ARE RESPONSIBLE FOR COMPILING AND AGGREGATING RFIs AND SUBMITTING TO THE ARCHITECT OR DESIGNER AT ONE TIME ONLY. ARCHITECT OR DESIGNER HAS ONE WEEK TO RESPOND. QUESTIONS MUST BE COMPLETE , NOT PIECEMEAL AND SHOULD BE SUBMITTED BY CSI DIVISION.

CHANGE ORDERS-

CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY ACQUAINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.

DESIGNER SHALL BE NOTIFIED OF ANY CHANGE TO THE DRAWINGS, UNFORESEEN FIELD CONDITIONS OR DISCREPANCIES PRIOR TO PERFORMING WORK.

ANY PROPOSED CHANGES SHALL BE ACCOMPANIED WITH A WRITTEN DESCRIPTION OR A SKETCH FOR CLARIFICATION.

ALL CHANGE ORDERS SHALL BE APPROVED PRIOR TO PERFORMING WORK.

CHANGE ORDERS SHALL BE PRICED EITHER LUMP SUM OR UNIT PRICE OR TIME AND MATERIALS.

ANY SUBSTITUTION REQUEST SHALL BE MADE VIA CHANGE ORDER, AND NOT VIA SHOP DRAWINGS UNLESS AGREED TO.

ANY CHANGE SHALL STATE THE CREDIT OR COST ADD AND/OR ANY CHANGE TO THE SCHEDULE.

REQUISITIONS-

ANY REQUISITION REQUIRED TO BE SIGNED BY THE ARCHITECT SHALL BE SUBMITTED A MINIMUM OF ONE WEEK PRIOR TO BEING SUBMITTED TO THE BANK FOR REVIEW.

CONTRACTOR SHALL PROVIDE RECEIPTS AND INSURANCE CERTIFICATES FOR ANY MATERIALS FOR PAYMENT FOR ANY UNINSTALLED MATERIALS.

WOOD NOTES:

- 1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
- 2. ALL FRAMING LUMBER SHALL BE #2 SPF, OR BETTER, HAVING A MINIMUM:
FB=875 PSI, FV=135 PSI, E=1,300,000 PSI.
- 3. ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
- 4. ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
- 5. PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
- 6. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
- 7. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
- 8. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
- 9. PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
- 10. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
- 11. ALL BUILT-UP BEAMS SHALL BE BOLTED WITH ½" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows;or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

DESIGN CRITERIA:

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE NINTH EDITION OF THE MASSACHUSETTS BUILDING CODE.

DESIGN LIVE LOAD = 40 POUNDS PER SQUARE FOOT

- FLOORS
- PRIVATE DECK

DESIGN SNOW LOAD = 40 POUNDS PER SQUARE FOOT

- WITH SNOW DRIFT
- WHERE APPLICABLE.

WIND LOAD = 128 MILES PER HOUR

SEISMIC: Ss = 0.217
S1 = 0.069

ALL LUMBER SHALL BE #2 SPF, Fb= 875 PSI, Fv=135 PSI.

FOUNDATION NOTES:

- 1. THE FOUNDATION HAS BEEN DESIGNED FOR 4000 PSF ALLOWABLE SOIL BEARING CAPACITY.
- 2. ALL BACKFILL UNDER STRUCTURAL SLABS, MATS, AND FOOTINGS WILL BE ENGINEERED BACKFILL COMPACTED IN SPECIFIC LIFTS TO 95 PERCENT OF MAXIMUM DRY DENSITY, UNLESS OTHERWISE INDICATED OR SPECIFIED.
- 3. ALL EMBANKMENTS AND BACKFILL COMPACTED IN SPECIFIED LIFTS TO 90 PERCENT OF MAXIMUM DRY DENSITY, UNLESS OTHERWISE INDICATED OR SPECIFIED.
- 4. PROVIDE SHEETING, BRACING, AND UNDERPINNING AS REQUIRED TO PRESERVE ADJACENT STRUCTURES.
- 5. FOUNDATIONS SHALL NOT BE POURED IN WATER OR ON FROZEN GROUND.
- 6. VERIFY LOCATIONS AND REQUIREMENTS FOR INSERTS, SLEEVES, CONDUITS, EMBEDMENT AND PENETRATIONS WITH RESPECTIVE TRADES BEFORE PLACING CONCRETE.
- 7. DOWELS FROM FOUNDATIONS INTO PIERS, COLUMNS, BUTTRESSES OR WALLS SHALL BE THE SAME SIZE AND NUMBER AS REINFORCEMENT IN PIERS, COLUMNS, BUTTRESSES OR WALLS ABOVE, EXCEPT AS OTHERWISE SHOWN.
- 8. CONTRACTOR SHALL PROVIDE CONTINUOUS DRAINAGE BY MECHANICAL METHODS TO CONTROL SURFACE AND UNDERGROUND WATER, AS REQUIRED DURING CONSTRUCTION.
- 9. CONTRACTOR SHALL ENSURE THAT GROUND WATER LEVELS UNDER ADJACENT STRUCTURES AND PROPERTIES ARE NOT ALTERED.
- 10. ALL FOUNDATION UNITS (PIERS) SHALL BE CENTERED SUPPORT MEMBERS, UNLESS OTHERWISE NOTED ON PLANS.
- 11. COORDINATE UNDER FLOOR AND PERIMETER DRAIN REQUIREMENTS WITH ARCHITECTURAL, CIVIL AND PLUMBING DRAWINGS AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- 12. ALL BEARING MATERIALS SHALL BE INSPECTED BY THE INDEPENDENT TESTING AGENCY PRIOR TO CONCRETE PLACEMENT. THE INDEPENDENT TESTING AGENCY SHALL DETERMINE THE SUITABILITY OF THE BEARING MATERIAL. FOOTING ELEVATIONS SHALL BE ADJUSTED AS REQUIRED.
- 13. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BEAR A MINIMUM OF 4'-0" BELOW FINAL FINISHED GRADE FOR FROST PROTECTION.
- 14. FOUNDATION WALLS THAT RETAIN EARTH SHALL BE BRACED AGAINST BACKFILLING PRESSURES UNTIL FLOOR & SLAB AT TOP AND BOTTOM ARE IN PLACE.
- 15. WHERE FOUNDATION WALLS ARE TO HAVE EARTH PLACED ON EACH SIDE, PLACE FILL SIMULTANEOUSLY SO AS TO MAINTAIN A COMMON ELEVATION ON EACH SIDE OF THE WALL.
- 16. ALL FOOTING EXCAVATIONS ARE TO BE FINISHED BY HAND.
- 17. SEE THE REQUIREMENTS OF THE SPECIFICATIONS FOR BACKFILLING UNDER OR ADJACENT TO ANY PORTION OF THE BUILDING.
- 18. PROTECT IN-PLACE FOUNDATIONS, SLABS AND ADJACENT STRUCTURES, NEW CONSTRUCTION, STREET UTILITIES FROM FROST PENETRATION OR DAMAGE FROM CONSTRUCTION ACTIVITIES UNTIL THE PROJECT IS COMPLETED.
- 19. SLAB ON GRADE SHALL BEAR DIRECTLY ON A MIN. 12" THICK LAYER OF COMPACTED STRUCTURAL FILL, OR MIN. 6" THICK LAYER OF CRUSHED STONE, PLACED ABOVE PROOFROLLED AND COMPACTED EXISTING FILL, OR ABOVE UNDISTURBED NATURAL TILL. SHOULD BEDROCK BE ENCOUNATED AT OR WITHIN 12" OF BOTTOM OF SLAB, BEDROCK SHALL BE OVER EXCAVATED A MIN. OF 12" BELOW BOTTOM OF SLAB.
- 20. WHERE BEDROCK IS ENCOUNATED AT OR WITHIN 12" OF DESIGN FOOTING GRADE, IT SHOULD BE OVER EXCAVATED A MIN. OF 12" BELOW THE BOTTOM OF PROPOSED FOOTING. BEDROCK EXCAVATIONS SHOULD EXTEND A MIN. OF 12" BEYOND FOOTING EDGE. LOOSE ROCK PIECES SHOULD BE REMOVED WITHIN THE FOOTING BEARING ZONE, AND OPEN BEDROCK JOINTS SHOULD BE CHOKED WITH CRUSHED STONE OR FILLED WITH CONCRETE PRIOR TO PLACING THE SOIL CUSHION.

CONCRETE NOTES:

- 1. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF:
- **3000 PSI** FOR FOUNDATION WALL, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE SURFACES EXPOSED TO THE WEATHER.
- 2. MAXIMUM SLUMP SHALL NOT EXCEED 3"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.

REINFORCING NOTES:

- 1. ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
- 2. ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
- 3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
- 4. ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OR HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
- 5. THE CONTRACTOR SHALL SUBMIT FOUR PRINTS OF SHOP DRAWINGS: SHOWING ALL REINFORCING DETAILS, CHAIR BARS, HIGH CHAIRS, SLAB BOLSTERS, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVED SHOP DRAWINGS FROM THE ARCHITECT OR HIS ENGINEER PRIOR TO THE FABRICATION OF REINFORCEMENT.
- 6. CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:

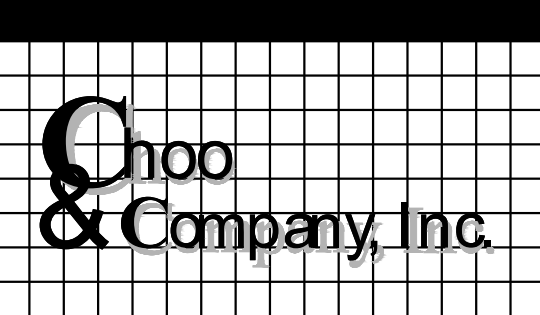
A. FOOTINGS	3 INCHES
B. SIDES OF FOUNDATIONS WALLS. EXPOSED FACES OF FOUNDATIONS. SIDES OF COLUMNS/PIERS, SLABS ON GRADE FROM TOP SURFACE	2 INCHES
C. INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER	1-1/2 INCHES
D. TOP STEEL OF INTERIOR SLABS	1 INCHES
- 7. MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

REMOVALS NOTES:

- 1. DEMOLITION CONTRACTOR IS TO ARRANGE FOR SHUT OFF OF EXISTING UTILITIES. CONTRACTOR SHALL ARRANGE ALL TEMPORARY POWER.
- 2. ALL DEMOLISHED MECHANICAL AND ELECTRICAL ITEMS SHALL BE REMOVED INCLUDING MAIN RUNS AND SERVICE LINES TO SOURCE. ALL SYSTEM LINES ARE NOT SHOWN ON CONSTRUCTION DOCUMENTS.
- 3. VERIFY EXTENT OF ALL CONDITIONS OF DEMOLITION WITH FLOOR PLANS AND SCHEDULED CONSTRUCTION PRIOR TO DEMOLITION. DISCREPANCIES BETWEEN DESIGN CONDITIONS AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT.
- 4. ALL WALLS, SUBSTRUCTURAL FRAMES, PARTITIONS, EQUIPMENT, ETC. INDICATED BY DASHED LINES (---) SHALL BE REMOVED. ALL MECHANICAL, ELECTRICAL, PLUMBING AND OTHER SERVICES WHICH ARE CONTAINED IN THE AREA TO BE REMOVED SHALL ALSO BE REMOVED OR REROUTED. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WITH NEW CONSTRUCTION BEFORE STARTING DEMOLITION.
- 5. ALL EXISTING UNUSED WALL PENETRATIONS IN INTERIOR AND EXTERIOR WALLS ALONG WITH PENETRATIONS LEFT AFTER SELECTIVE DEMOLITION ACTIVITIES SHALL BE INFILLED TO MATCH ADJACENT WALL FINISHES AND THICKNESS AS DIRECTED.
- 6. MAINTAIN CLEAR EXIT PATHS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
- 7. ALL STRUCTURAL ELEMENTS SHALL BE PROTECTED DURING DEMOLITION.
- 8. REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC. SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
- 9. WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER.
- 10. PROTECT ALL EXISTING STRUCTURE, SYSTEMS, FINISHES AND GENERAL CONSTRUCTION THAT ARE TO REMAIN THROUGHOUT THE COURSE OF THE WORK TO PREVENT DAMAGE OR LOSS. ANY SUCH DAMAGE CAUSED DURING THE COURSE OF THIS WORK WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE BEFORE THIS WORK IS CONCLUDED.
- 11. CONTRACTOR IS TO VERIFY UTILITY LINE LOCATIONS AND MAINTAIN THOSE THAT SERVE OTHER PARTS OF THE BUILDING THAT ARE NOT AFFECTED BY THE DEMOLITION.
- 12. ALL WORK WILL BE PERFORMED IN THE BEST WORKMANSHIP POSSIBLE IN ACCORDANCE WITH THAT TRADE'S BEST INDUSTRY STANDARDS.

Location

PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116



One Billings Road Quincy, MA 02171
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No.	Revision Date

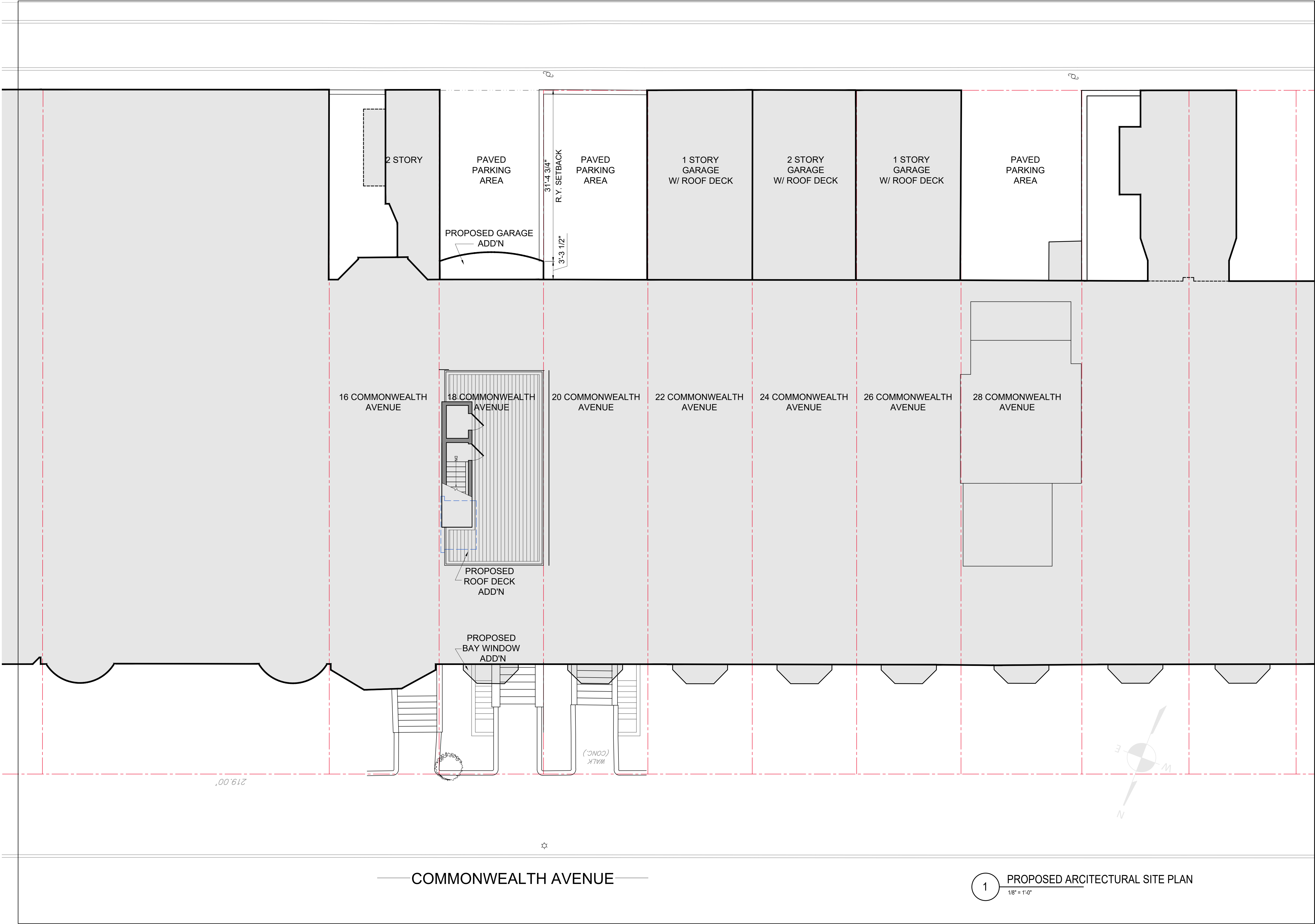
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Drawn By: DF

Drawing Name

GENERAL
NOTES

Sheet No.

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Drawing Name

PROPOSED
ARCHITECTURAL
SITE PLAN

Sheet No.

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COMMONWEALTH AVENUE

1 PROPOSED ARCHITECTURAL SITE PLAN
1/8" = 1'-0"



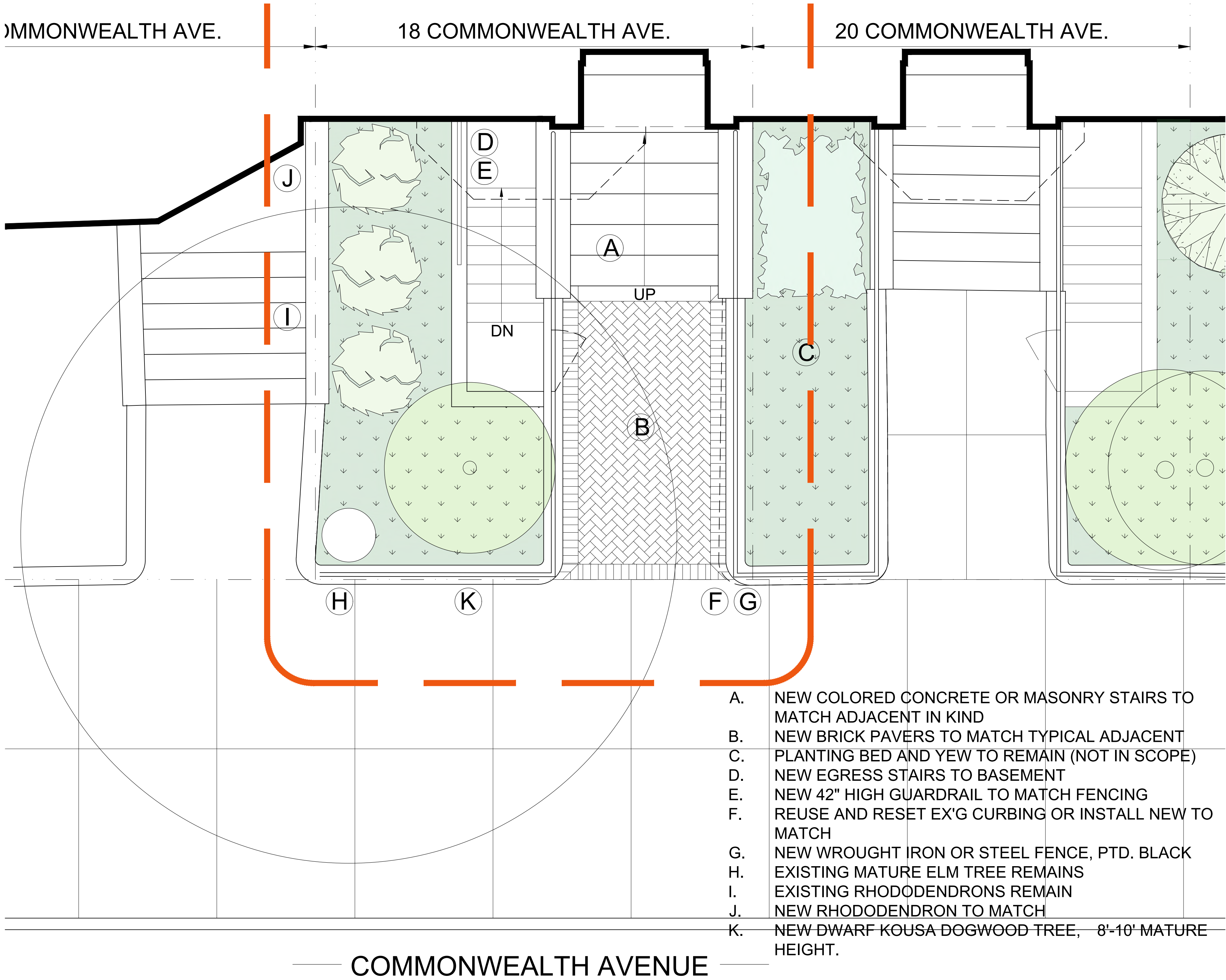
EXISTING FRONT ENTRANCE & GARDEN



20 COMMONWEALTH FRONT ENTRANCE & GARDEN



TYPICAL FRONT GARDEN, FENCING & PAVING



1 PROPOSED FRONT GARDEN PLAN
3/8" = 1'-0"

- A. NEW COLORED CONCRETE OR MASONRY STAIRS TO MATCH ADJACENT IN KIND
- B. NEW BRICK PAVERS TO MATCH TYPICAL ADJACENT
- C. PLANTING BED AND YEW TO REMAIN (NOT IN SCOPE)
- D. NEW EGRESS STAIRS TO BASEMENT
- E. NEW 42" HIGH GUARDRAIL TO MATCH FENCING
- F. REUSE AND RESET EX'G CURBING OR INSTALL NEW TO MATCH
- G. NEW WROUGHT IRON OR STEEL FENCE, PTD. BLACK
- H. EXISTING MATURE ELM TREE REMAINS
- I. EXISTING RHODODENDRONS REMAIN
- J. NEW RHODODENDRON TO MATCH
- K. NEW DWARF KOUSA DOGWOOD TREE, 8'-10' MATURE HEIGHT.

NOTE: ALL PLANTINGS TO BE REVIEWED AND APPROVED BY THE BACK BAY GARDEN CLUB

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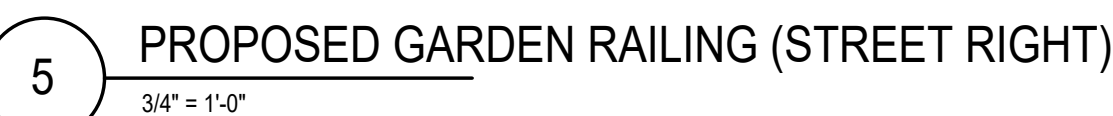
Project No: 2024121
Scale: AS NOTED
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Drawn By: DF

Drawing Name

PROPOSED
FRONT
LANDSCAPE
PLAN

Sheet No.

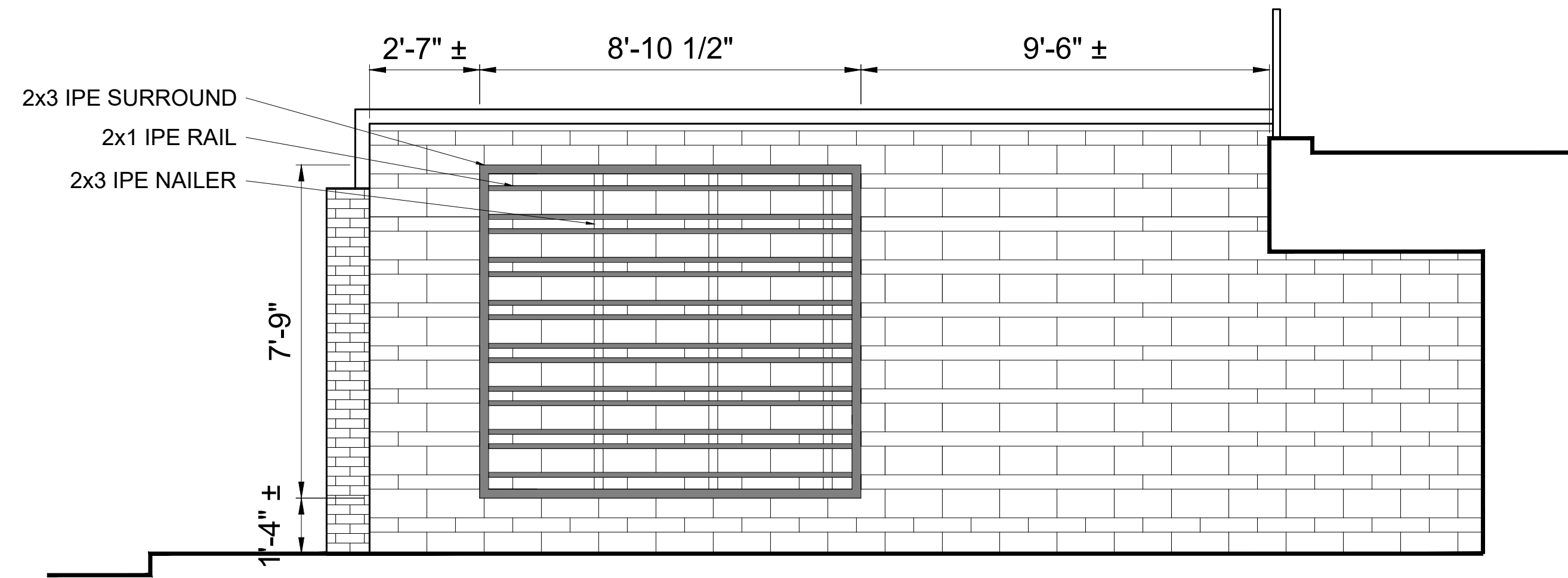
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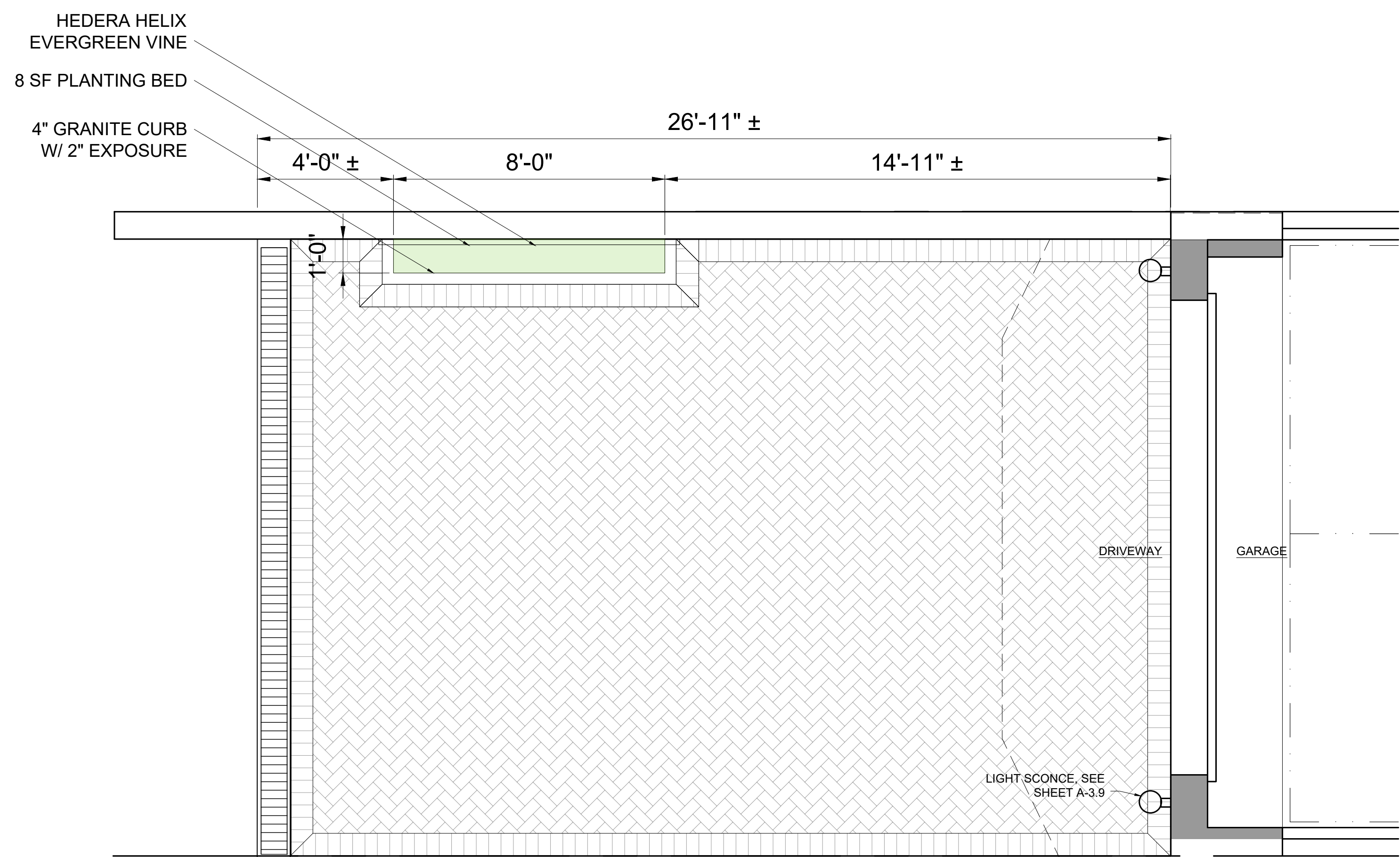
6 PROPOSED GARDEN RAILING (ENTRY STAIR)
3/4" = 1'-0"



L-2



2 PROPOSED TRELLIS ON EXISTING GARDEN WALL
3/4" = 1'-0"



1 PROPOSED REAR YARD LANDSCAPE PLAN
3/8" = 1'-0"



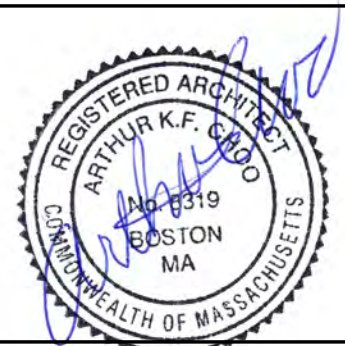
HEDERA HELIX



DAYLILY

Location
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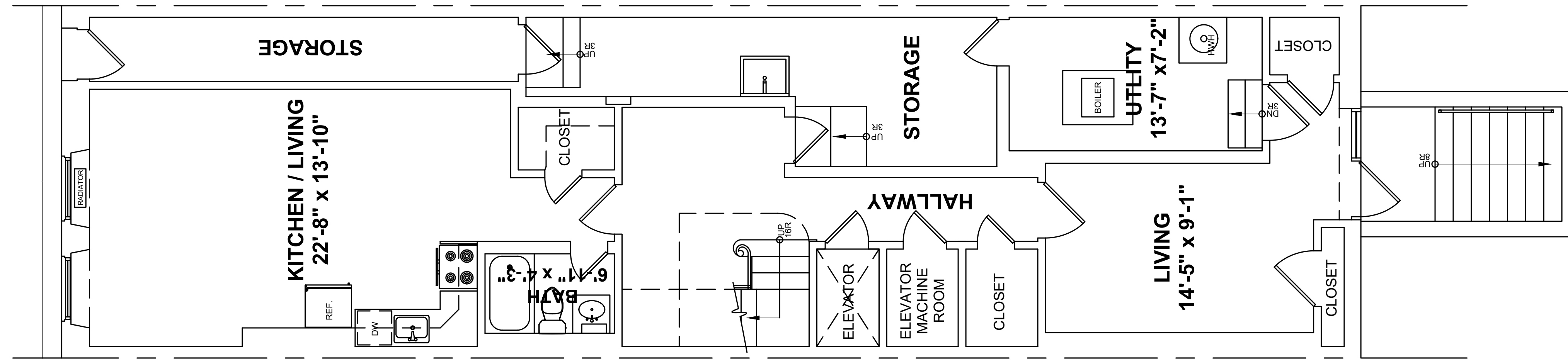


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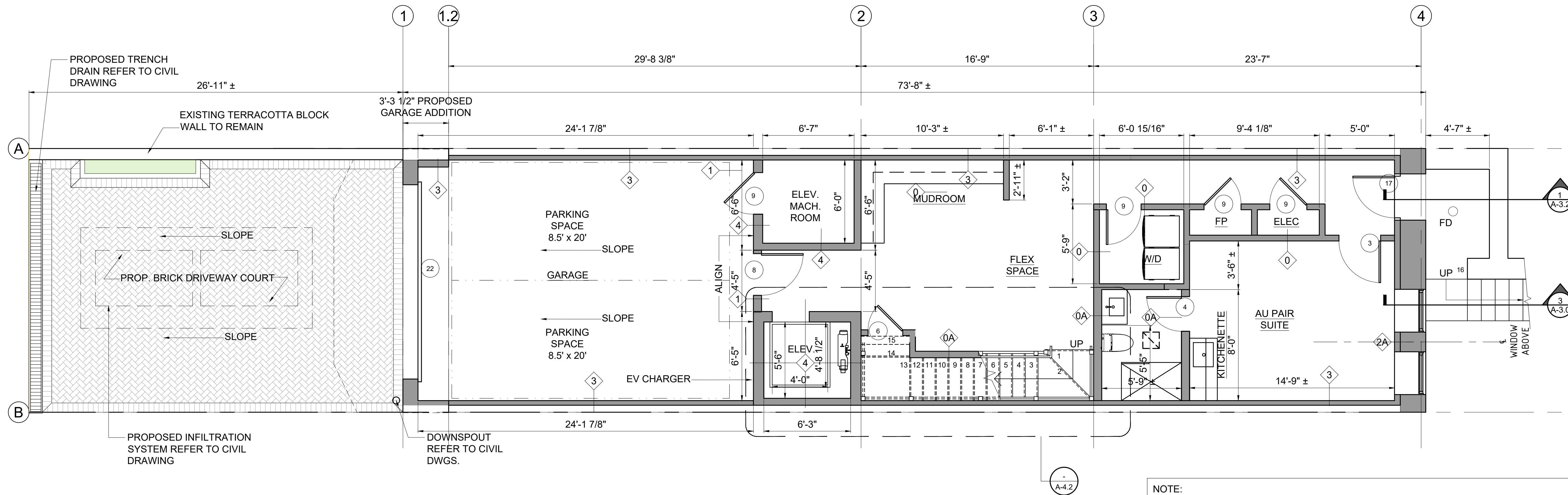
Drawing Name
**PROPOSED
REAR YARD
LANDSCAPE
PLAN & ELEV.**

Sheet No.
L-3



COMMONWEALTH AVENUE

2 EXISTING BASEMENT FLOOR PLAN
1/4" = 1'-0"



COMMONWEALTH AVENUE

1 PROPOSED BASEMENT FLOOR PLAN
1/4" = 1'-0"

- NOTE:
- ALL WOOD IN EXTERIOR WALLS IS REQUIRED TO BE FIRE-RETARDANT TREATED WOOD (FRTW) OR STEEL STUD & BE SEPARATED FROM THE MASONRY BY A 1" AIRSPACE, TYPICAL.
 - ALL WOOD BLOCKING IN CONTACT WITH THE PARTY WALLS IS REQUIRED TO BE PT OR SEPARATED BY A 1" AIRSPACE.

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REGISTERED ARCHITECT
ARTHUR K.F. CHOO
No. 8319
BOSTON
MA
COMMONWEALTH OF MASSACHUSETTS

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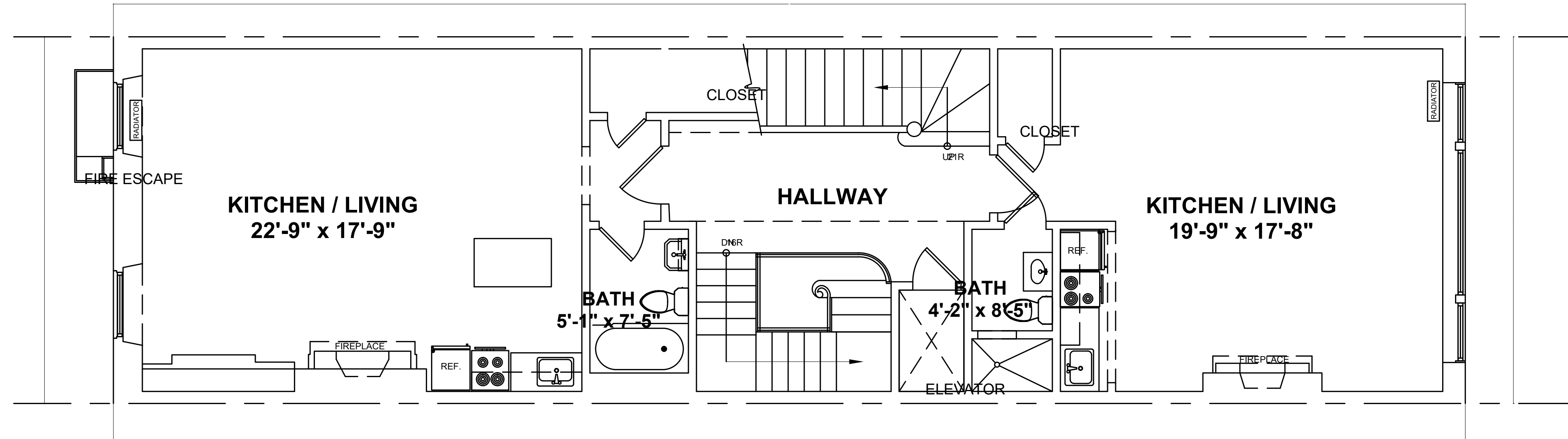
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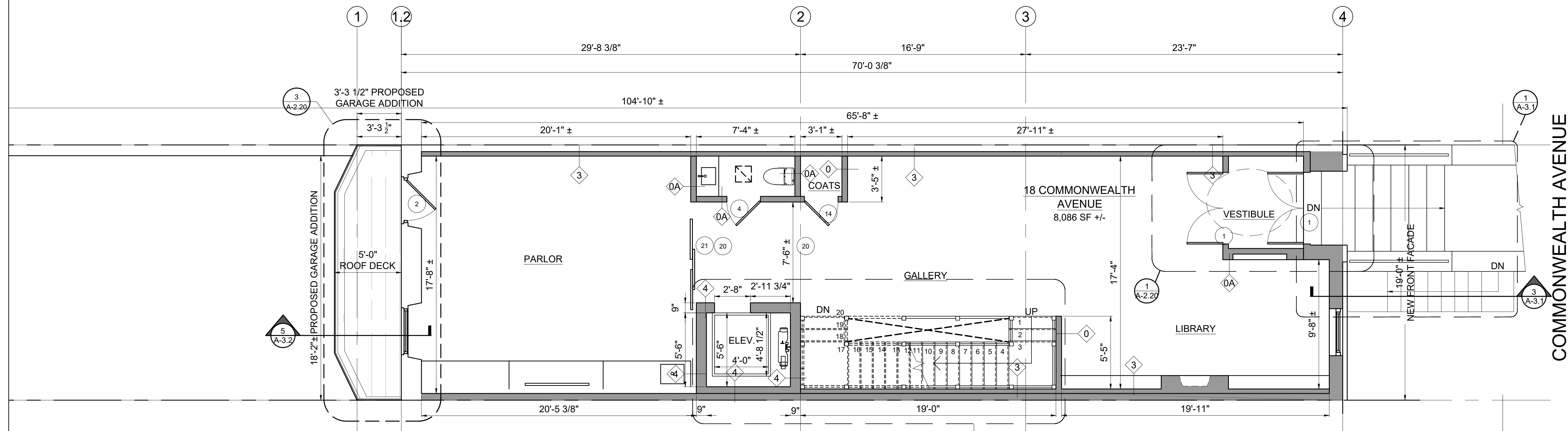
EXISTING & PROPOSED BASEMENT FLOOR PLANS

Sheet No.

A-1.1



1 EXISTING FIRST LEVEL PLAN
1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

NOTE:
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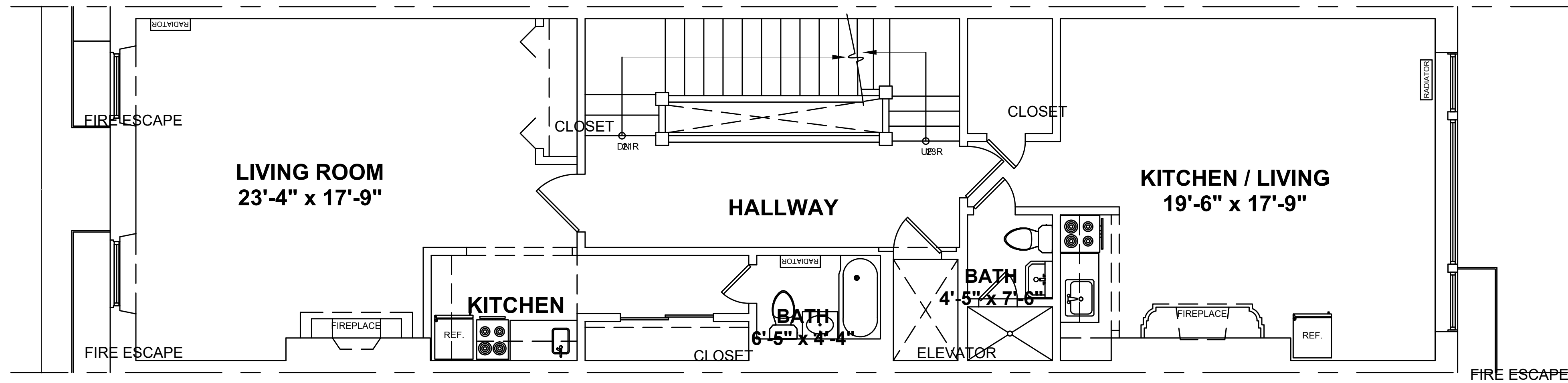


No.	Revision Date

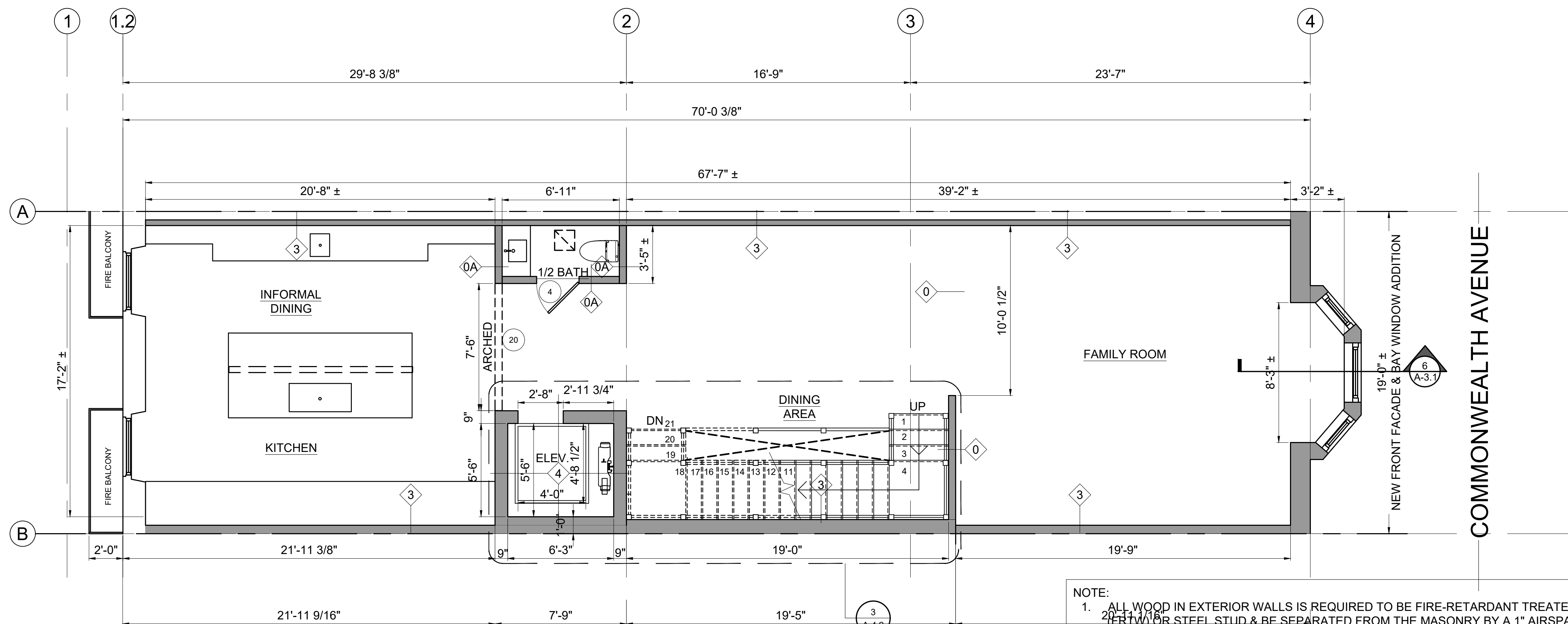
Project No: 2024121
Scale: AS NOTED
Date: 02-12-2025
Drawn By: DF

Drawing Name
EXISTING & PROPOSED FIRST FLOOR PLANS

Sheet No.
A-1.2



1 EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

- NOTE:
1. ALL WOOD IN EXTERIOR WALLS IS REQUIRED TO BE FIRE-RETARDANT TREATED WOOD (FRTW) OR STEEL STUD & BE SEPARATED FROM THE MASONRY BY A 1" AIRSPACE, TYPICAL.
 2. ALL WOOD BLOCKING IN CONTACT WITH THE PARTY WALLS IS REQUIRED TO BE PT OR SEPARATED BY A 1" AIRSPACE.

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo
& Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

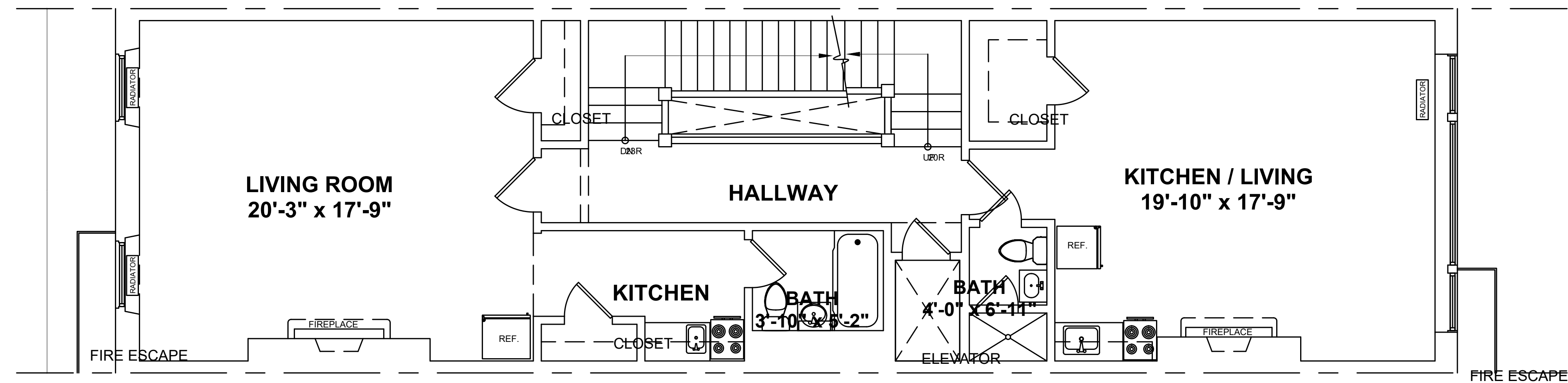


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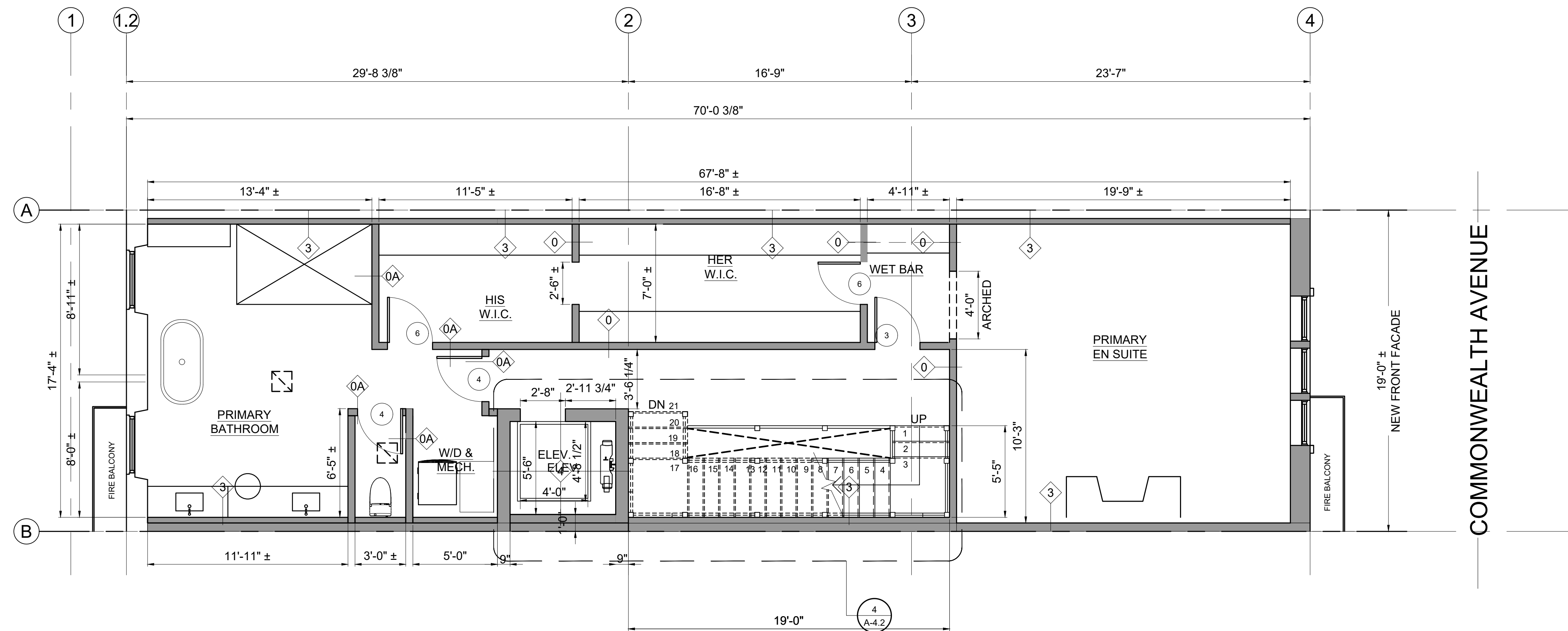
Project No: 2024121
Scale: AS NOTED
Date: 02-12-2025
Drawn By: DF

Drawing Name
**EXISTING
& PROPOSED
SECOND FLOOR
PLANS**

Sheet No.
A-1.3



2 EXISTING THIRD FLOOR PLAN
1/4" = 1'-0"



2 PROPOSED THIRD FLOOR PLAN
1/4" = 1'-0"

NOTE:
1. ALL WOOD IN EXTERIOR WALLS IS REQUIRED TO BE FIRE-RETARDANT TREATED WOOD (FRTW) OR STEEL STUD & BE SEPARATED FROM THE MASONRY BY A 1" AIRSPACE, TYPICAL.
2. ALL WOOD BLOCKING IN CONTACT WITH THE PARTY WALLS IS REQUIRED TO BE PT OR SEPARATED BY A 1" AIRSPACE.

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

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& Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

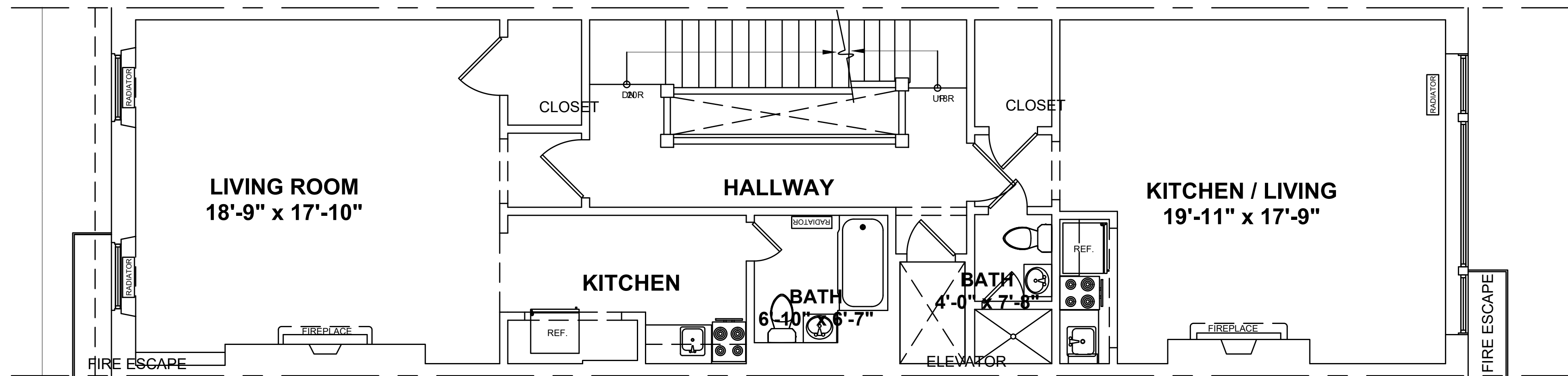


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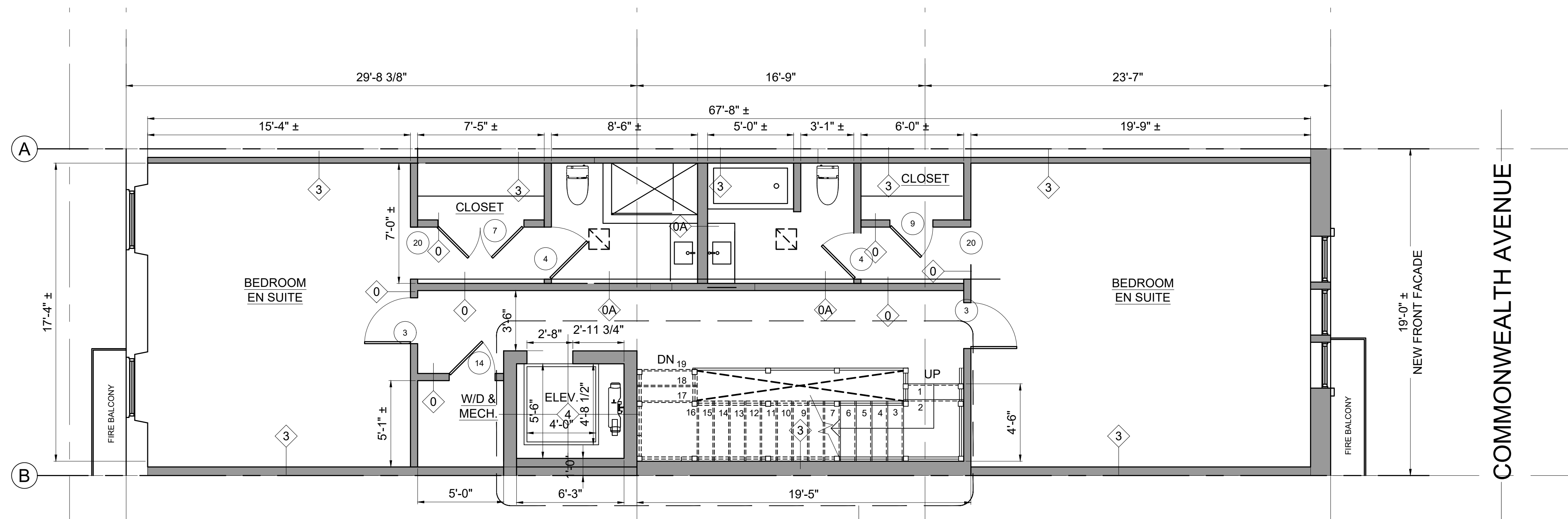
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Scale: AS NOTED
Date: 02-12-2025
Drawn By: DF

Drawing Name
**EXISTING
& PROPOSED
THIRD FLOOR
PLANS**

Sheet No.
A-1.4



2 EXISTING FOURTH FLOOR PLAN
1/4" = 1'-0"



1 PROPOSED FOURTH FLOOR PLAN
1/4" = 1'-0"

- NOTE:
- ALL WOOD IN EXTERIOR WALLS IS REQUIRED TO BE FIRE-RETARDANT TREATED WOOD (FRTW) OR STEEL STUD & BE SEPARATED FROM THE MASONRY BY A 1" AIRSPACE, TYPICAL.
 - ALL WOOD BLOCKING IN CONTACT WITH THE PARTY WALLS IS REQUIRED TO BE PT OR SEPARATED BY A 1" AIRSPACE.

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
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No.	Revision Date

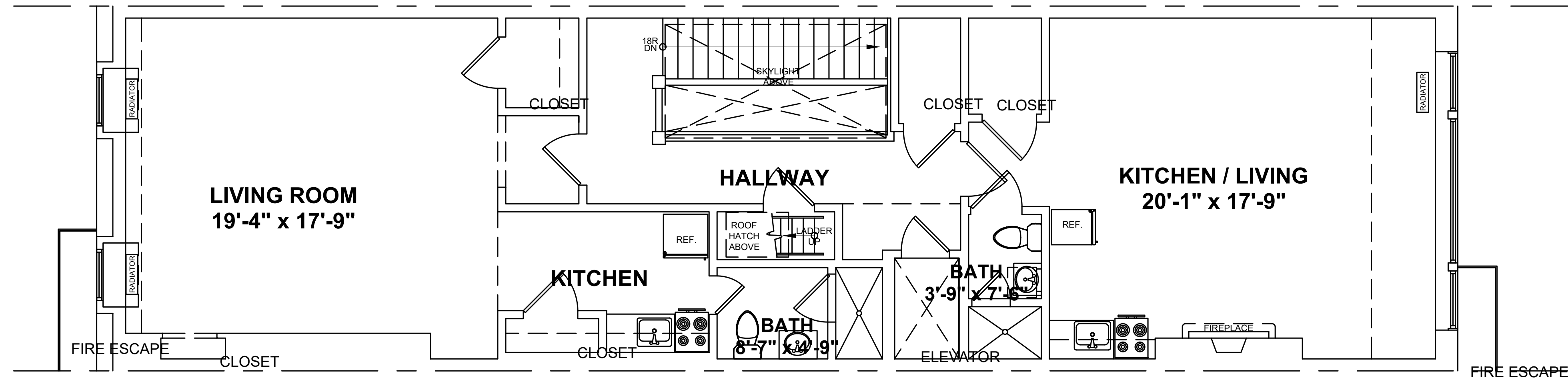
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Date: 02-12-2025
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Drawing Name

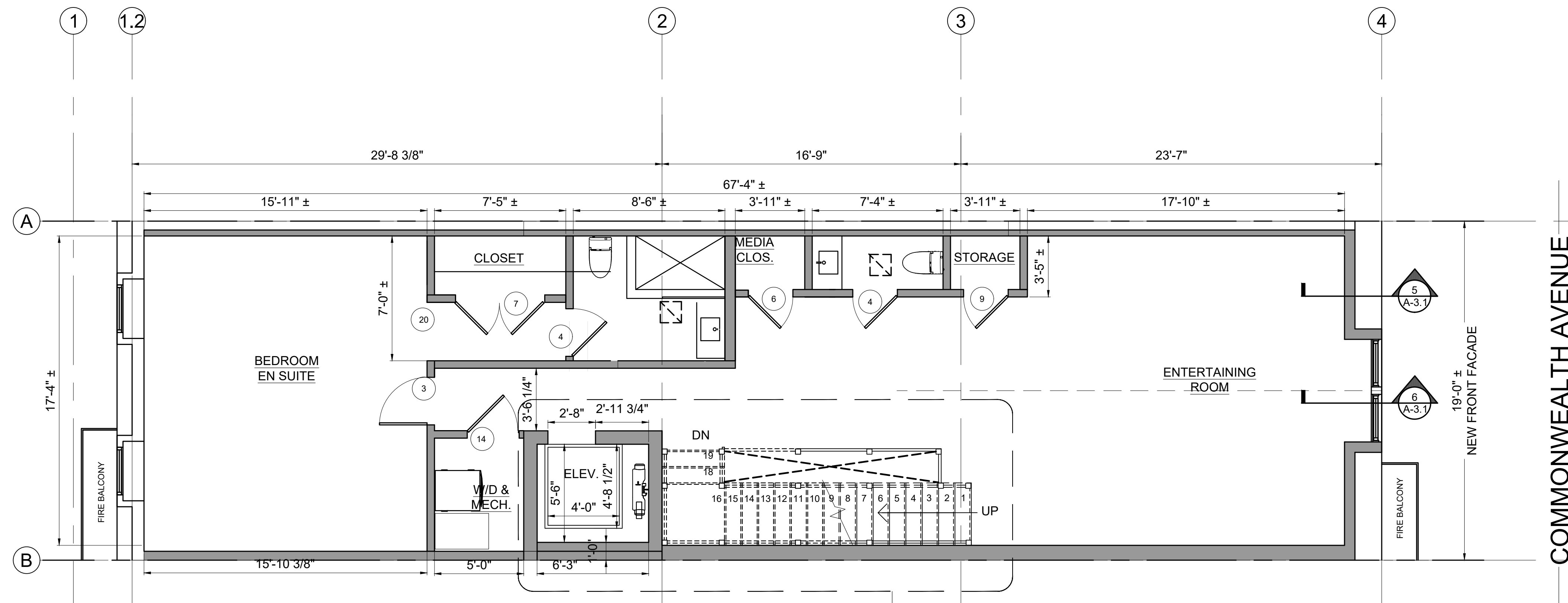
**EXISTING FOURTH
& PROPOSED
FLOOR PLANS**

Sheet No.

A-1.5



2 EXISTING FIFTH FLOOR PLAN
1/4" = 1'-0"



2 PROPOSED FIFTH FLOOR PLAN
1/4" = 1'-0"

- NOTE:
- ALL WOOD IN EXTERIOR WALLS IS REQUIRED TO BE FIRE-RETARDANT TREATED WOOD (FRTW) OR STEEL STUD & BE SEPARATED FROM THE MASONRY BY A 1" AIRSPACE, TYPICAL.
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Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo
& Company, Inc.

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617-786-7727 fax 617-786-7715



No. Revision Date

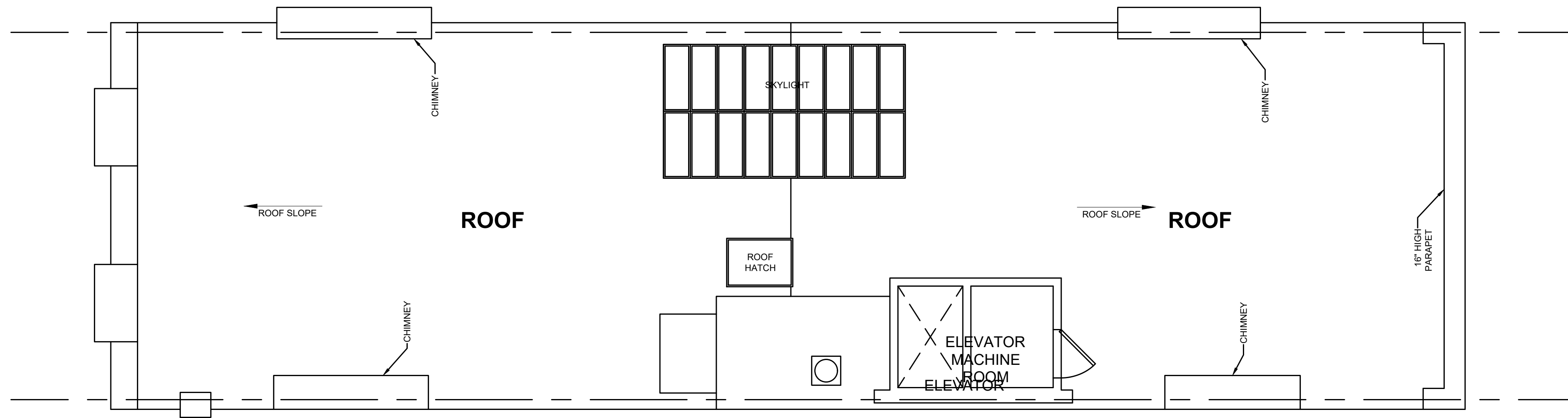
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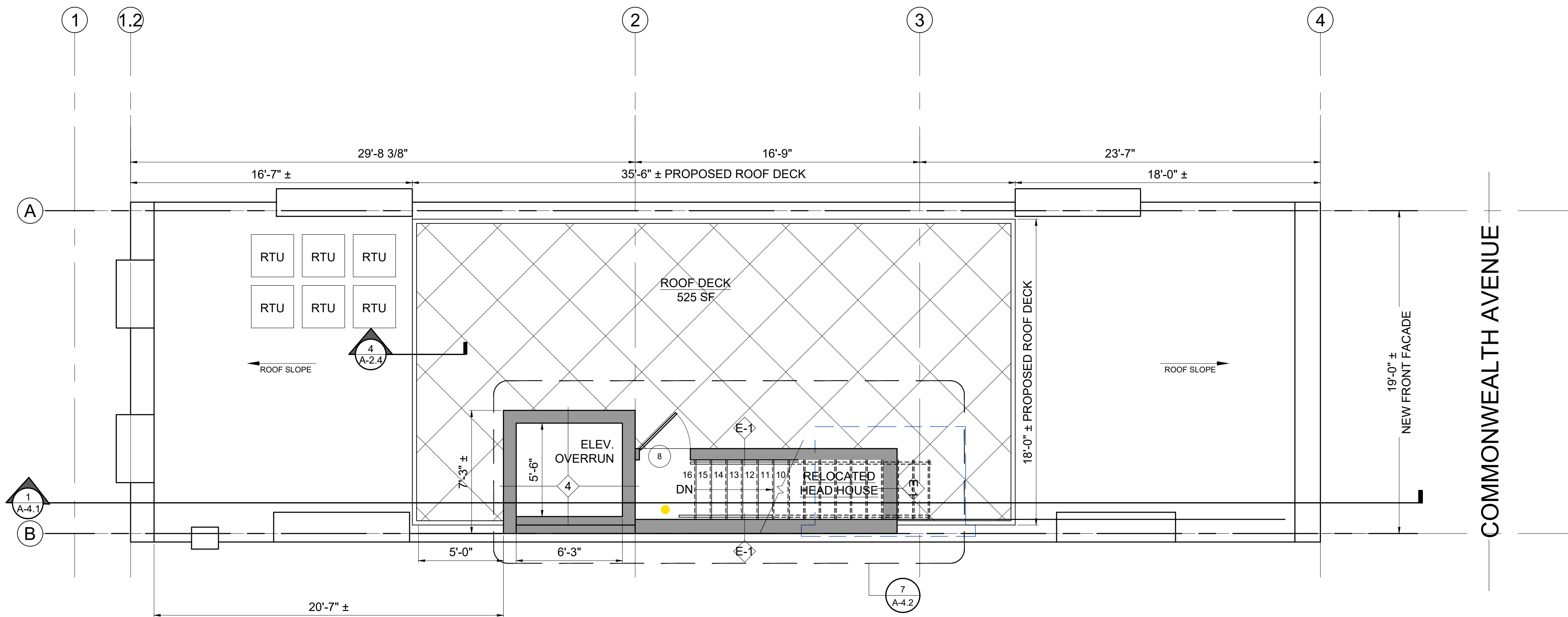
**PROPOSED &
EXISTING FIFTH
FLOOR PLANS**

Sheet No.

A-1.6



2 EXISTING ROOF PLAN
1/4" = 1'-0"



3 PROPOSED ROOF PLAN
1/4" = 1'-0"

NOTE:
1. ALL WOOD IN EXTERIOR WALLS IS REQUIRED TO BE FIRE-RETARDANT TREATED WOOD (FRTW) OR STEEL STUD & BE SEPARATED FROM THE MASONRY BY A 1" AIRSPACE, TYPICAL.
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Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

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One Billings Road Quincy, MA 02171
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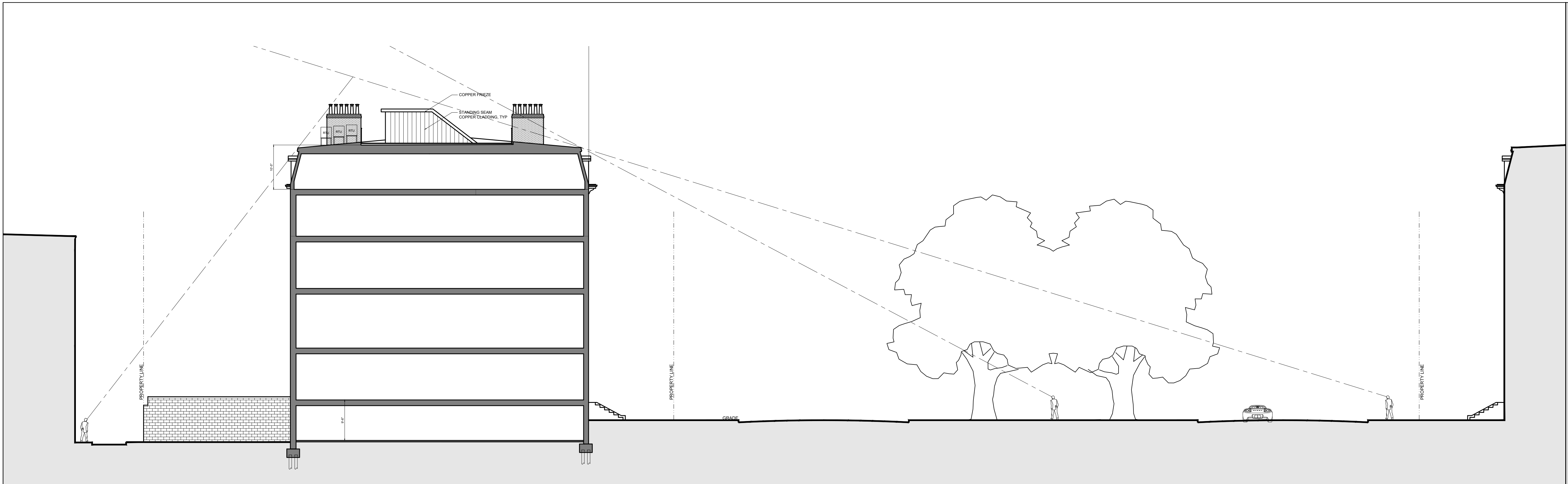


No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 02-12-2025
Drawn By: DF

Drawing Name
PROPOSED & EXISTING ROOF PLANS

Sheet No.
A-1.7



1 SITE SECTION THROUGH COMMONWEALTH AVENUE MALL
3/16" = 1'-0"



2 EXISTING FRONT ELEVATION 16-28 COMMONWEALTH AVENUE
3/32" = 1'-0"



3 PROPOSED FRONT ELEVATION 16-28 COMMONWEALTH AVENUE
3/32" = 1'-0"

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo
& Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Revision Date

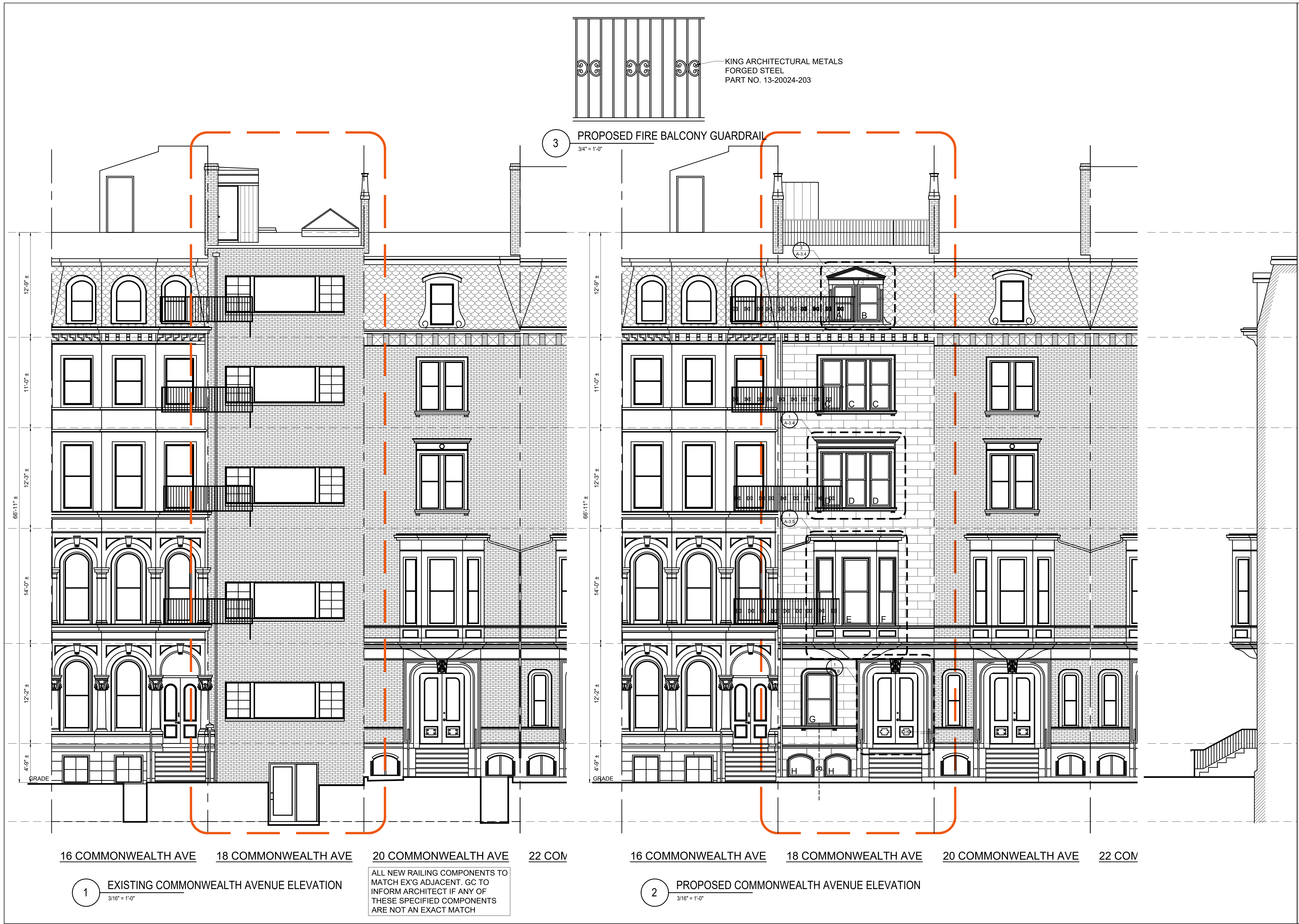
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Scale: AS NOTED
Date: 02-12-2025
Drawn By: DF

Drawing Name

SITE
SECTION ;
EXISTING &
PROPOSED ELEV

Sheet No.

A-2.0



Location

PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo & Company, Inc.

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617-786-7727 fax 617-786-7715

REGISTERED ARCHITECT
ARTHUR K.F. CHOO
JAN 1999
BOSTON
MA
COMMONWEALTH OF MASSACHUSETTS

No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 02-12-2025
Drawn By: DF

Drawing Name

EXISTING & PROPOSED FRONT ELEVATIONS

Sheet No.

A-2.1

- 1. REPAIR / REPLACE COPPER GUTTERS & DOWNSPOUTS IN KIND
- 2. REPAIR / REPLACE WOOD TRIM IN KIND
- 3. REPLACE DAMAGED SLATES IN KIND
- 4. REMOVE FIRE BALCONIES AS PERMITTED BY BUILDING CODE
- 5. CLEAN ALL MASONRY W/ WATER & GENTLE DETERGENT
- RE-POINT BRICK AS REQUIRED *
- 6. NEW DOUBLE HUNG WINDOWS

* MORTAR MIX
1 PART CEMENT
2 PARTS LIME
7-9 PARTS SAND



COMMONWEALTH AVE 20 COMMONWEALTH AVE 18 COMMONWEALTH AVE 16 COMMONWEALTH AVE

1 EXISTING REAR ELEVATION
3/16" = 1'-0"



NWEALTH AVE 20 COMMONWEALTH AVE 18 COMMONWEALTH AVE 16 COMMONWEALTH AVE

2 PROPOSED REAR ELEVATION
3/16" = 1'-0"

Location

PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo
& Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

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Drawing Name

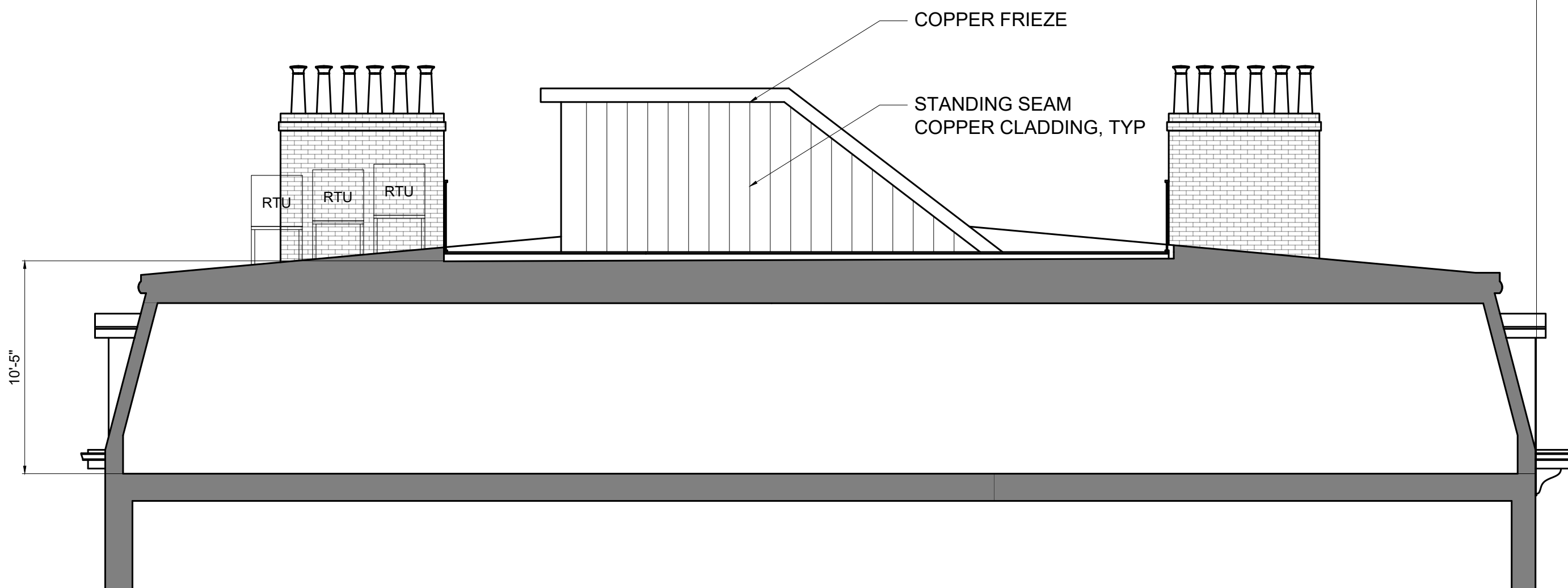
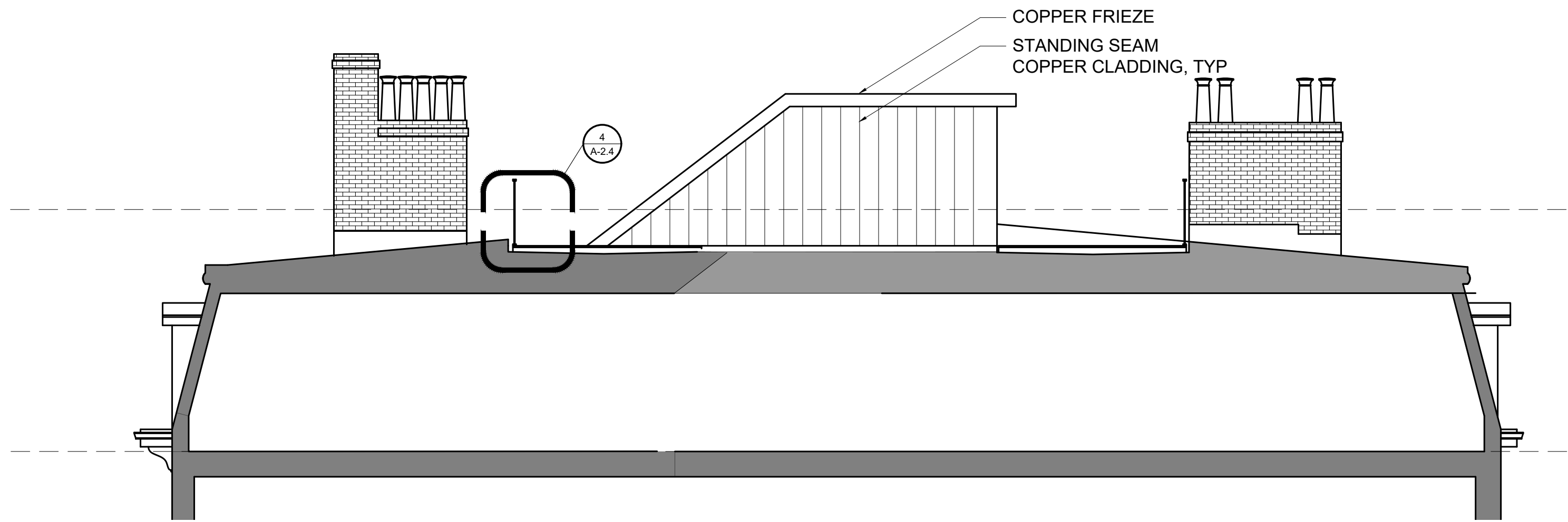
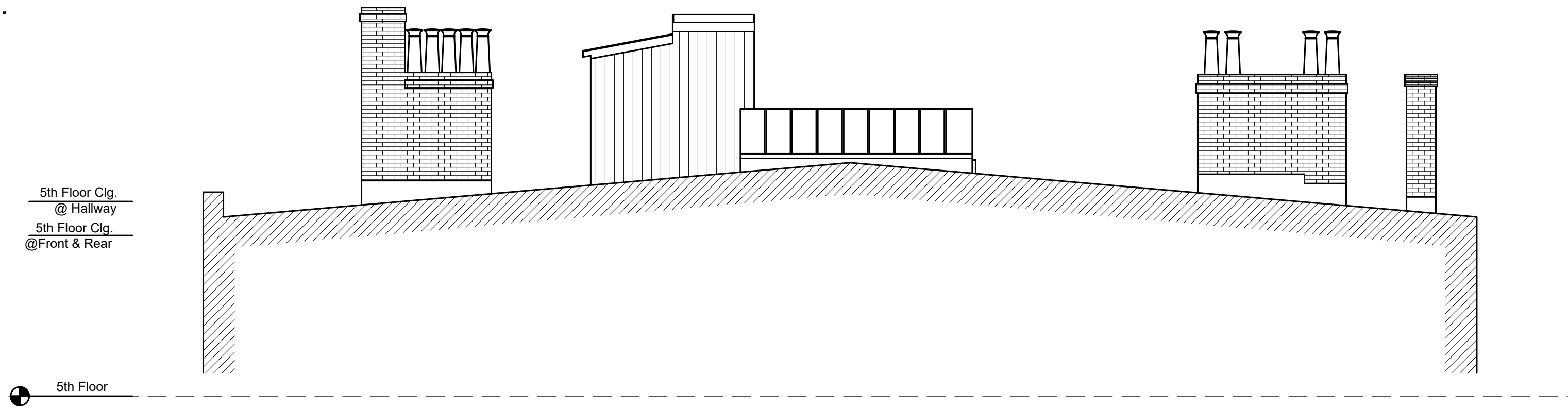
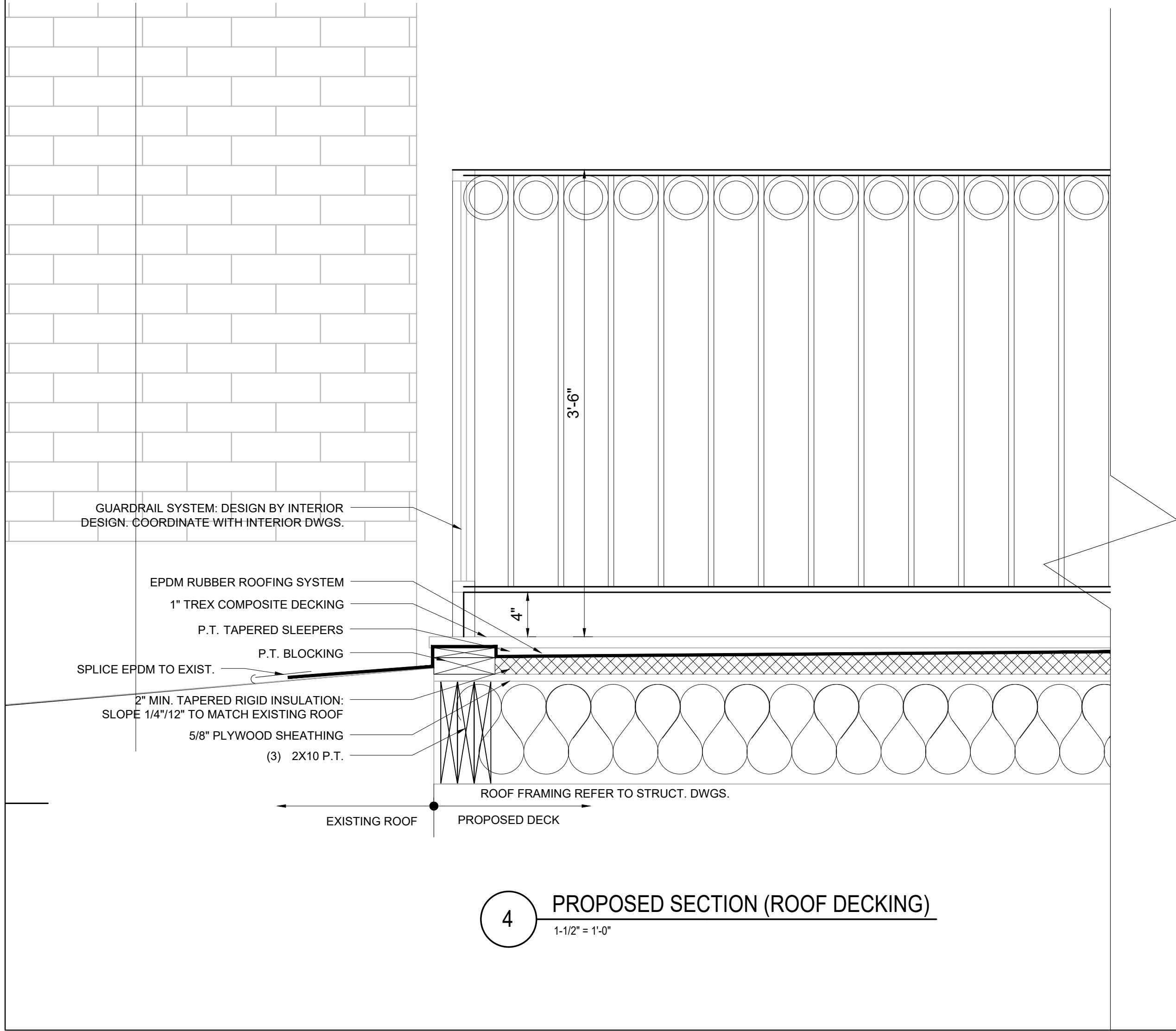
EXISTING
REAR
ELEVATION &
IMAGES & NOTES

Sheet No.

A-2.3



GOOGLE MAPS IMAGE



Location

PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

REGISTERED ARCHITECT
ARTHUR K.F. CHOO
JAN 1999
BOSTON
MA
COMMONWEALTH OF MASSACHUSETTS

No.	Revision Date

Project No: 2024121
Scale: AS NOTED
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Drawn By: DF

Drawing Name

PROPOSED SECTIONS & ROOF DECK PLAN

Sheet No.

A-2.4

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& Company, Inc.**

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617-786-7727 fax 617-786-7715

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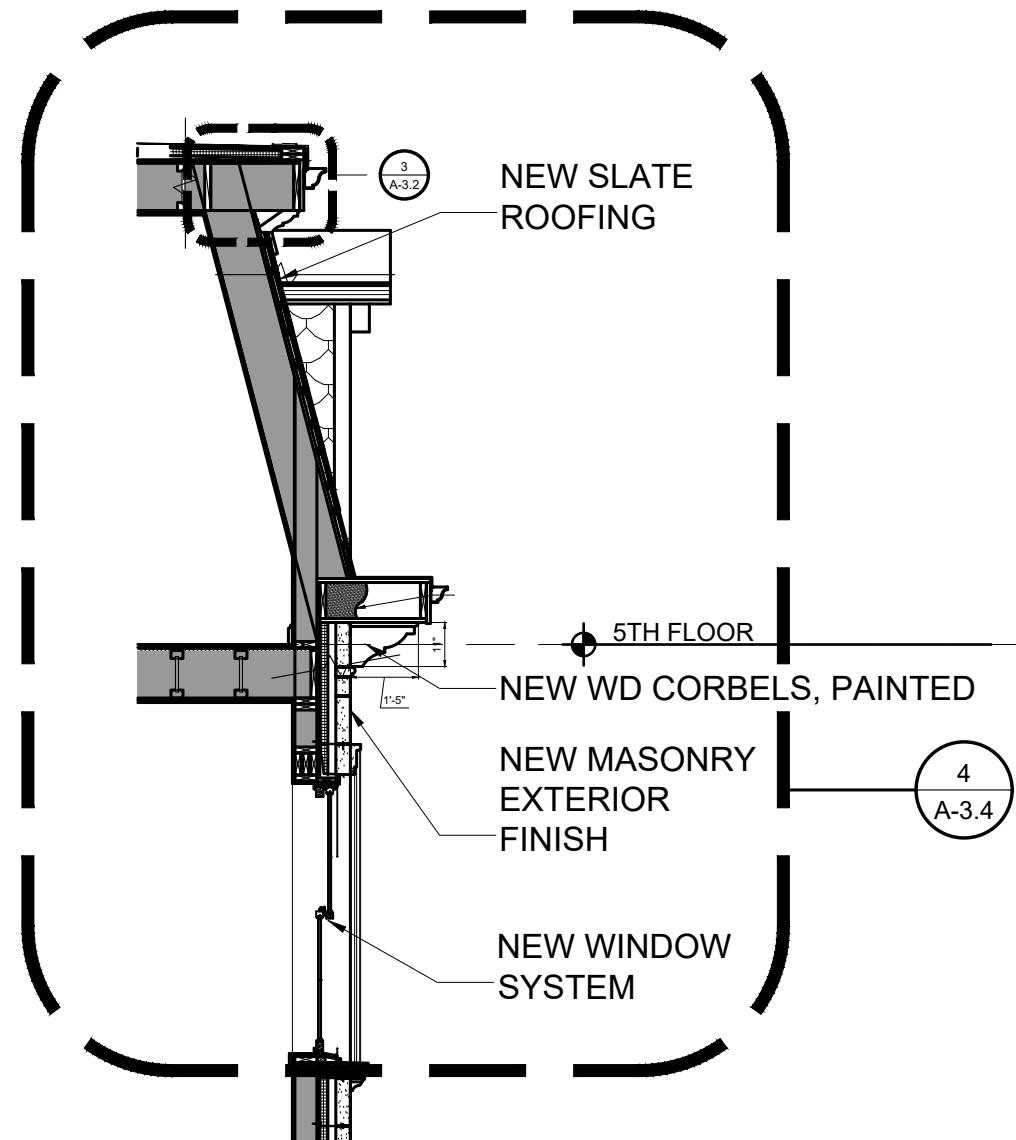
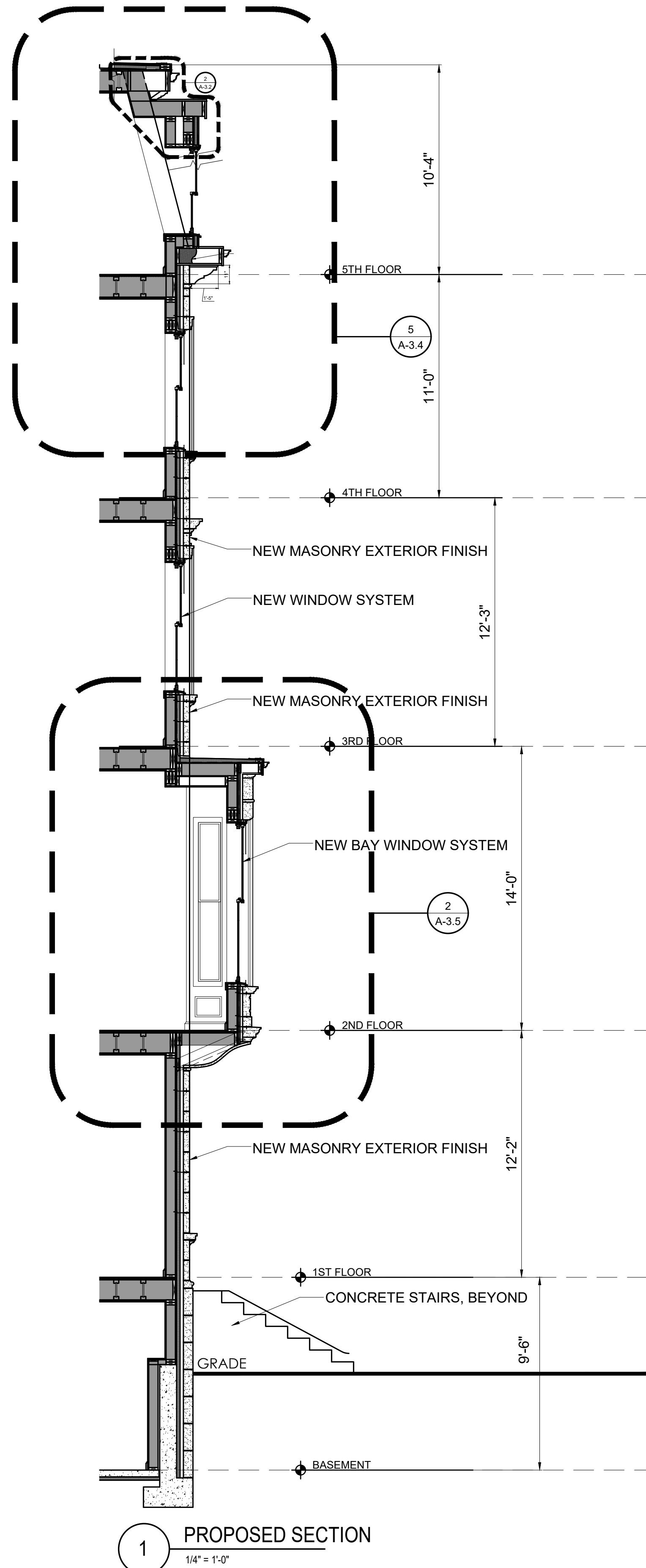
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Scale: AS NOTED
Date: 02-12-2025
Drawn By: DF

Drawing Name

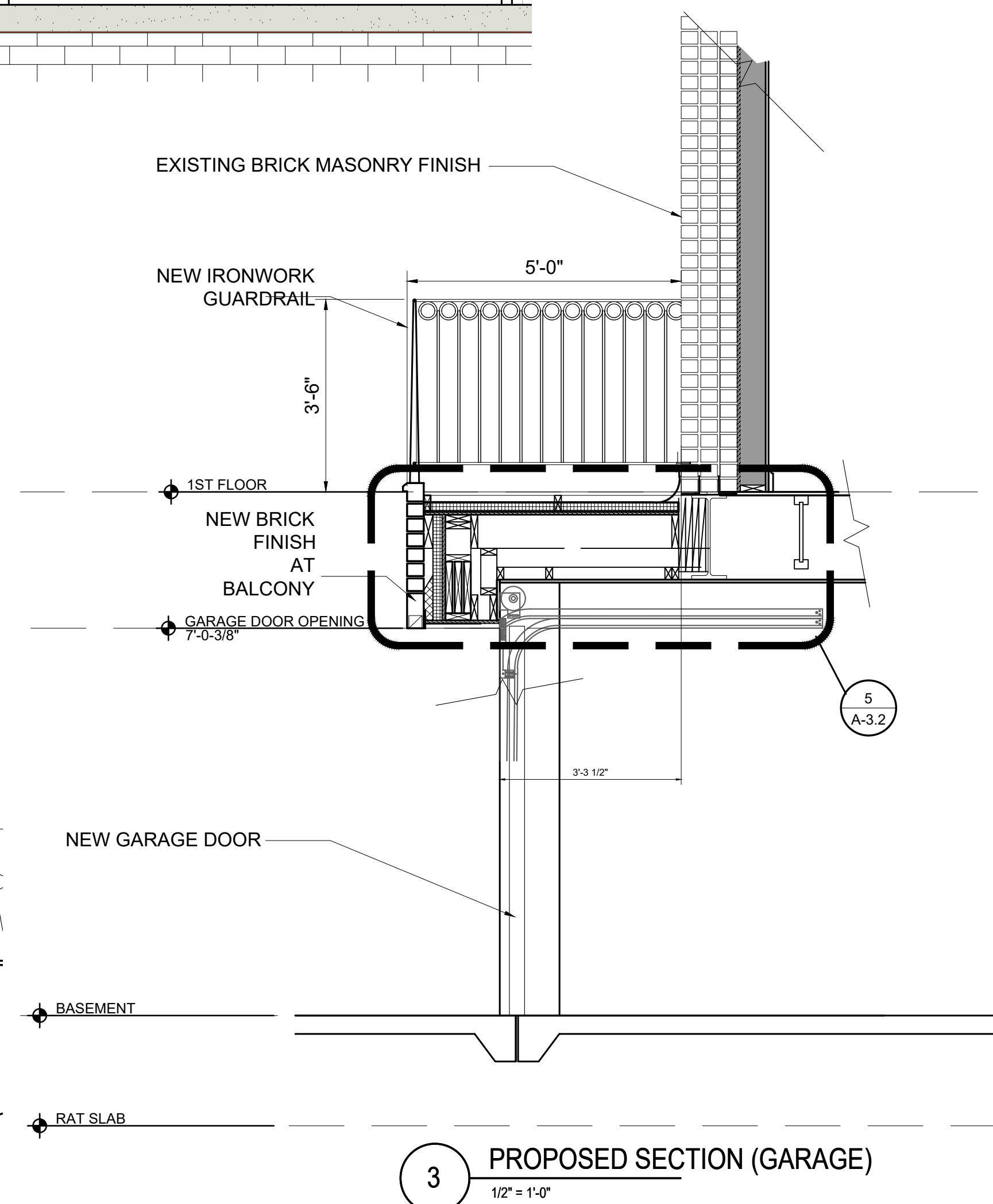
PROPOSED
SECTIONS

Sheet No.

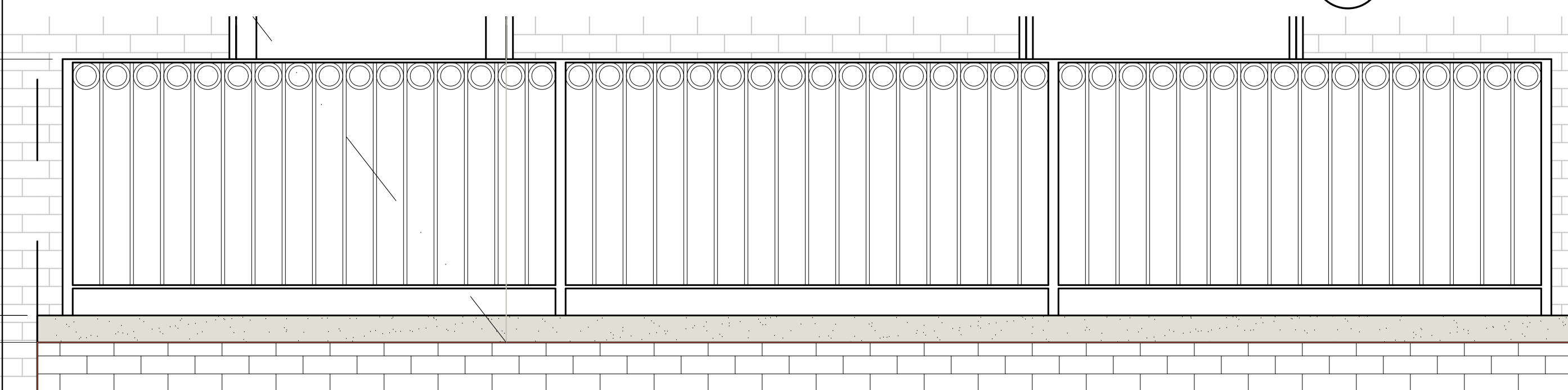
A-3.0



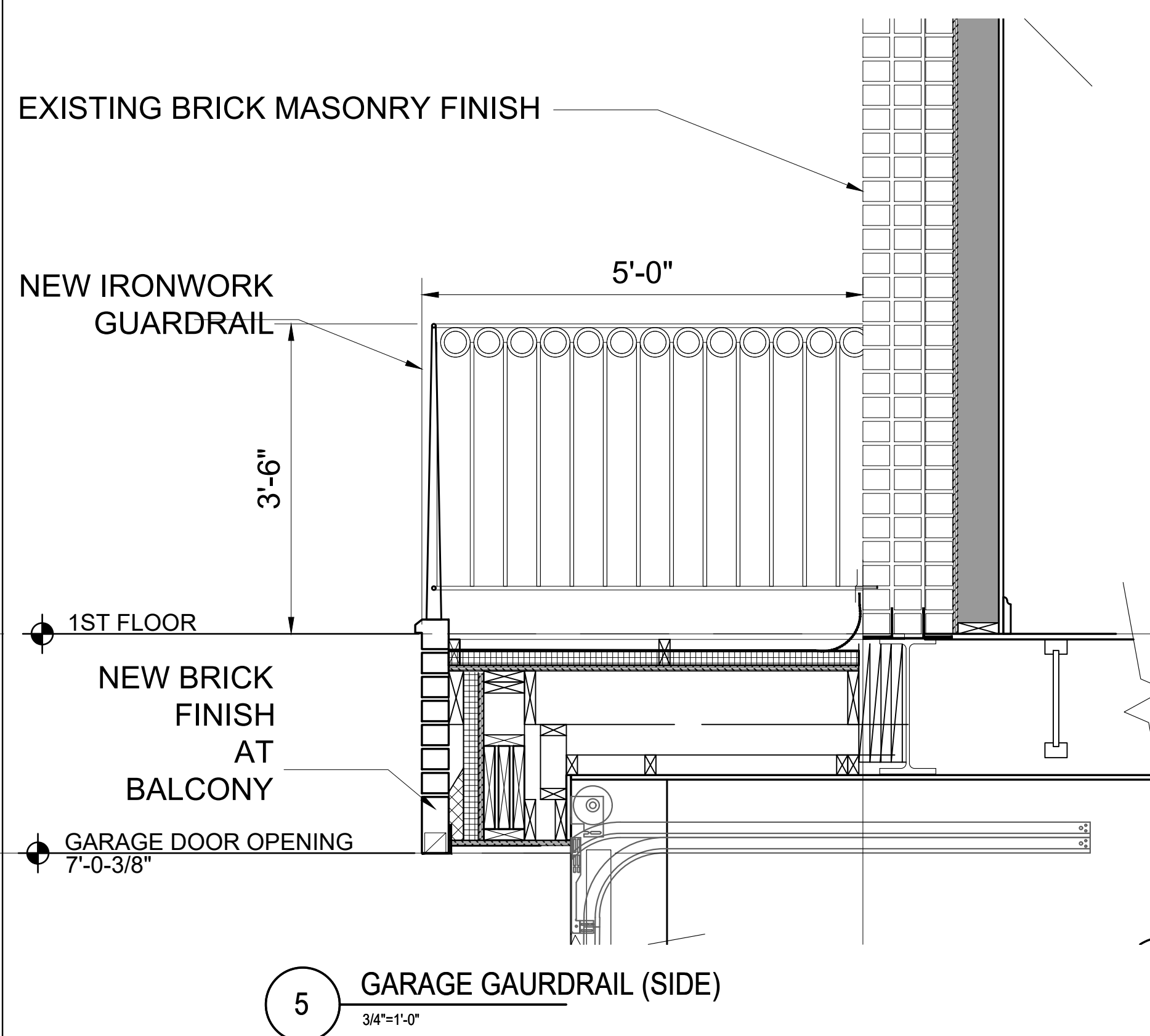
2 PROPOSED SECTION
1/4" = 1'-0"



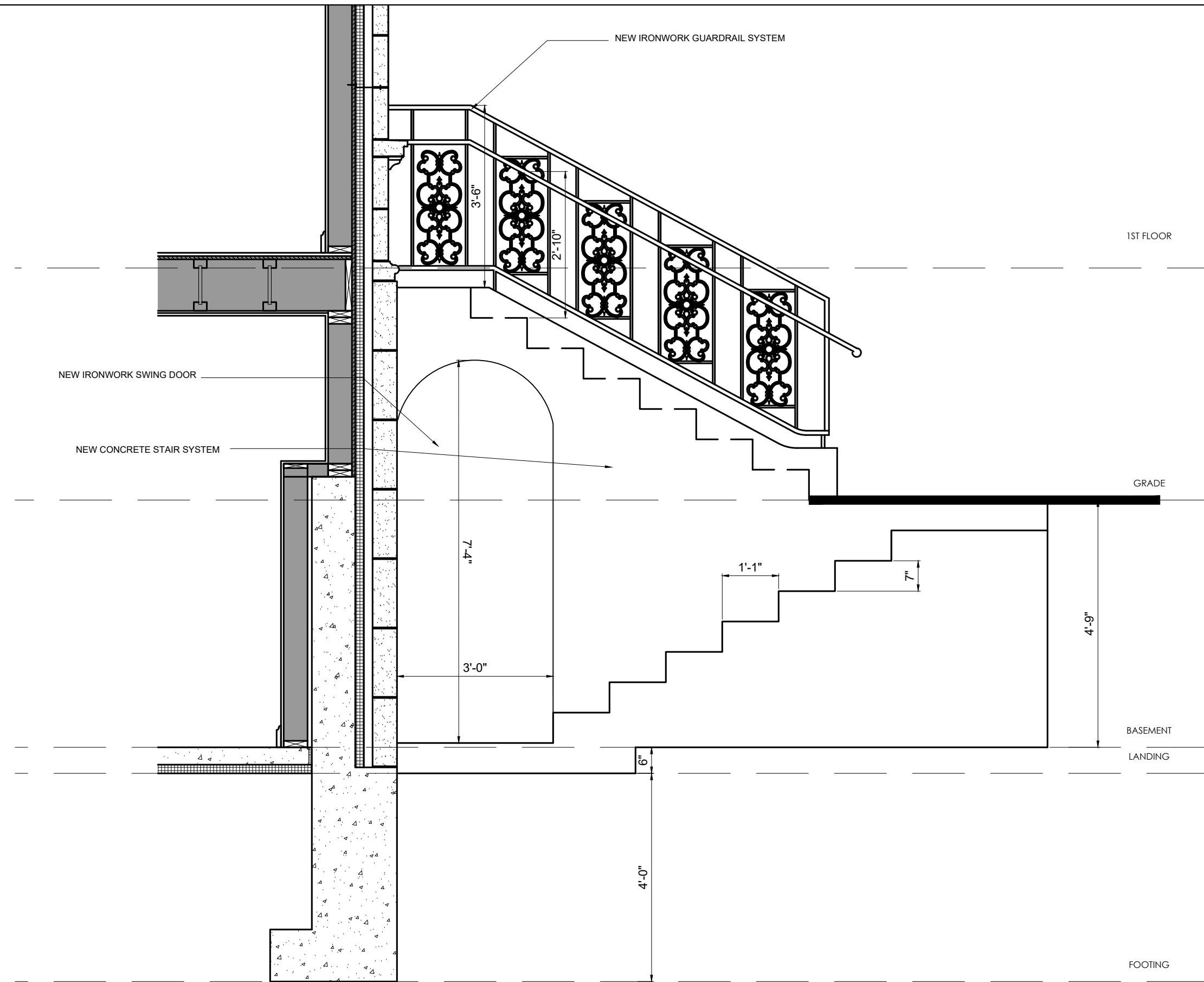
3 PROPOSED SECTION (GARAGE)
1/2" = 1'-0"



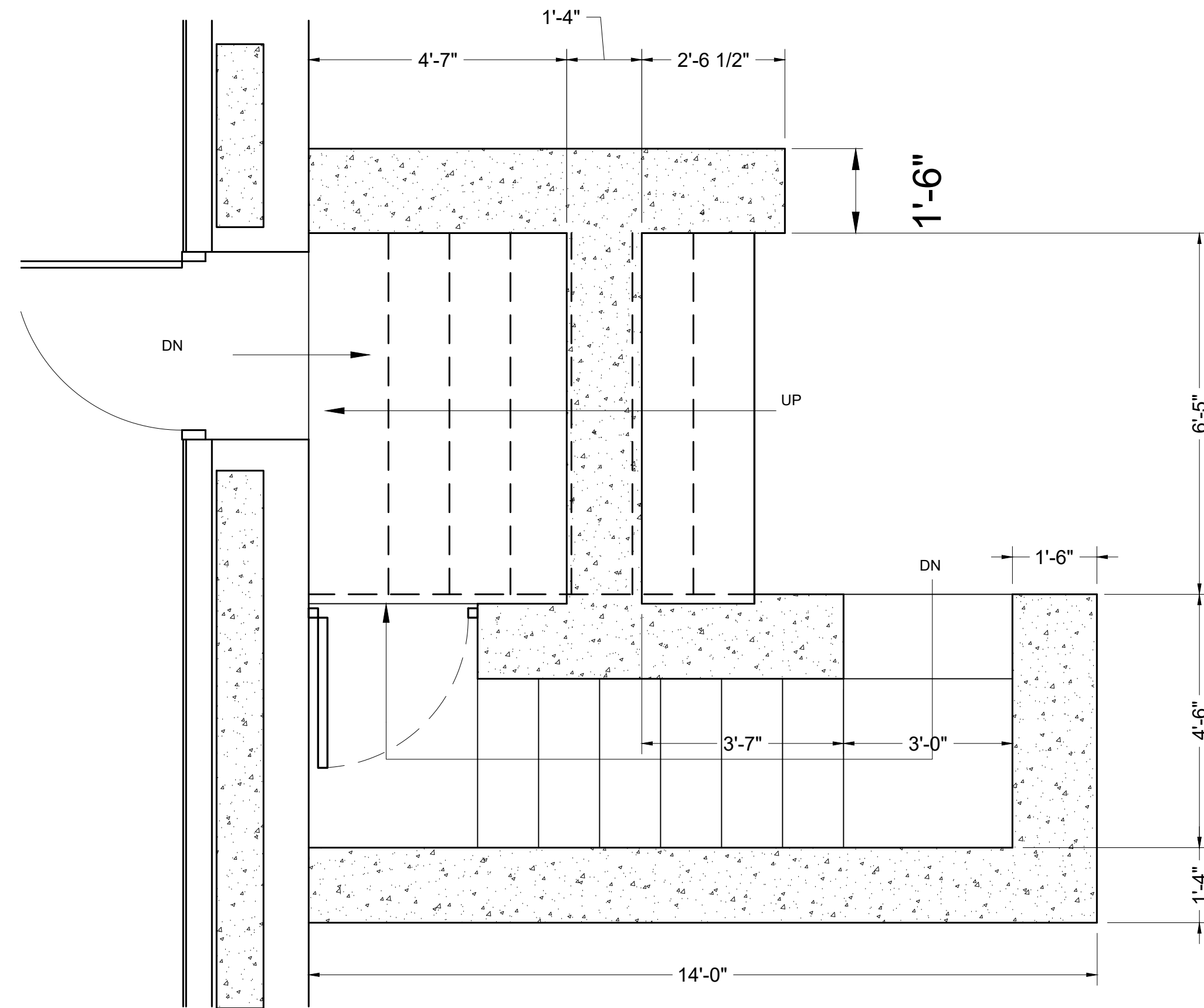
4 GARAGE GAURDRAIL (FRONT)
3/4"=1'-0"



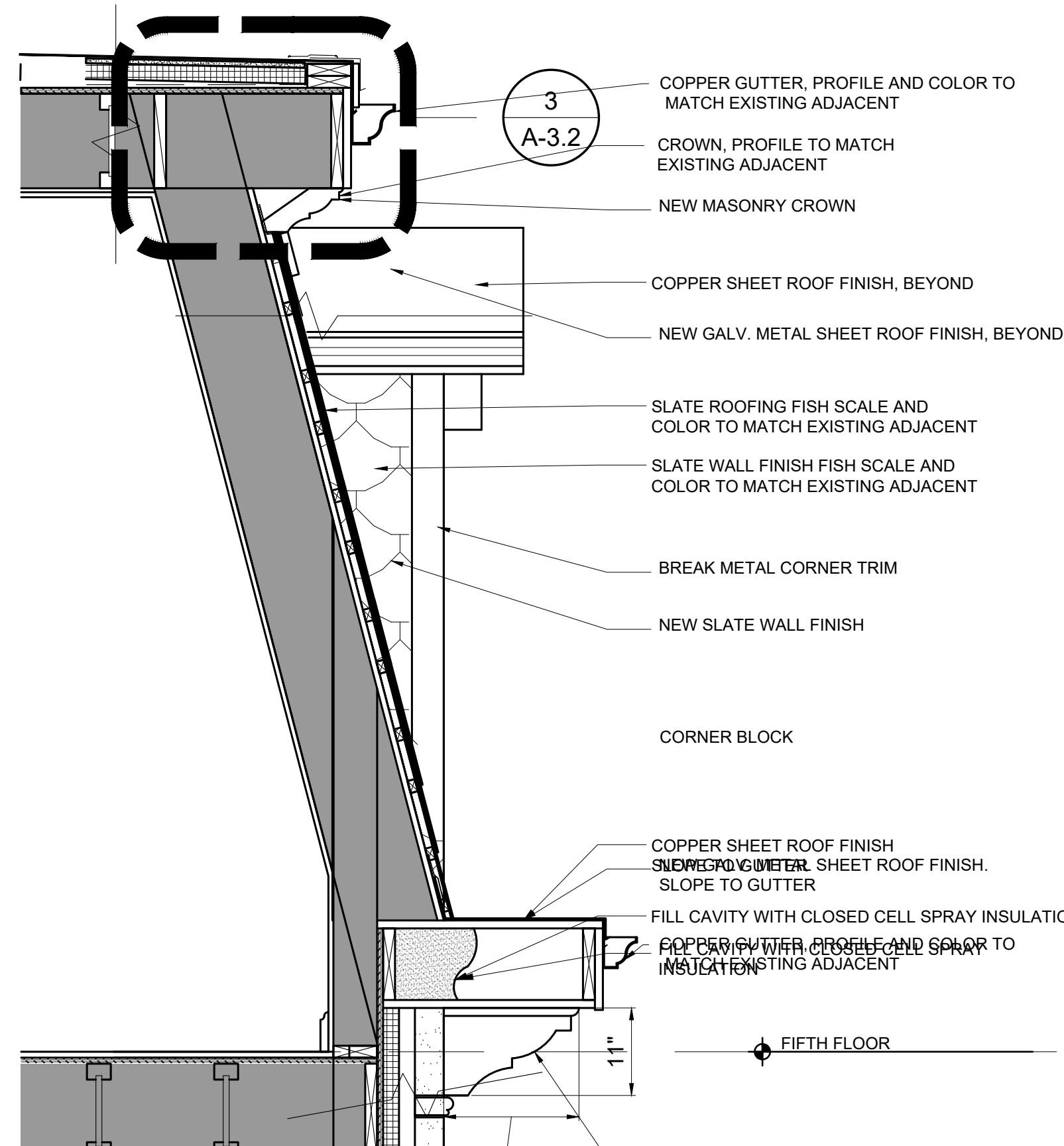
5 GARAGE GAURDRAIL (SIDE)
3/4"=1'-0"



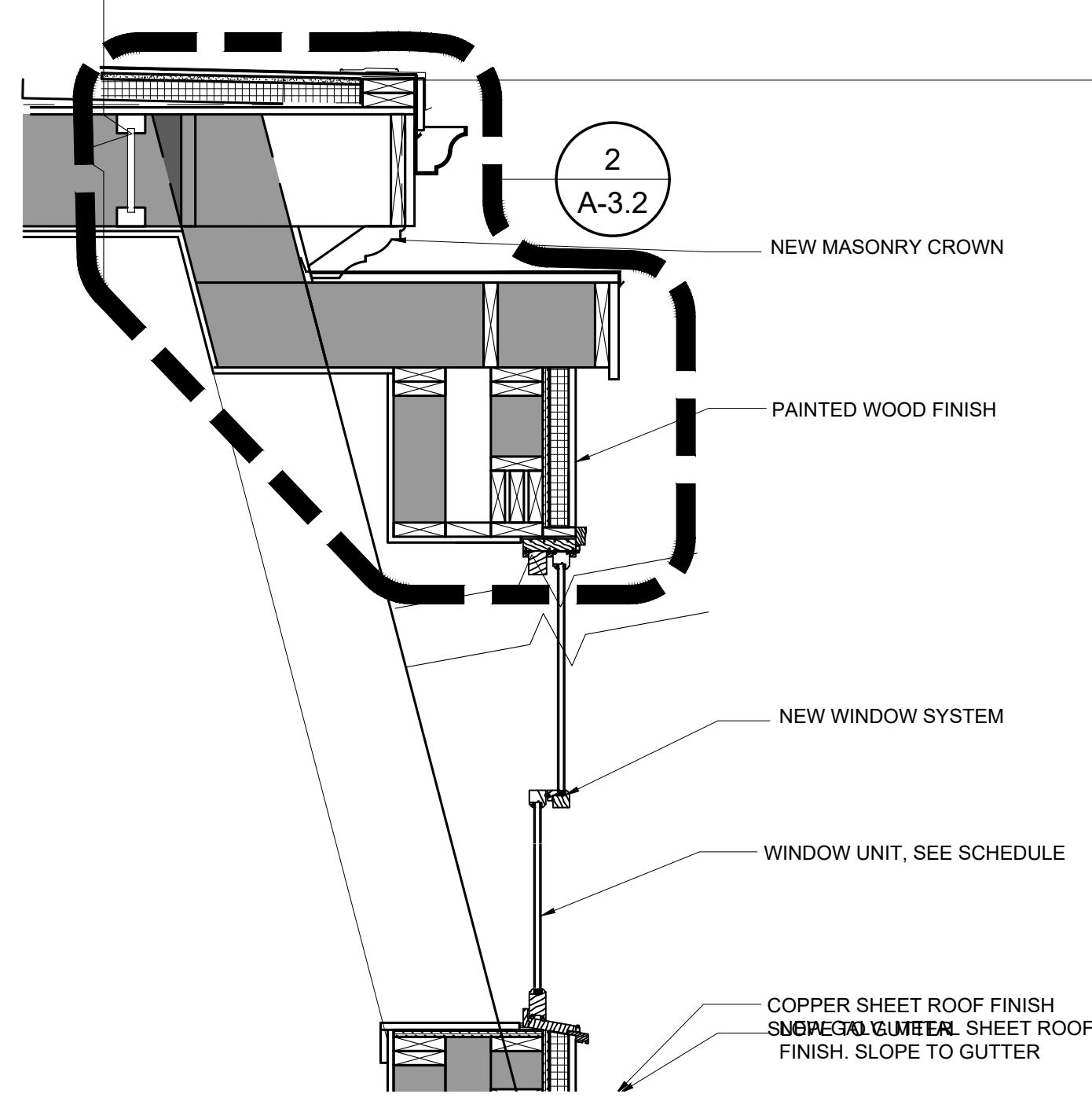
3 PROPOSED SECTION (FRONT STAIRS)
1/2" = 1'-0"



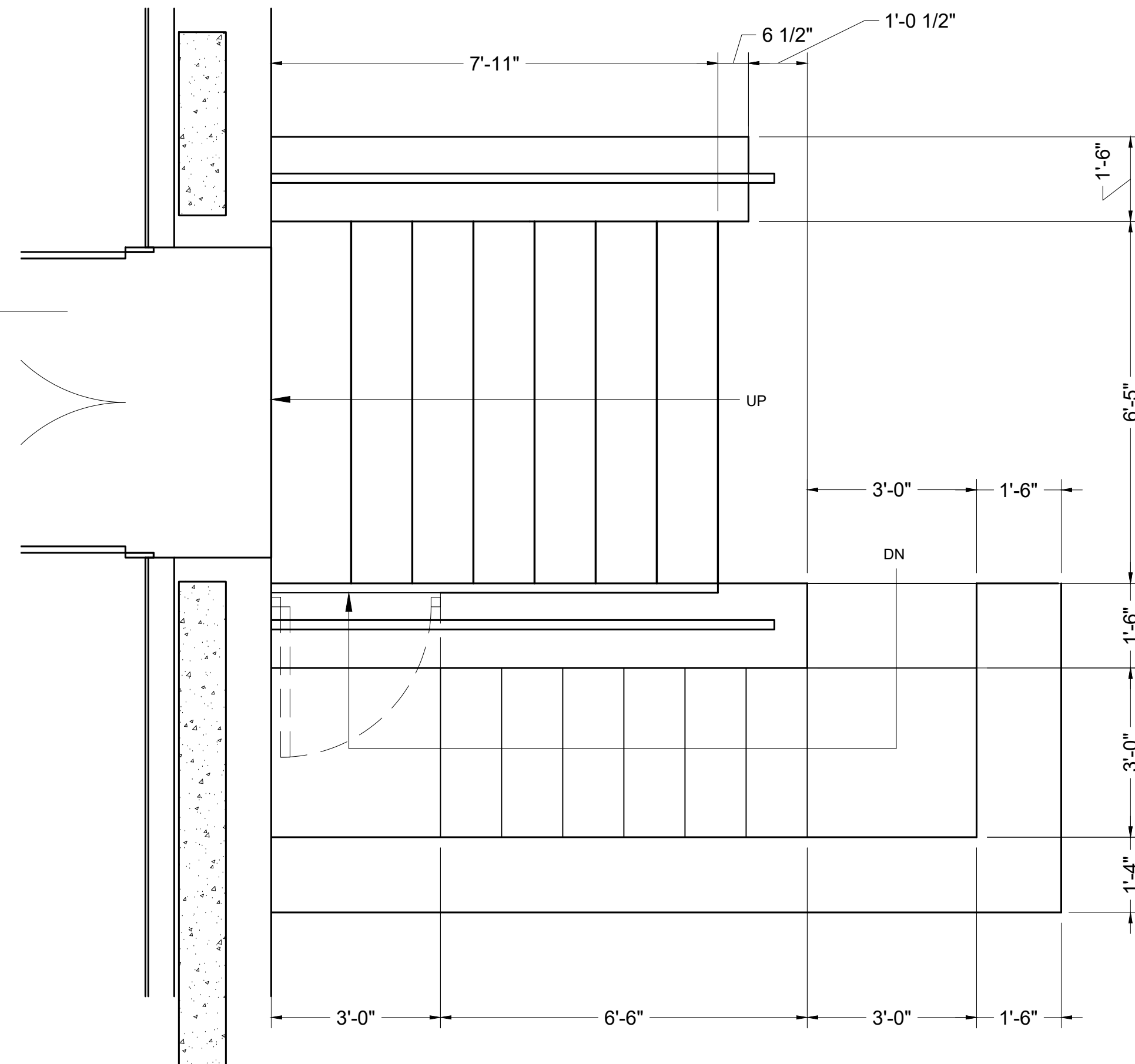
1 PROPOSED PLAN (FRONT STAIRS LOWER)
1/2" = 1'-0"



5 PROPOSED SECTION (FRONT ROOF)
3/4" = 1'-0"



6 PROPOSED SECTION (FRONT DORMER)
3/4" = 1'-0"



2 PROPOSED PLAN (FRONT STAIRS UPPER)
1/2" = 1'-0"

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
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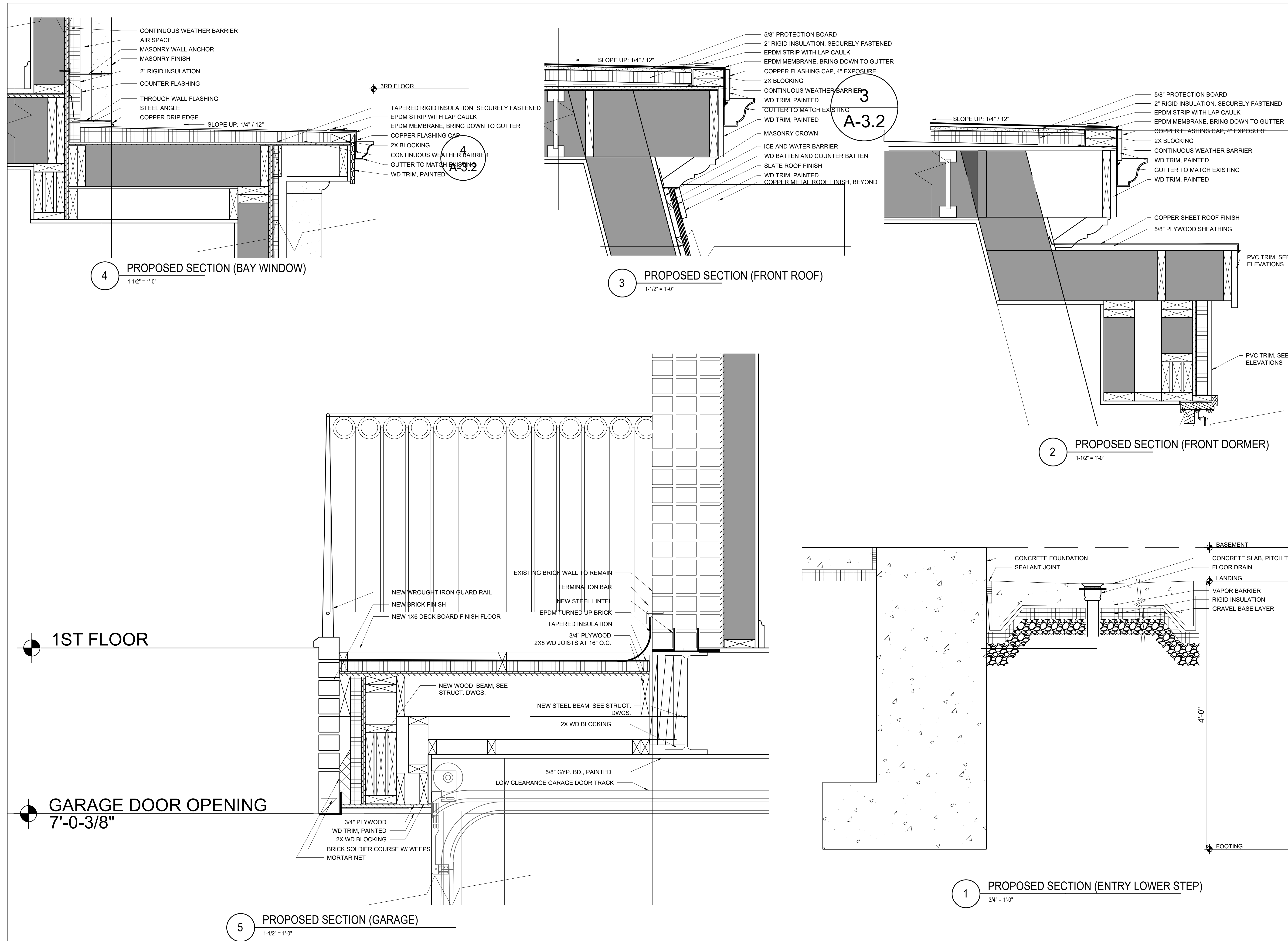


No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 02-12-2025
Drawn By: DF

Drawing Name
PROPOSED ENLARGED DETAILS

Sheet No.
A-3.1



Location

PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo
& Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

REGISTERED ARCHITECT
ARTHUR K.F. CHOO
JULY 1999
BOSTON
MA
COMMONWEALTH OF MASSACHUSETTS

No.	Revision Date

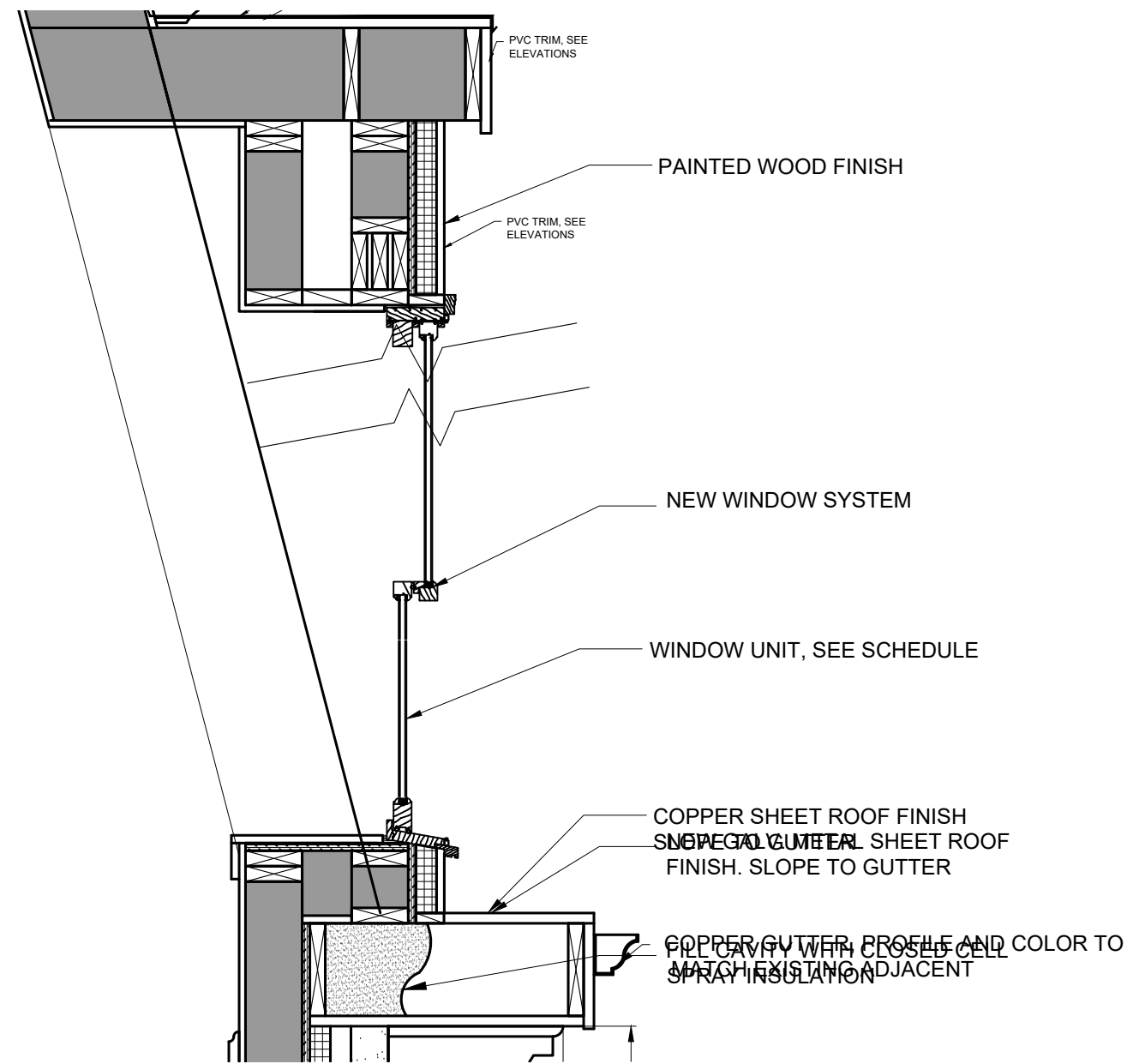
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Date: 02-12-2025
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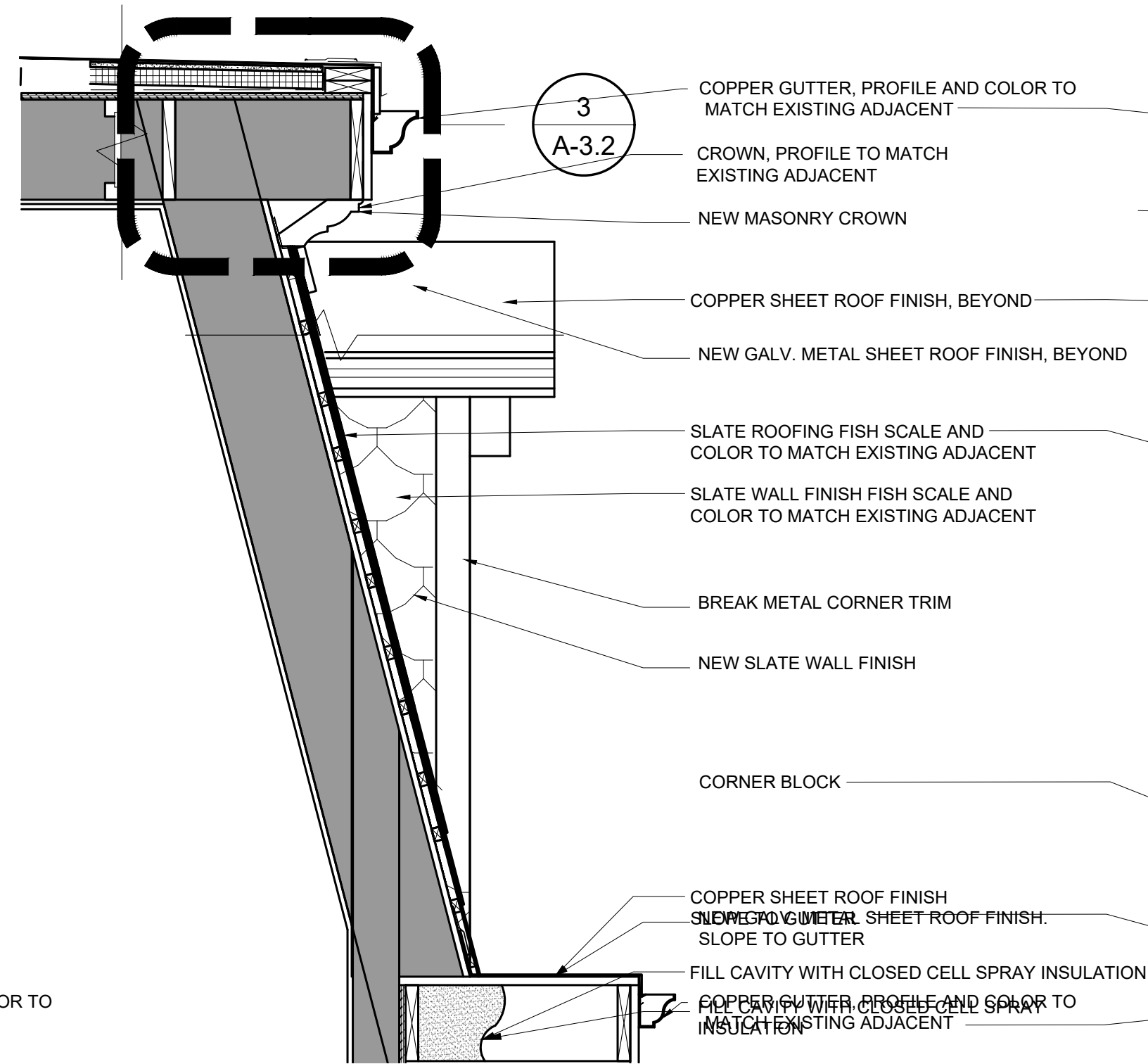
PROPOSED
ENLARGED
DETAILS

Sheet No.

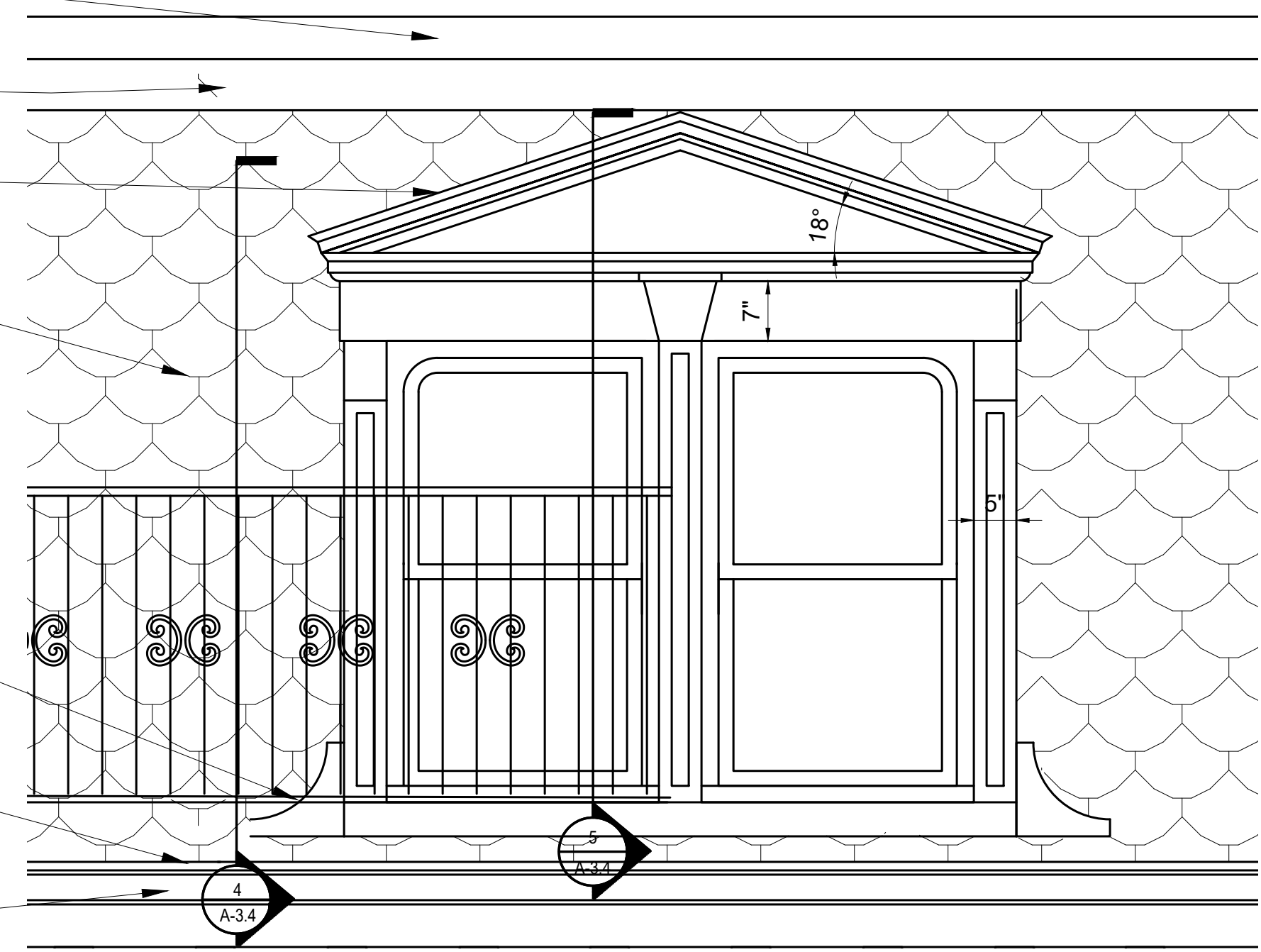
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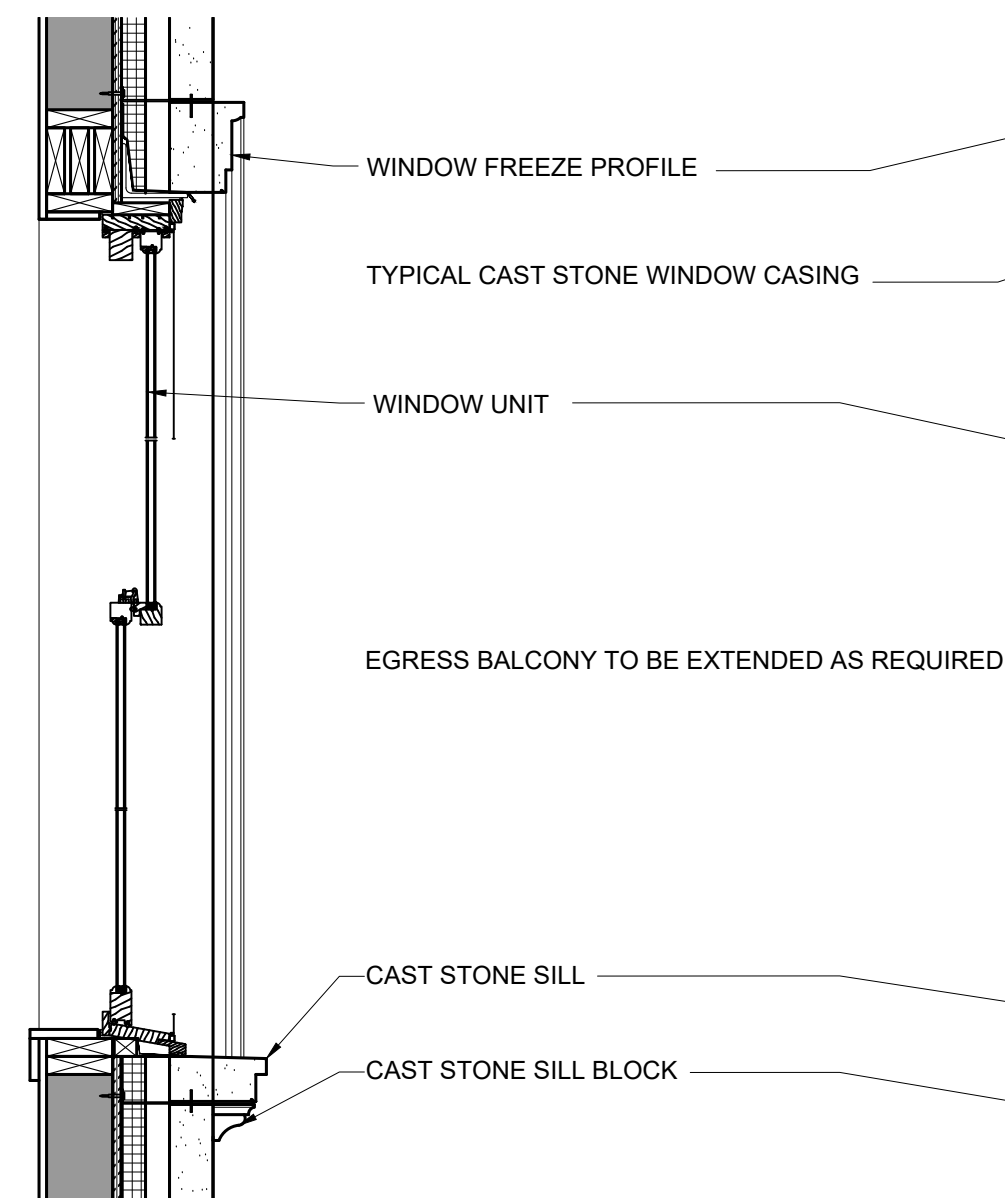
5 PROPOSED SECTION (GABLE)
3/4" = 1'-0"



4 PROPOSED SECTION (GABLE EXTERIOR)
3/4" = 1'-0"



3 PROPOSED ELEVATION (GABLE)
3/4" = 1'-0"



2 PROPOSED SECTION (WINDOW)
3/4" = 1'-0"



1 PROPOSED ELEVATION (WINDOW)
3/4" = 1'-0"

Location

PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo
& Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Revision Date

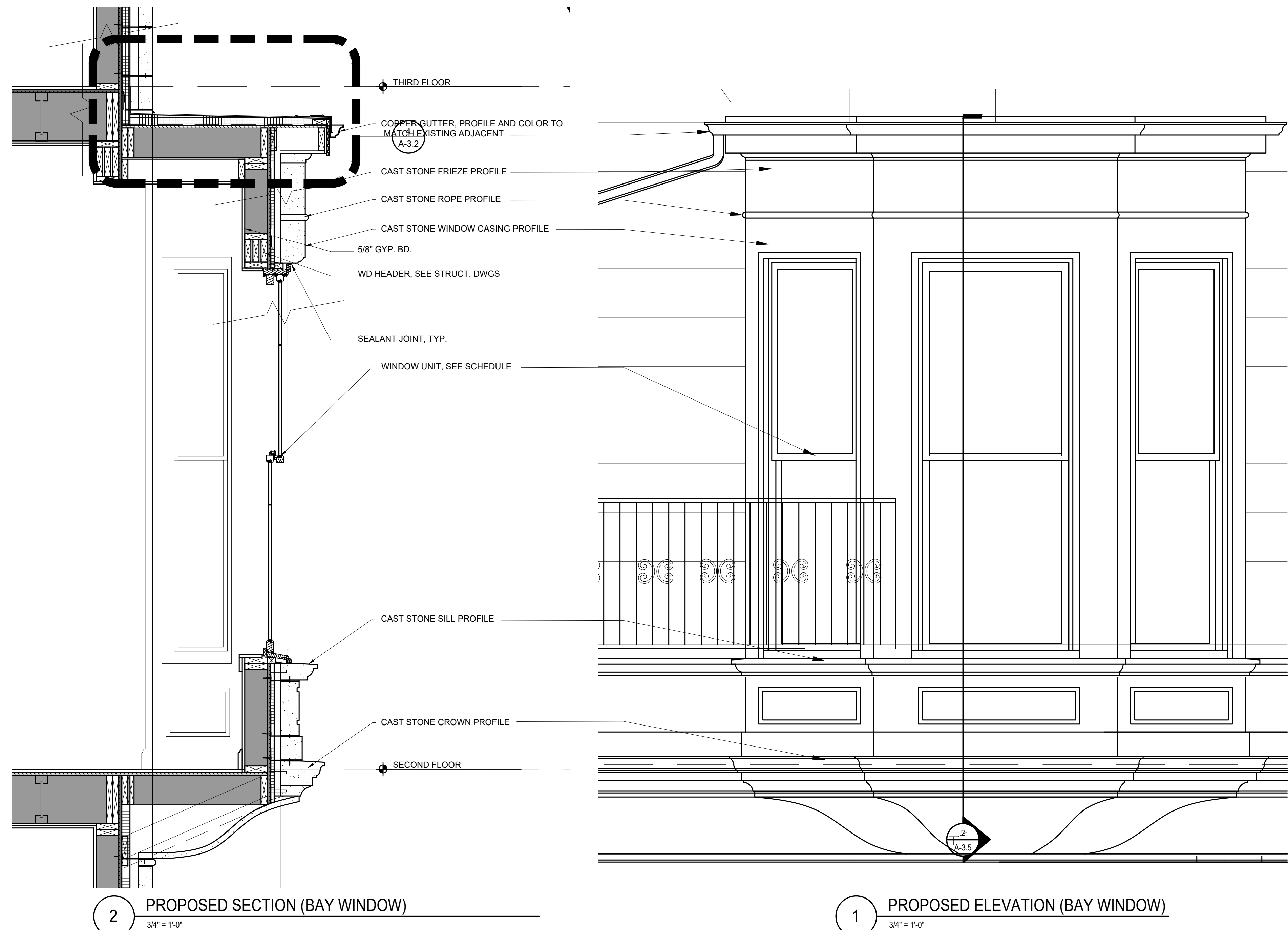
Project No: 2024121
Scale: AS NOTED
Date: 02-12-2025
Drawn By: DF

Drawing Name

PROPOSED
WINDOW
ELEVATION &
SECTION

Sheet No.

A-3.4



Location

PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
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REGISTERED ARCHITECT
ARTHUR K.F. CHOO
JAN 8319
BOSTON
MA
COMMONWEALTH OF MASSACHUSETTS

No.	Revision Date

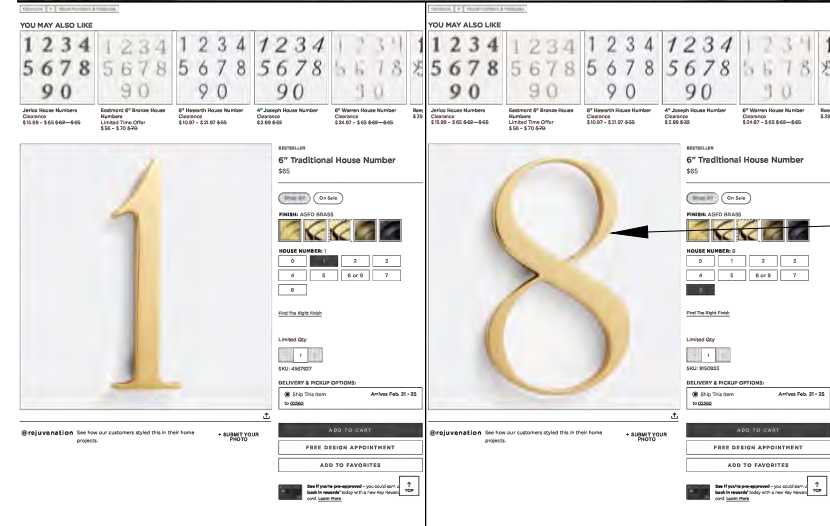
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Date: 02-12-2025
Drawn By: DF

Drawing Name

PROPOSED WINDOW ELEVATION & SECTION

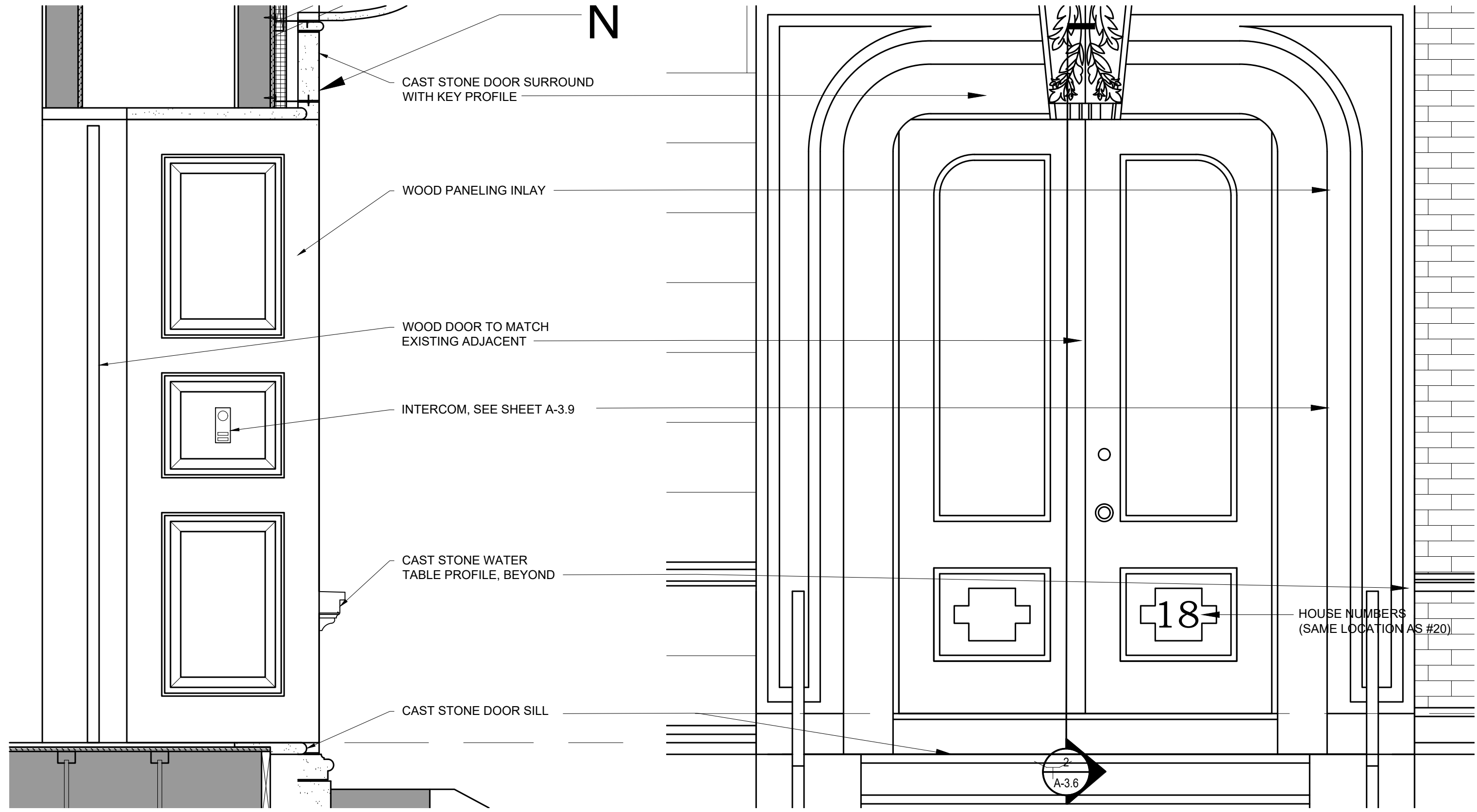
Sheet No.

A-3.5



6" AGED BRASS
HOUSE NUMBERS

2 PROPOSED SECTION (ENTRY DOOR)
3/4" = 1'-0"



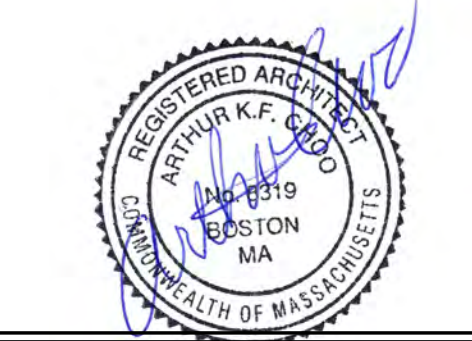
2 PROPOSED SECTION (ENTRY DOOR)
3/4" = 1'-0"

1 PROPOSED ELEVATION (ENTRY DOOR)
3/4" = 1'-0"

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

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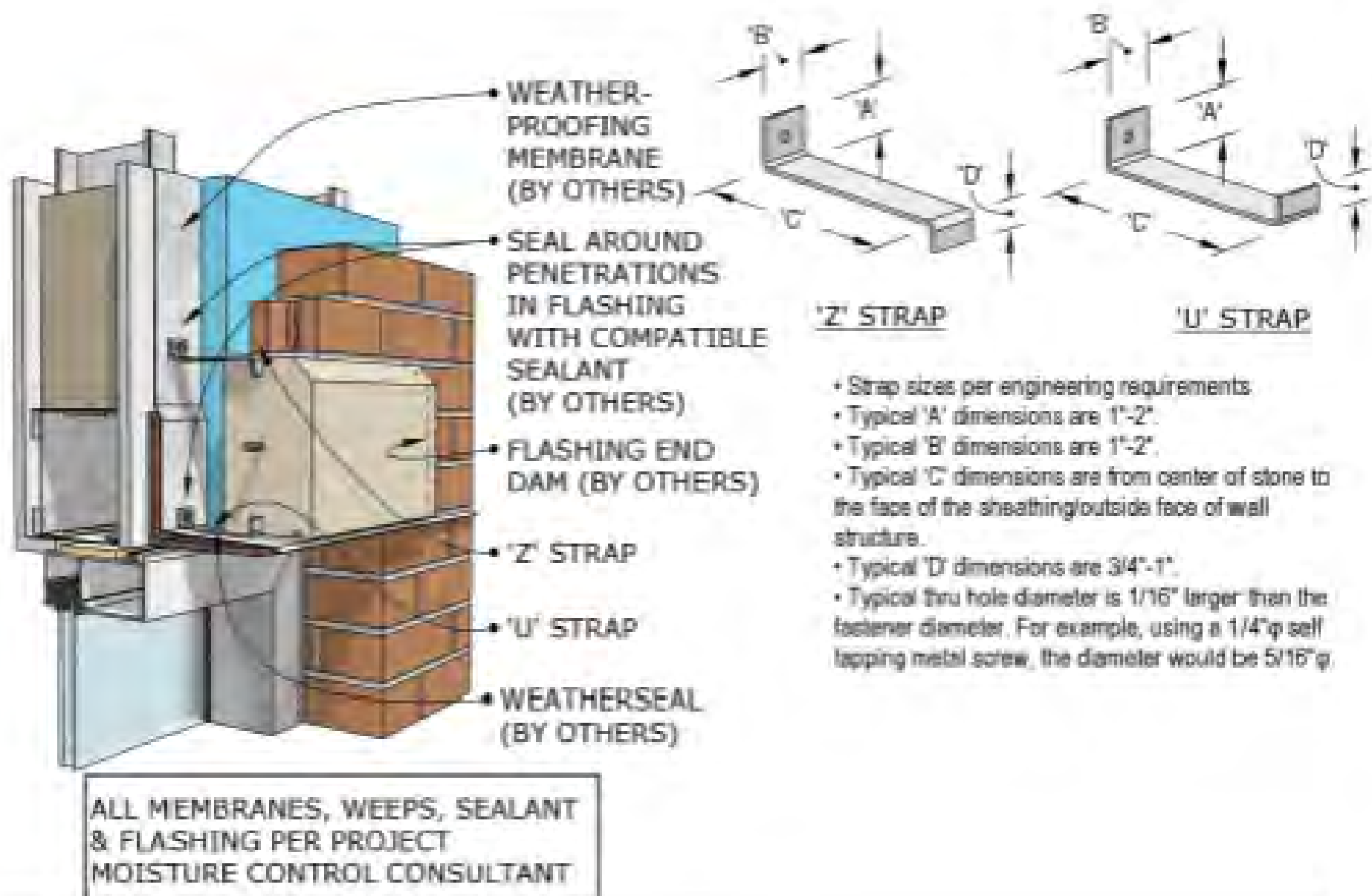
No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 02-12-2025
Drawn By: DF

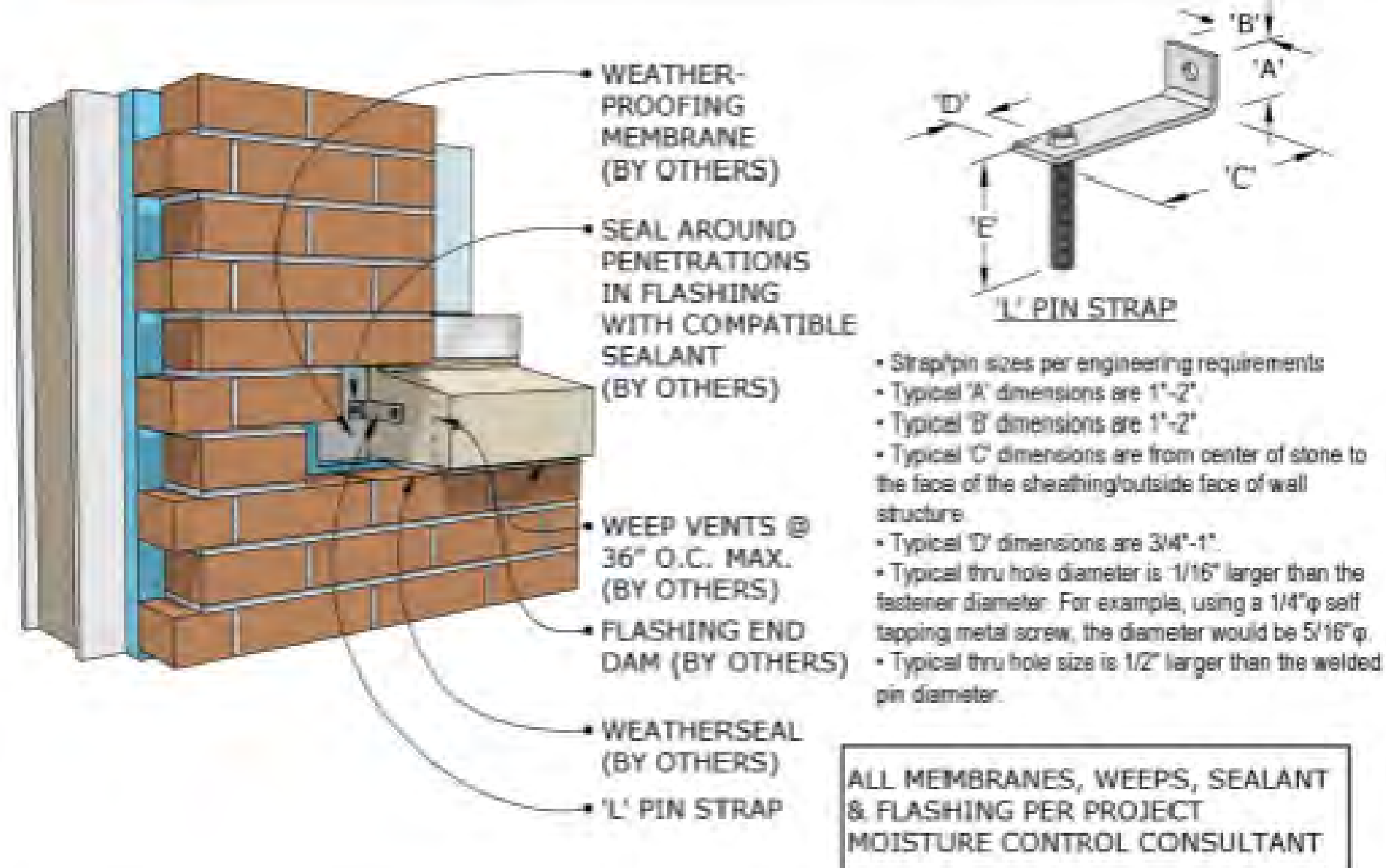
Drawing Name
**PROPOSED
ENTRY DOOR
ELEVATION &
SECTION**

Sheet No.
A-3.6

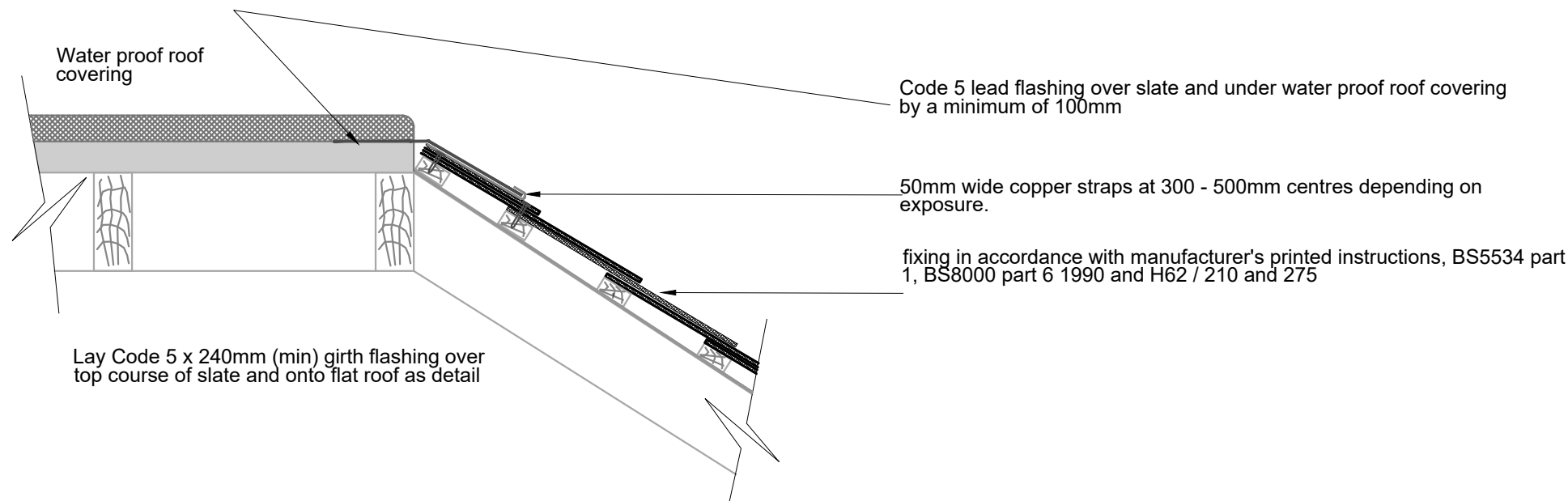
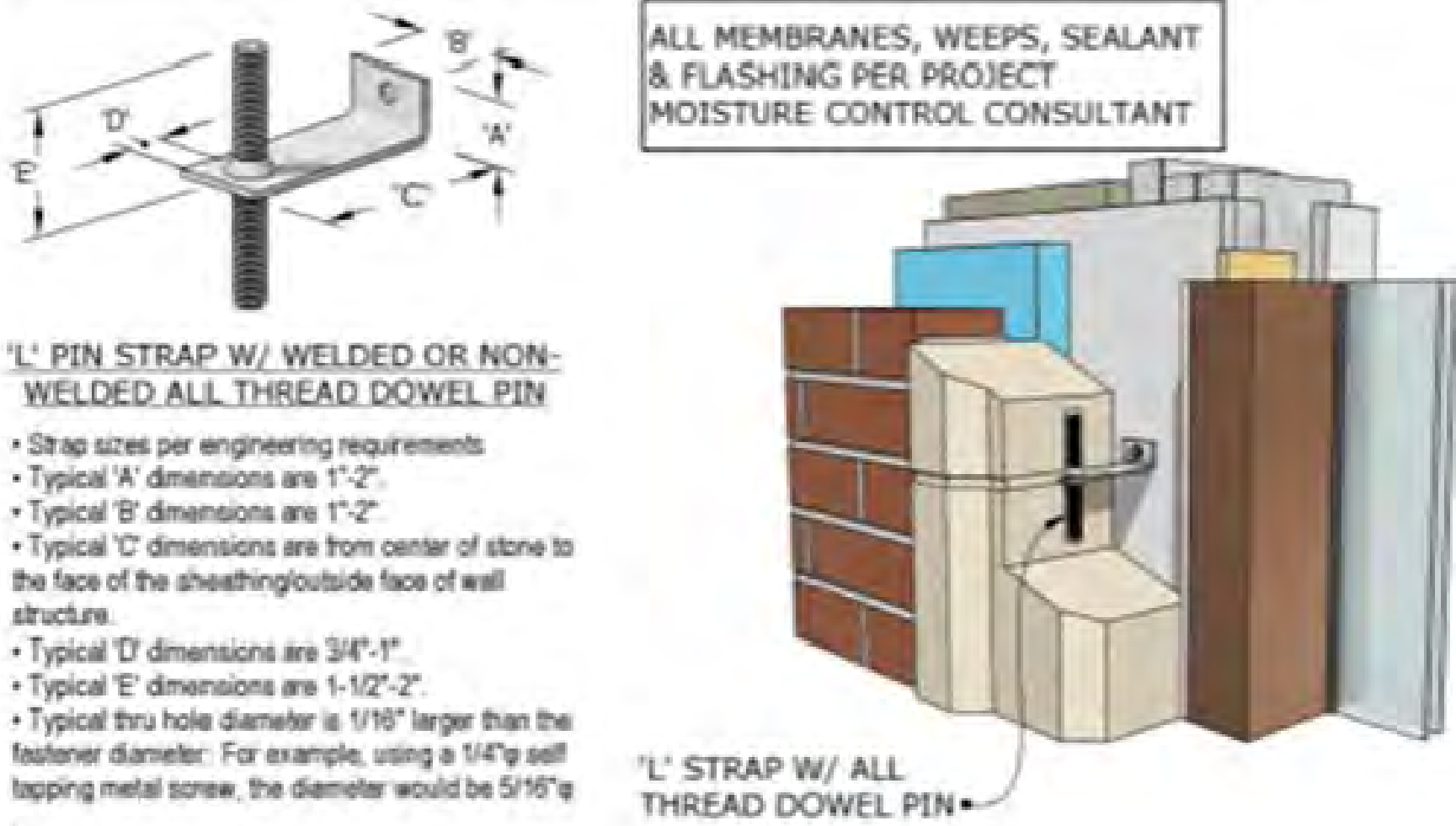
HEADER - DETAIL #1



SILL - DETAIL #1

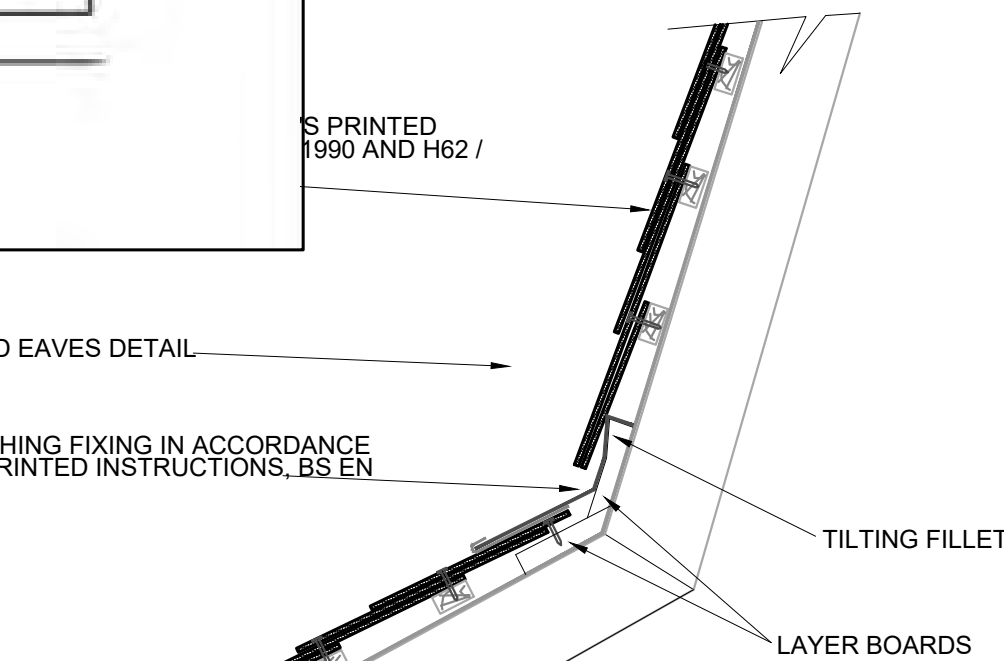


JAMB - DETAIL #1



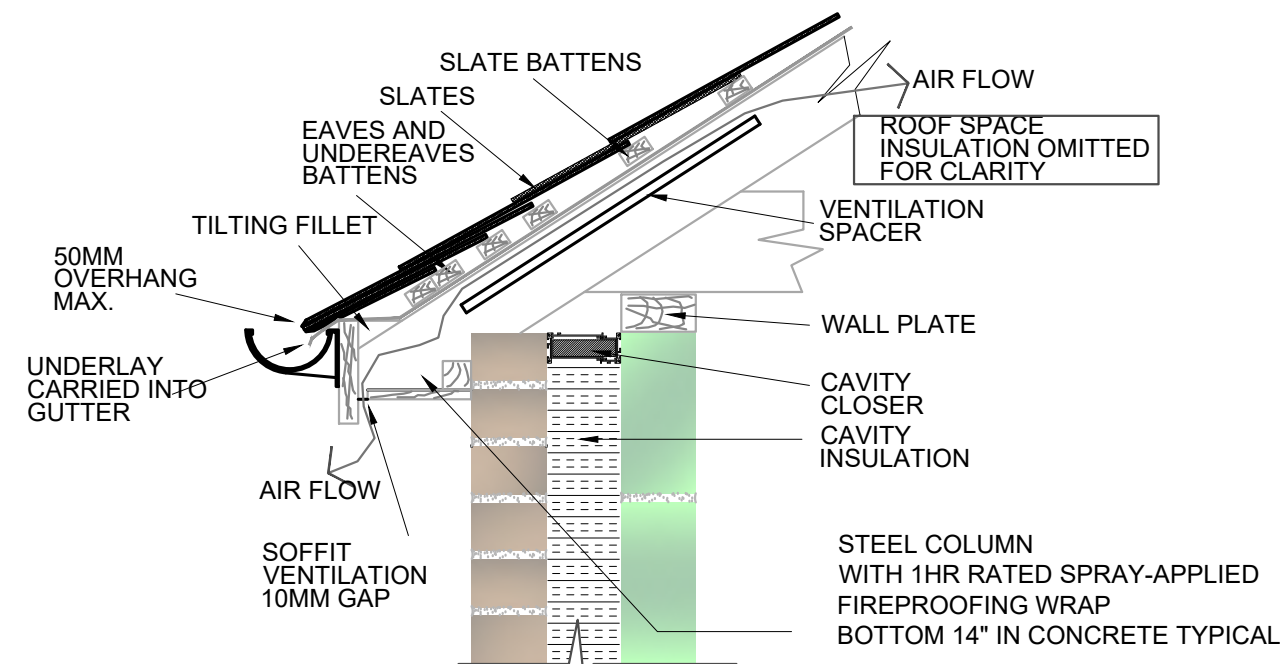
SLATING AS STANDARD EAVES DETAIL

CODE 5 LEAD APRON FLASHING FIXING IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS, BS EN 12588:206



1. COMPLETE SLATING LOWER SLOPE AS FOR STANDARD ROOF UPPER EDGE.
2. FIX LAYER BOARDS TO RAFTERS AT THE INTERSECTION OF THE TWO ROOFS, EQUAL IN THICKNESS TO THE BATTENS.
3. FIX A TILTING FILLET TO THE TOP EDGE OF THE UPPER LAYER BOARD, EQUAL IN THICKNESS TO THE BATTENS.
4. FIX CODE 5 LEAD APRON FLASHING OVER THE TILTING FILLET AND DRESS DOWN OVER THE HEADS OF THE SLATE BELOW BY AT LEAST 150MM. FIX COPPER STRAPS AT 300 - 500MM CENTRES
5. SLATE AND BATTEN UPPER SLOPE AS STANDARD EAVES WITH THE BOTTOM COURSE PROJECTING BELOW THE TILTING FILLET BY 50 TO 60MM.

2 ENLARGED SLATE SECTIONS (GENERAL)
1-1/2" = 1'-0"



1. FIX THE UNDERLAY TO EXTEND OVER THE TILTING FILLET AND FASCIA BOARD INTO THE GUTTER. THE UNDERLAY SHOULD OVERHANG THE FASCIA BOARD BY AT LEAST 50MM.
2. FIX THE FIRST FULL COURSE BATTEN (EAVES BATTEN) SO THAT THE TAILS OF THE SLATES IN THE EAVES AND THE UNDEREAVES COURSES ALIGN. FIX THE UNDEREAVES BATTEN IMMEDIATELY BELOW THE EAVES BATTEN.
3. LAY THE SLATES FORMING THE UNDERCOURSE ON THEIR BACKS AND HEAD NAIL THEM TO THE UNDEREAVES BATTEN.
4. FIX THE EAVES COURSE WITH THE TAILS OF THE SLATES ALIGNING WITH THE TAILS OF THE SLATES IN THE UNDEREAVES COURSE.

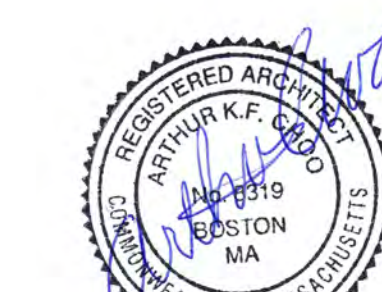
1 ENLARGED SLATE SECTIONS (GENERAL)
1-1/2" = 1'-0"

Location

PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo
& Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No. Revision Date

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Drawn By: DF

Drawing Name

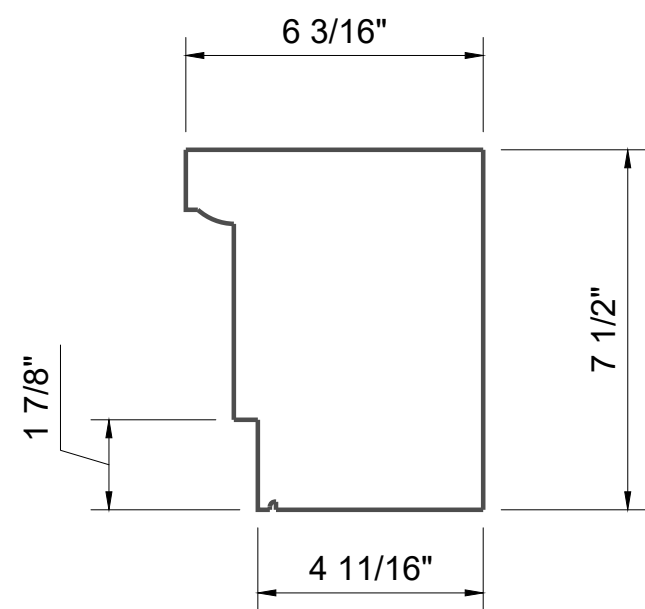
GENERAL
SLATE AND
MASONRY
DETAILS

Sheet No.

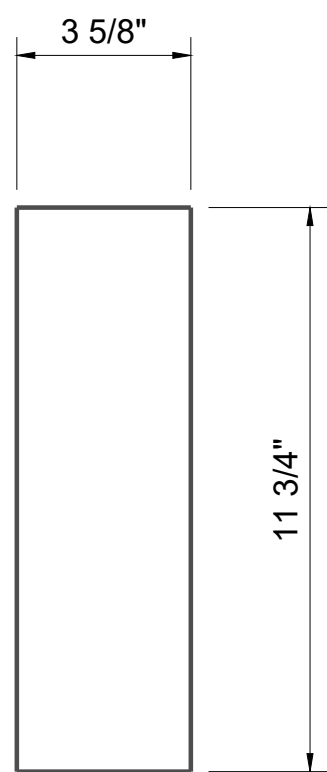
A-3.7



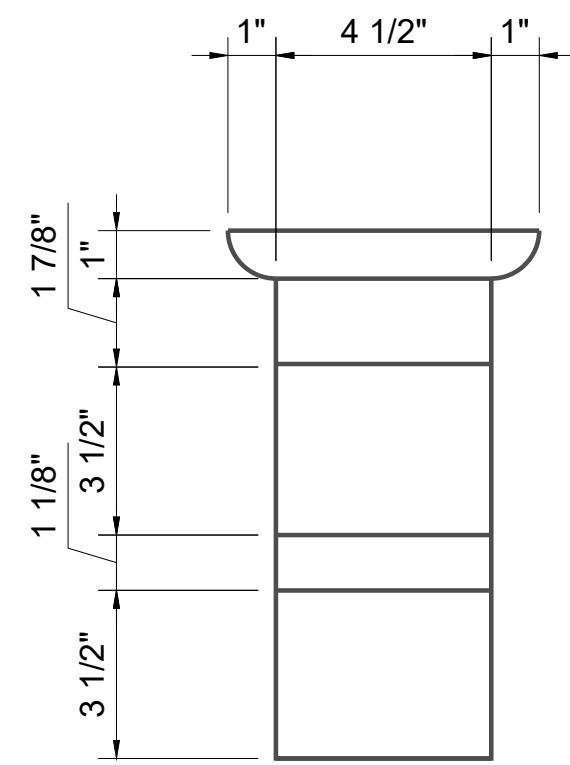
ROPE PROFILE
TOP OF WALL



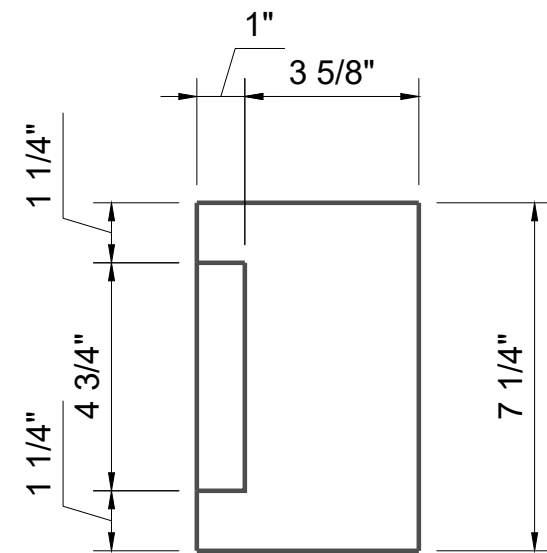
WINDOW CASING
PROFILE



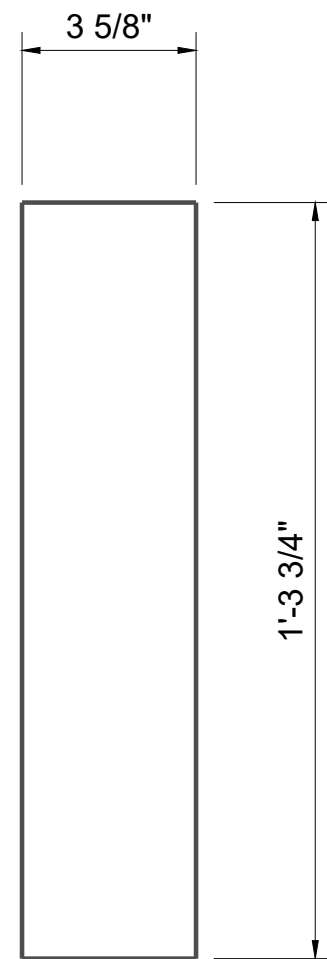
TYPICAL VENEER UNIT
 $3 \frac{5}{8}'' \times 11 \frac{3}{4}'' \times 1'-11 \frac{3}{4}''$



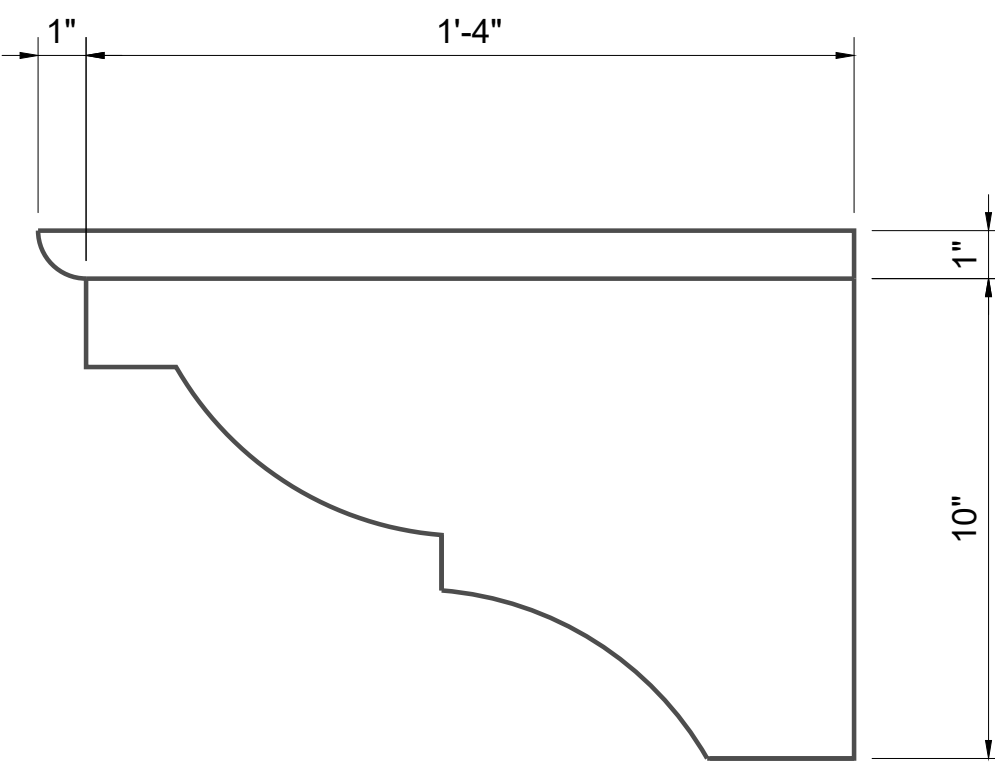
CORNICE BRACKET
FRONT ELEVATION



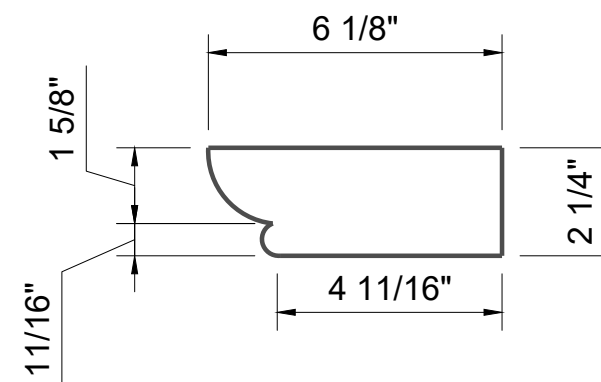
WINDOW FRIEZE
PROFILE



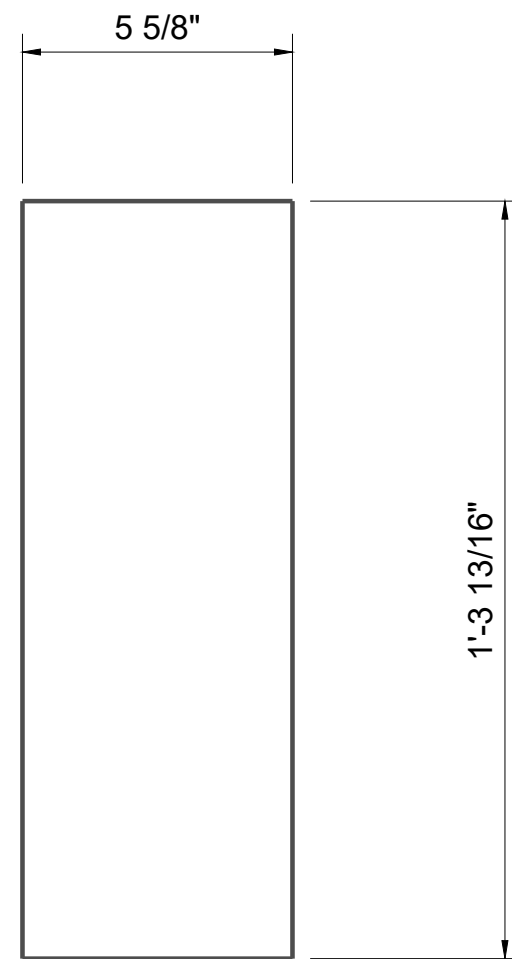
FIRST FLOOR
VENEER UNIT
 $3 \frac{5}{8}'' \times 1'-3 \frac{3}{4}'' \times 1'-11 \frac{3}{4}''$



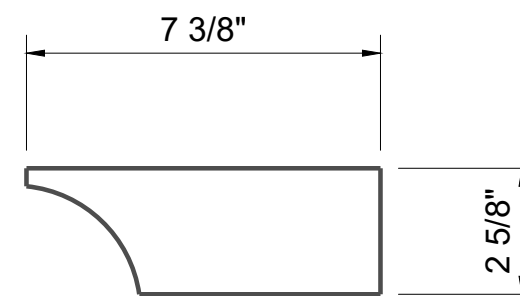
CORNICE BRACKET
SIDE ELEVATION



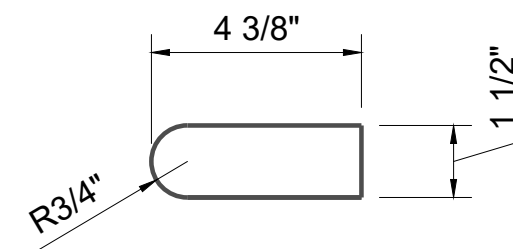
WINDOW BED
PROFILE



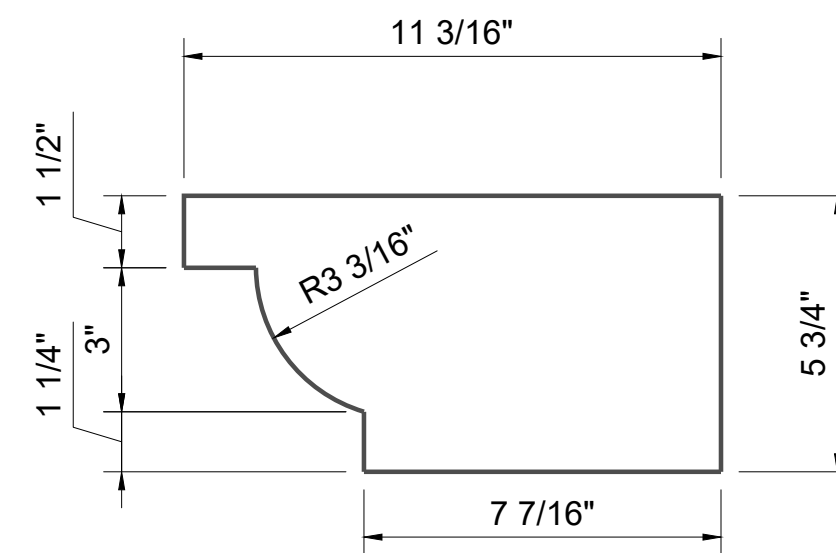
BASEMENT LEVEL
VENEER UNIT
 $5 \frac{5}{8}'' \times 1'-3 \frac{3}{4}'' \times 1'-11 \frac{3}{4}''$



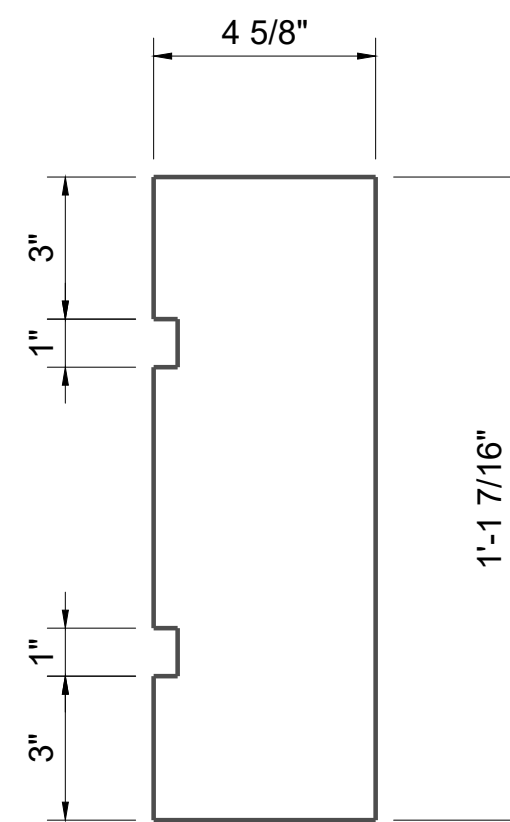
BAY WINDOW
ORIEL COVE



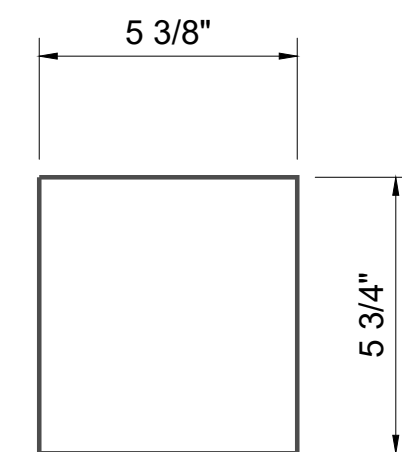
BAND BELOW ORIEL



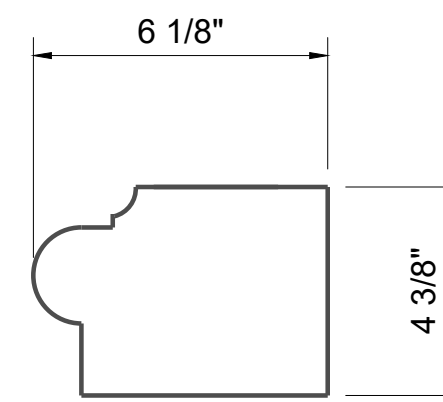
WINDOW CROWN
PROFILE



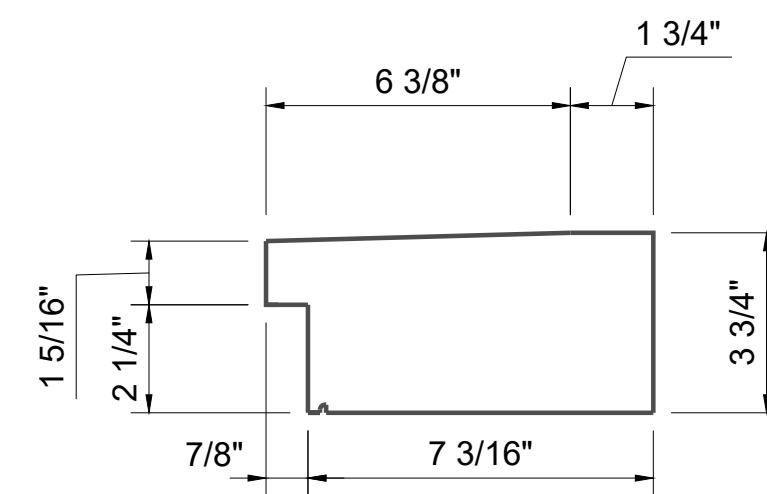
BAY WINDOW
PANEL PROFILE



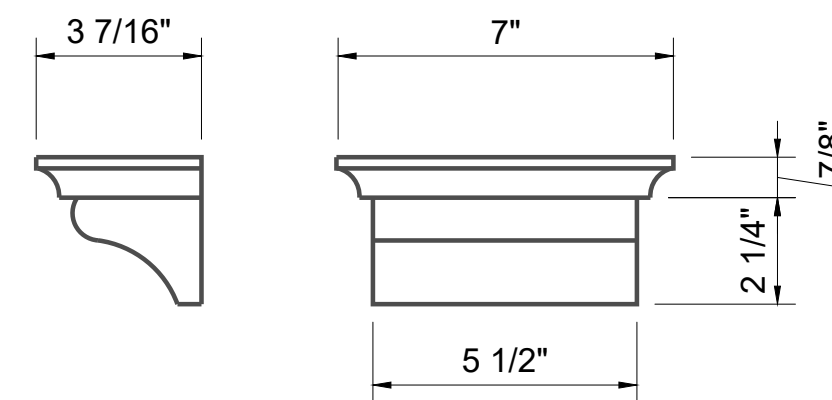
BAY WINDOW
BASE BAND



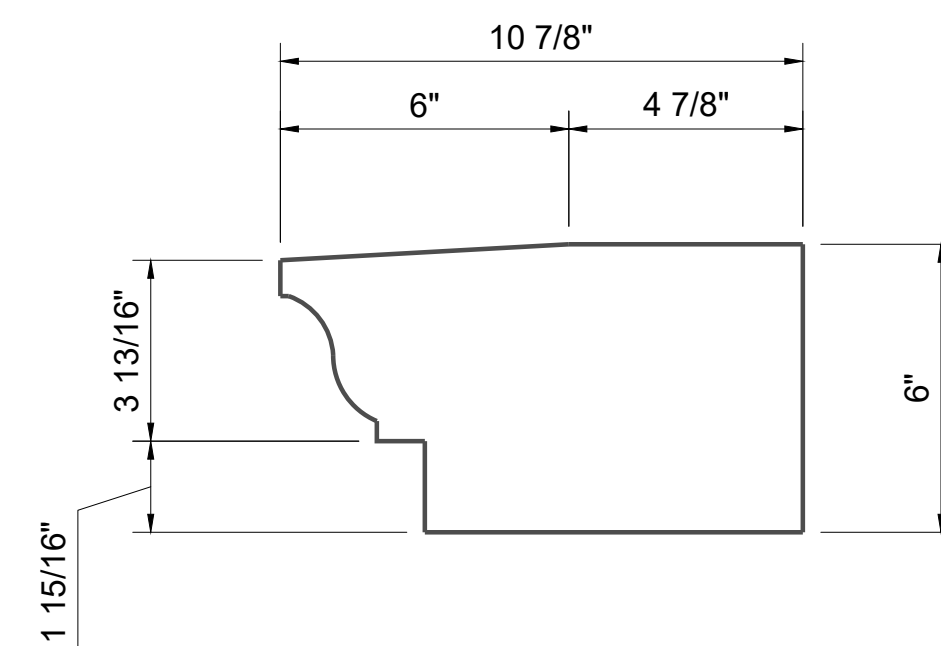
FIRST FLOOR BAND



WINDOW SILL PROFILE



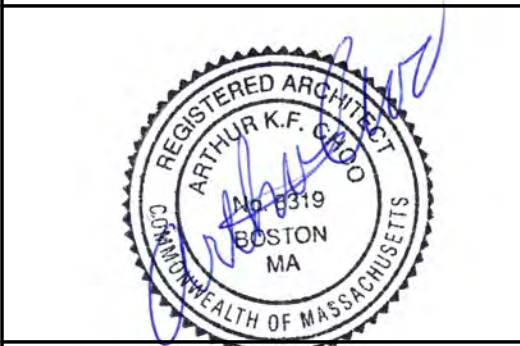
SCOTIA & SILL BLOCK



BAY WINDOW
ORIEL CROWN

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo
& Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

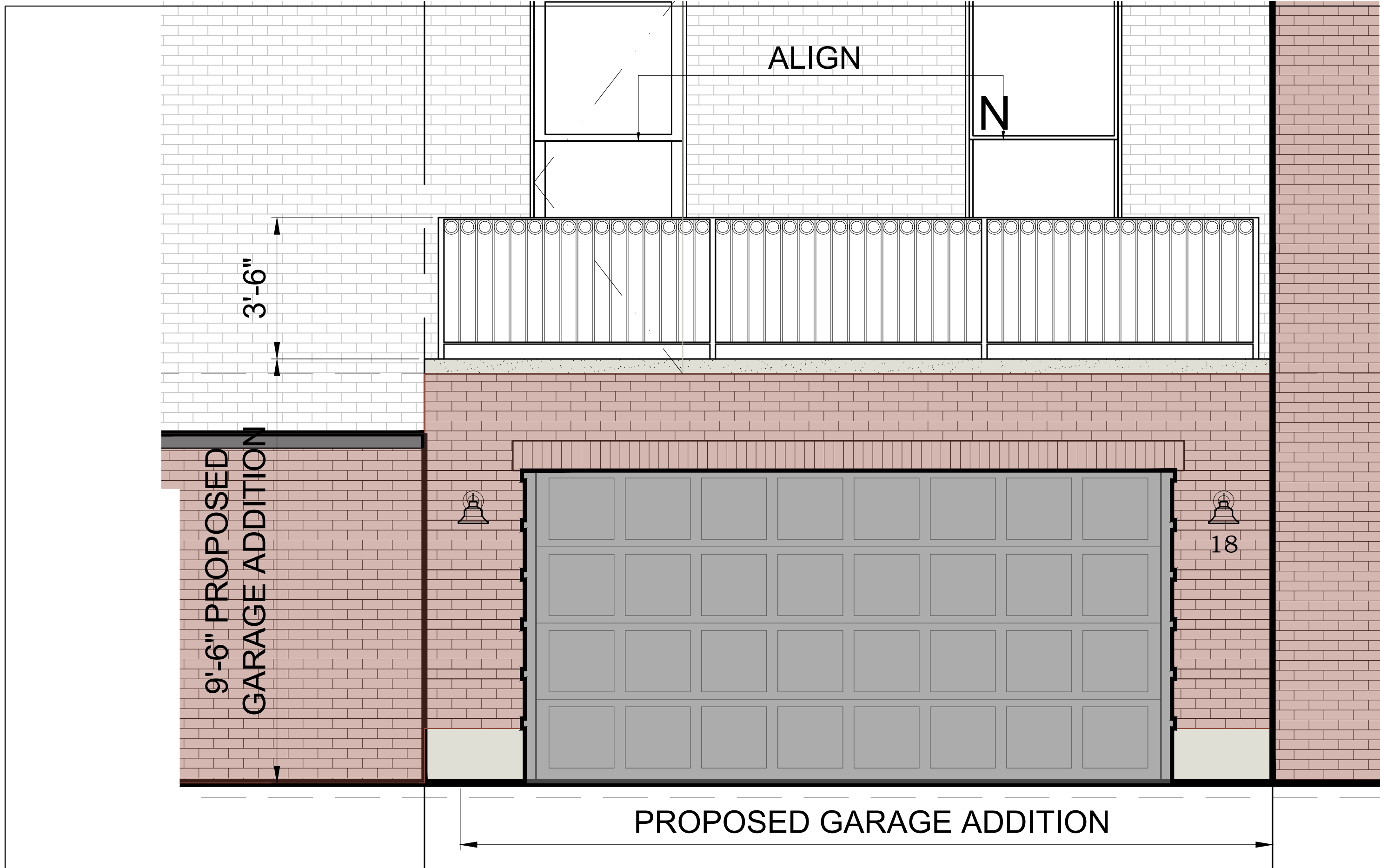


No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 02-12-2025
Drawn By: DF

Drawing Name
**PROPOSED
MASONRY
SECTION
PROFILES**

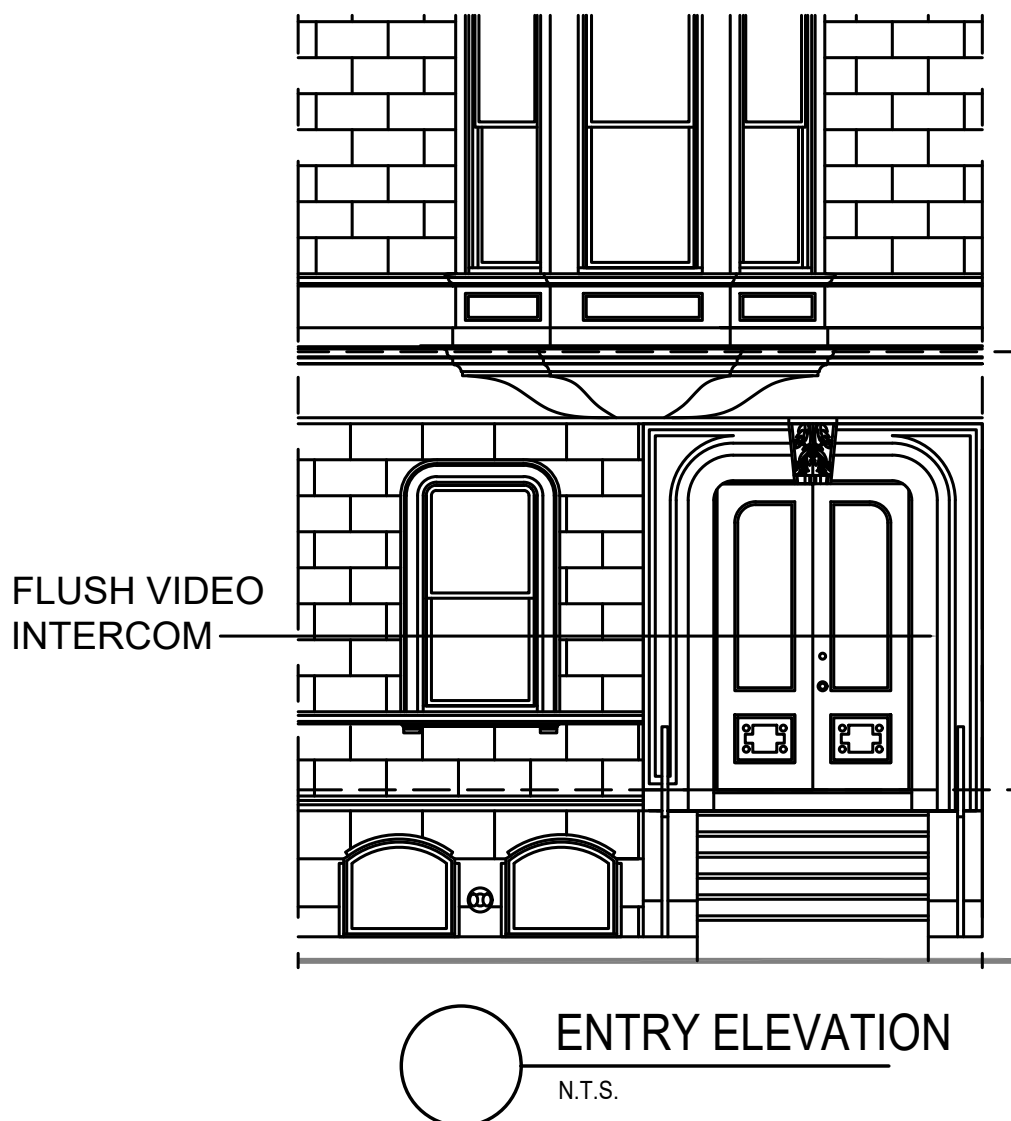
Sheet No.
A-3.8



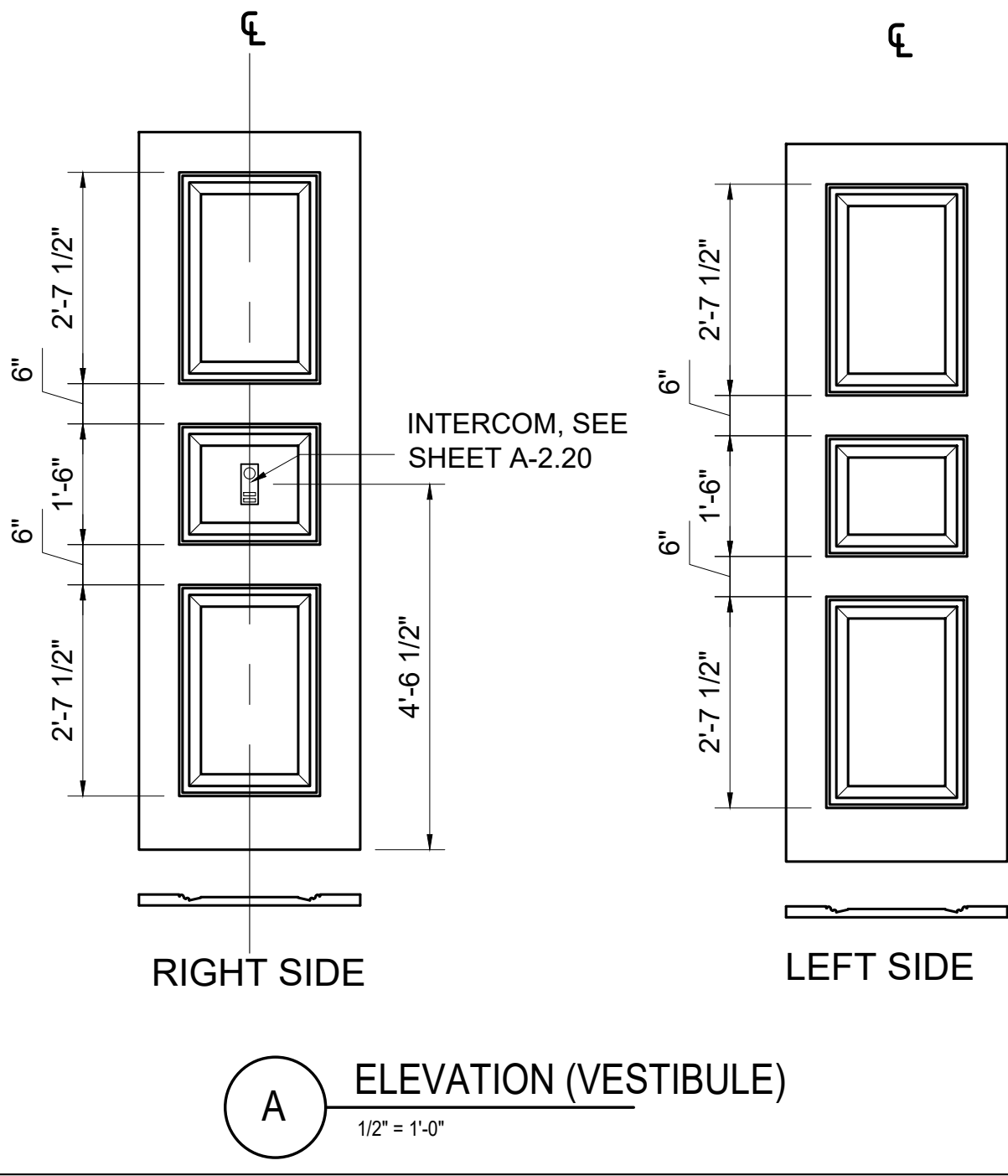
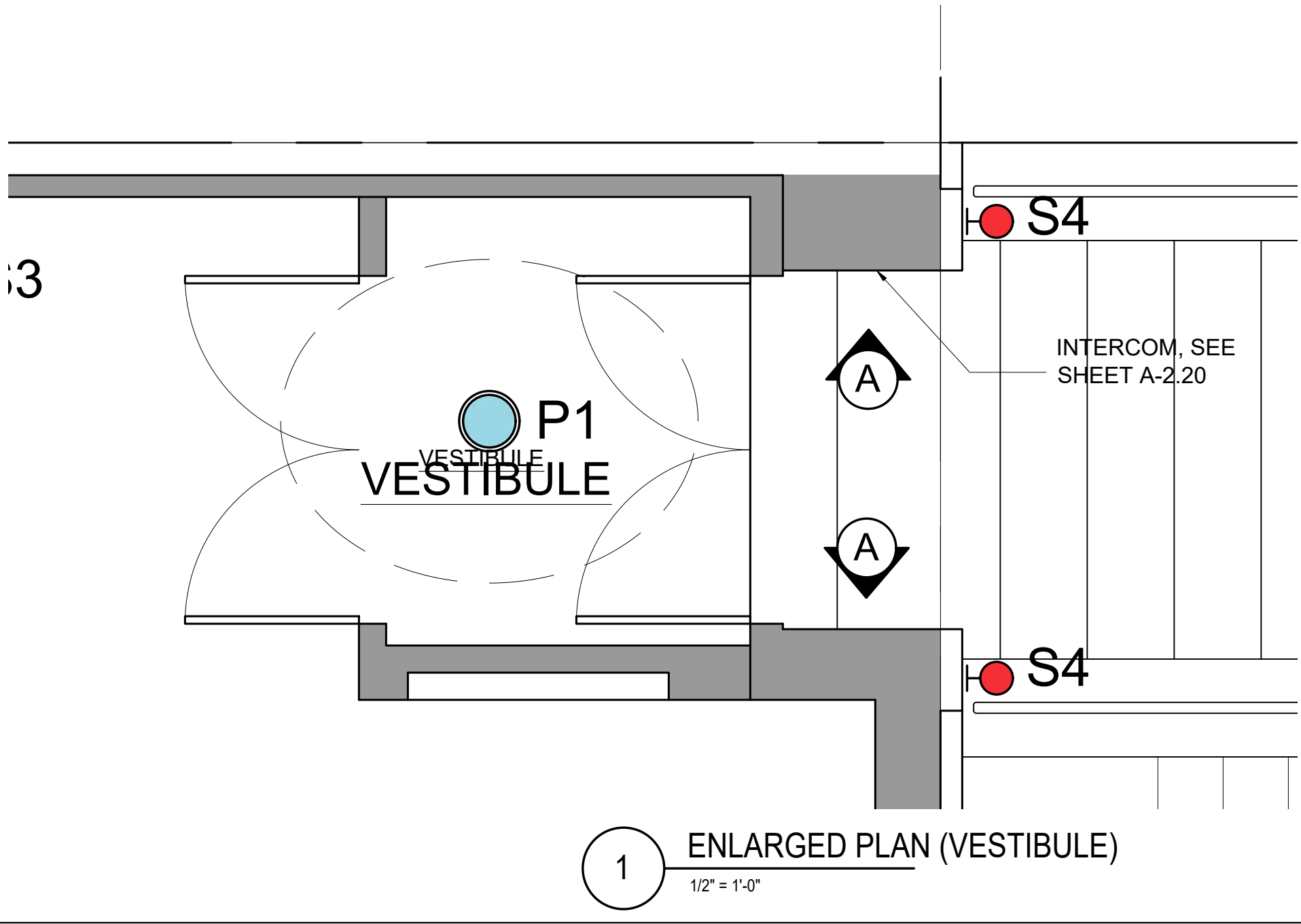
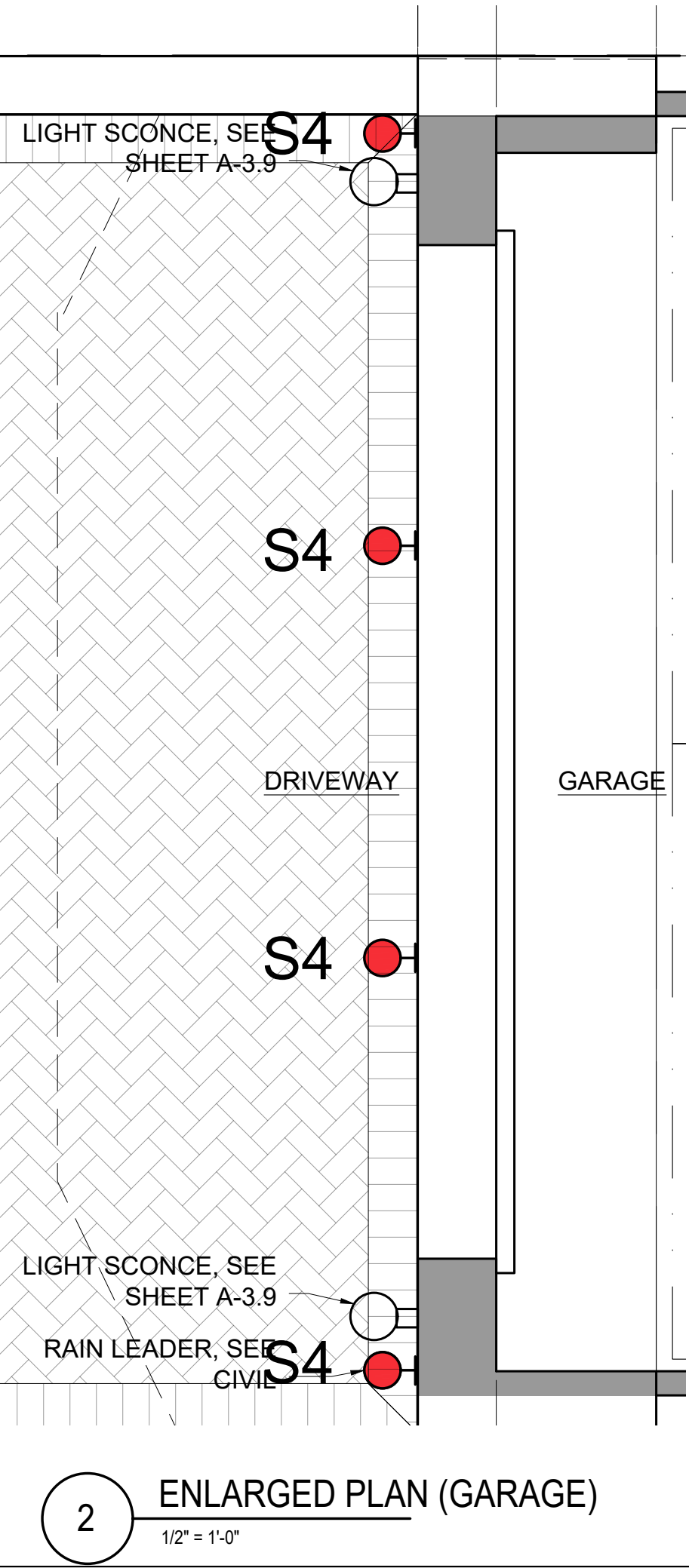
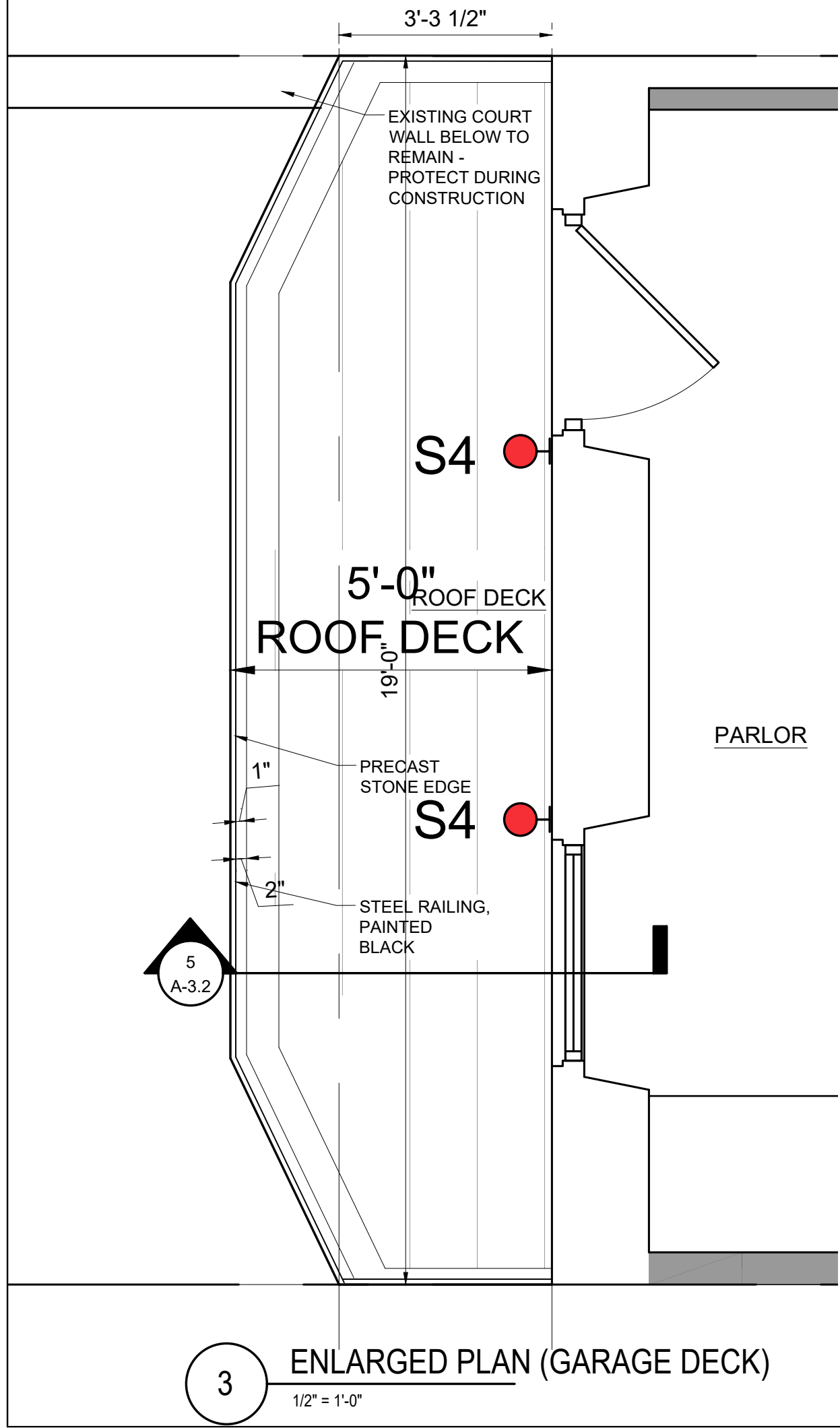
PROPOSED ENTRY DOOR HARDWARE



LIGHT SCONCE
N.T.S.



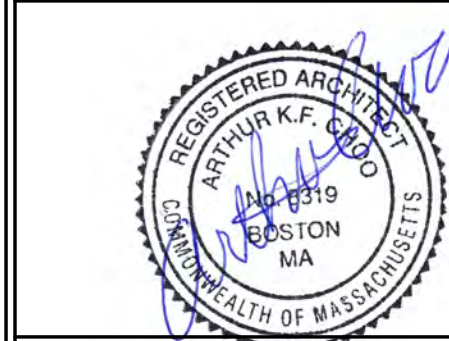
ENTRY ELEVATION
N.T.S.



Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

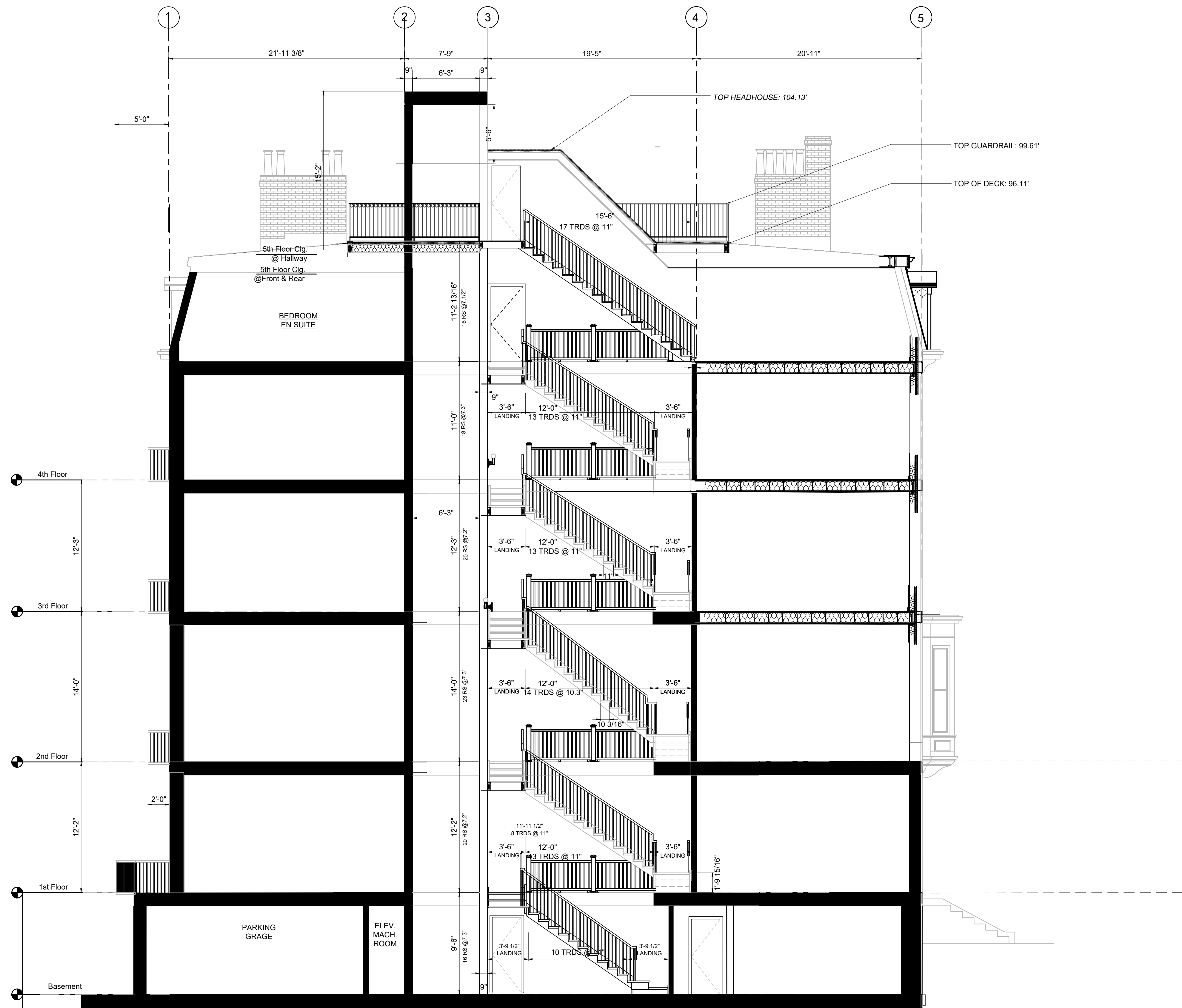


No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 02-12-2025
Drawn By: DF

Drawing Name
PROPOSED EXTERIOR HARDWARE & LIGHTING

Sheet No.
A-3.9



1 STAIR SECTION
1/4" = 1'-0"

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

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& Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

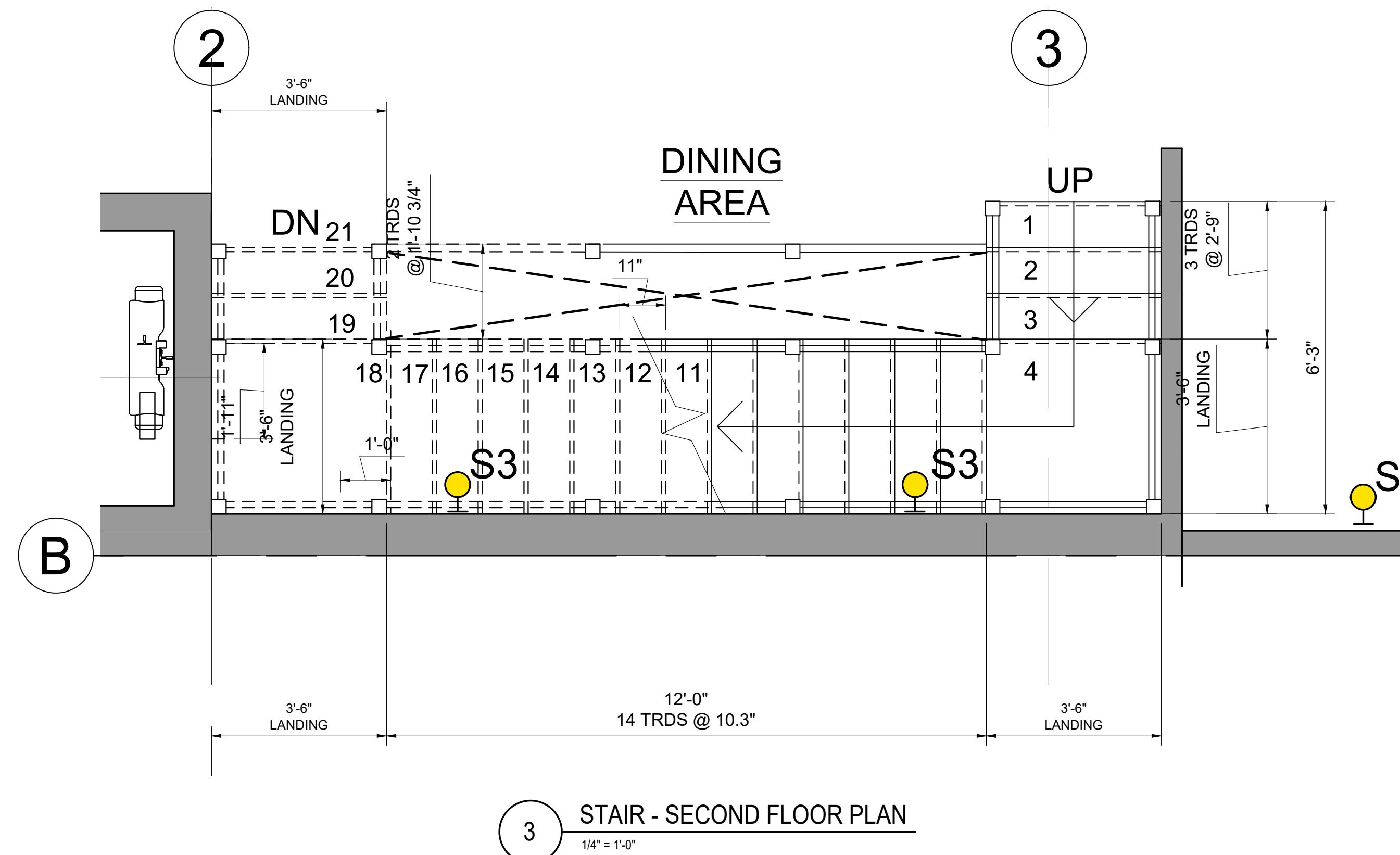
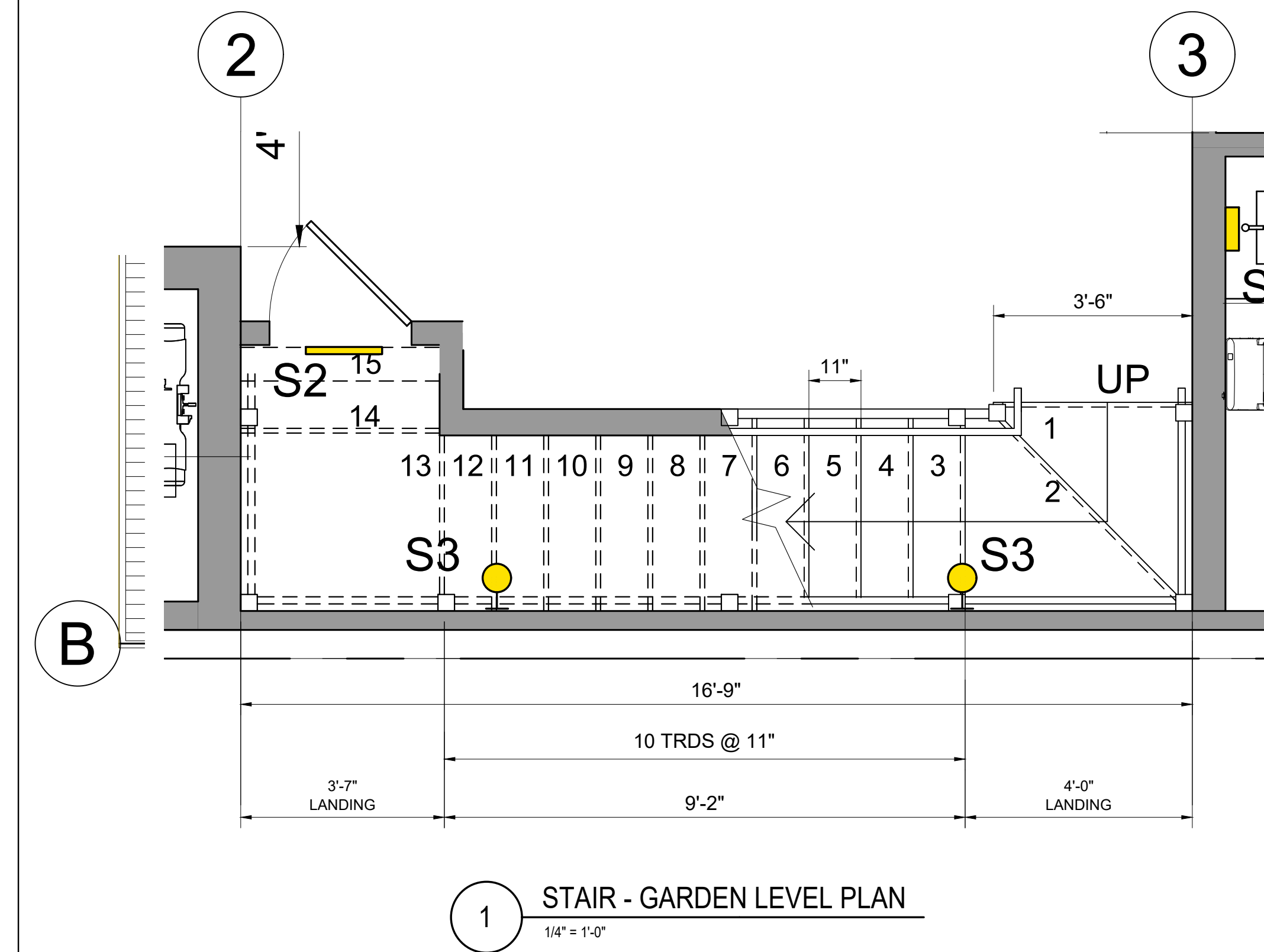
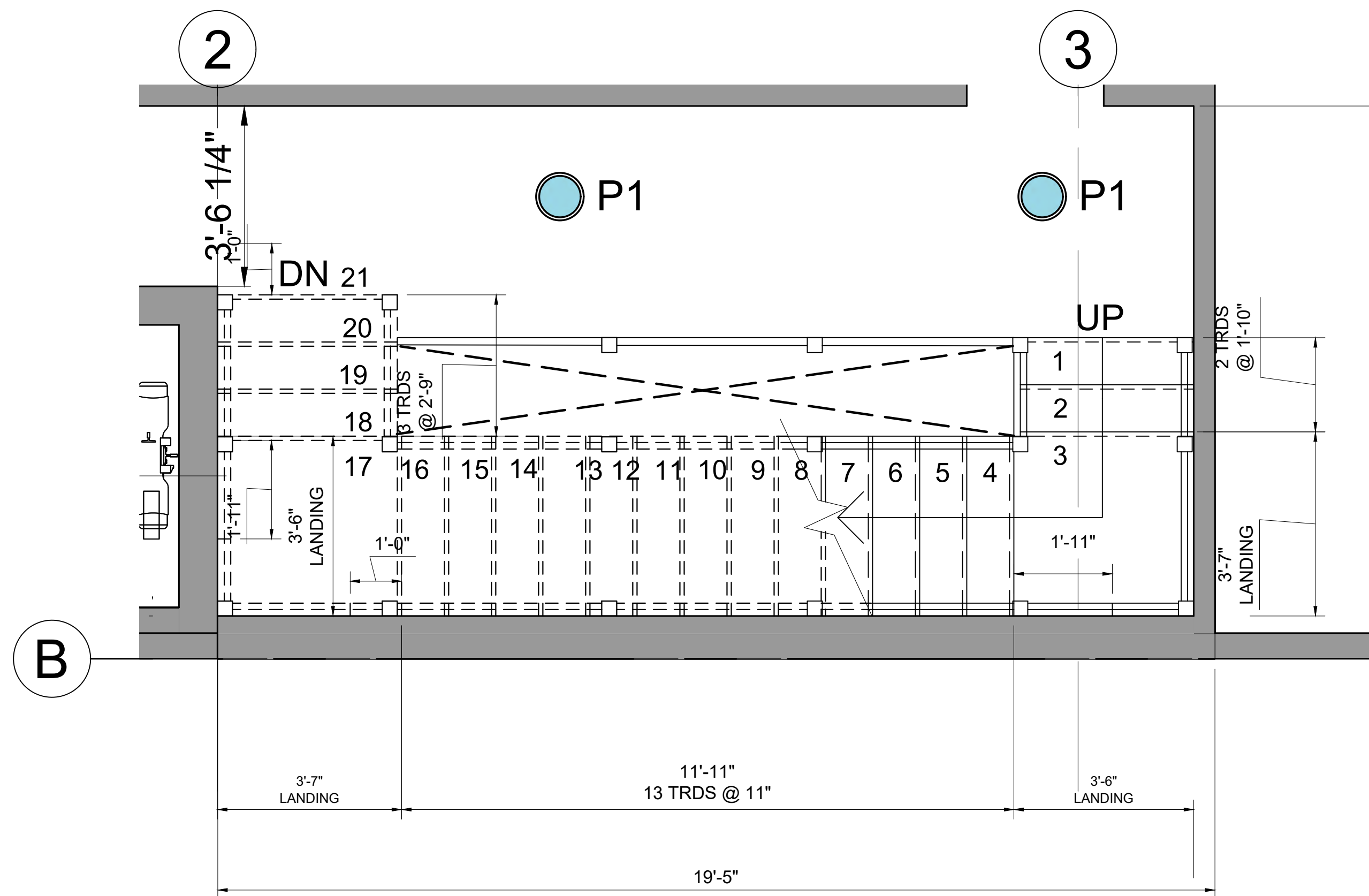
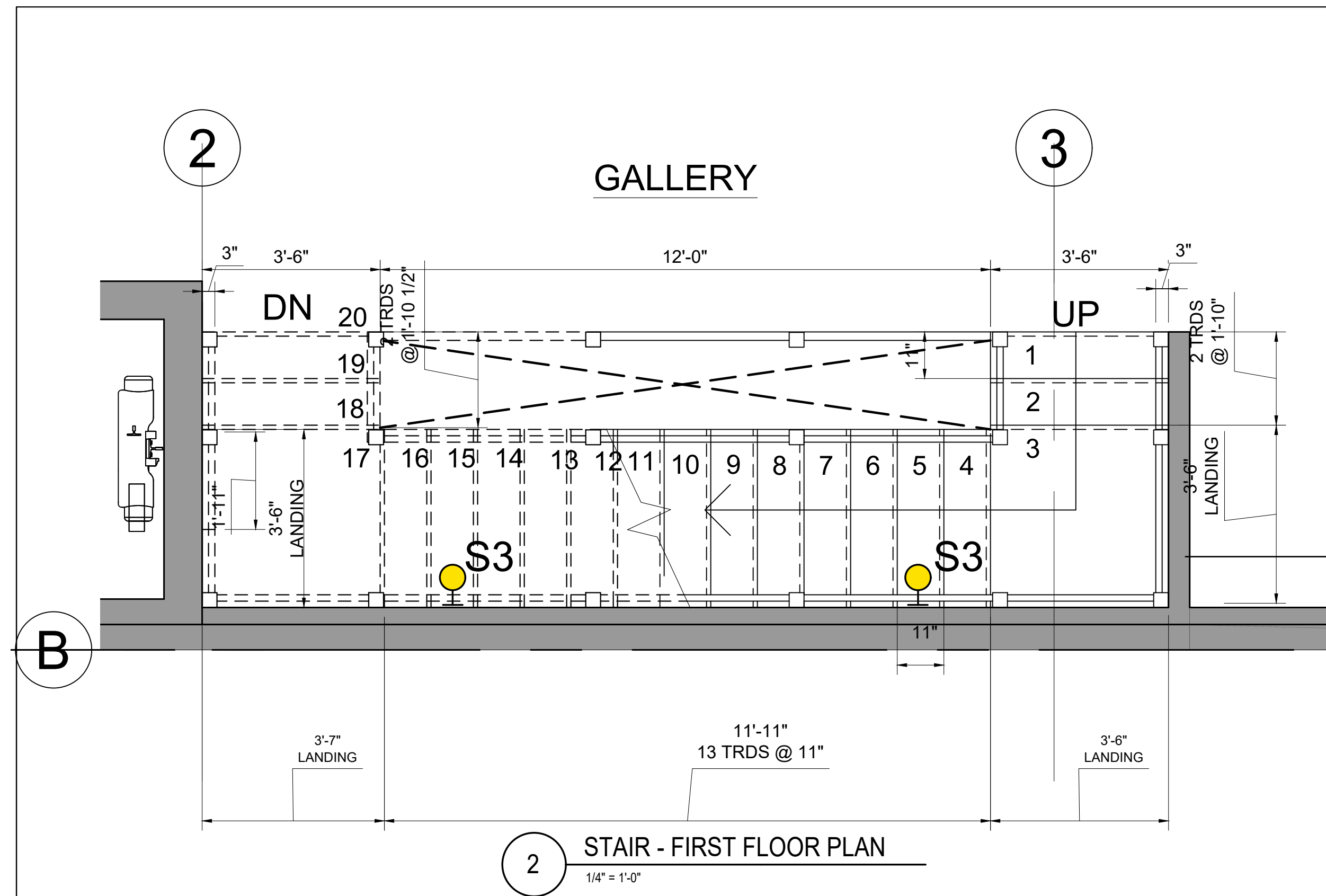


No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 02-12-2025
Drawn By: DF

Drawing Name
STAIR SECTION

Sheet No.
A-4.1



Location

PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
 617-786-7727 fax 617-786-7715

REGISTERED ARCHITECT
 ARTHUR K.F. CHOO
 No. 8319
 BOSTON
 MA
 COMMONWEALTH OF MASSACHUSETTS

No.	Revision Date

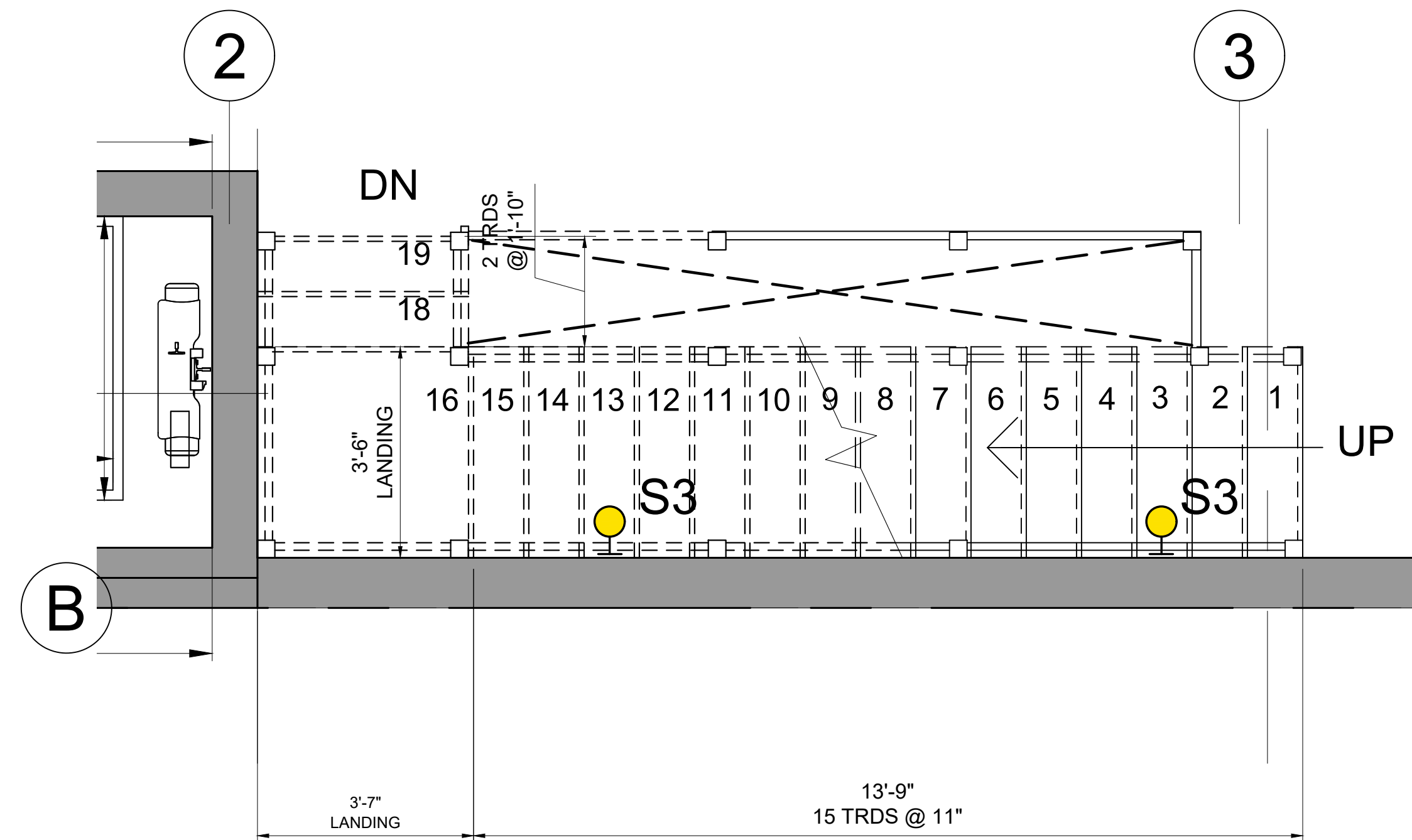
Project No: 2024121
 Scale: AS NOTED
 Date: 02-12-2025
 Drawn By: DF

Drawing Name

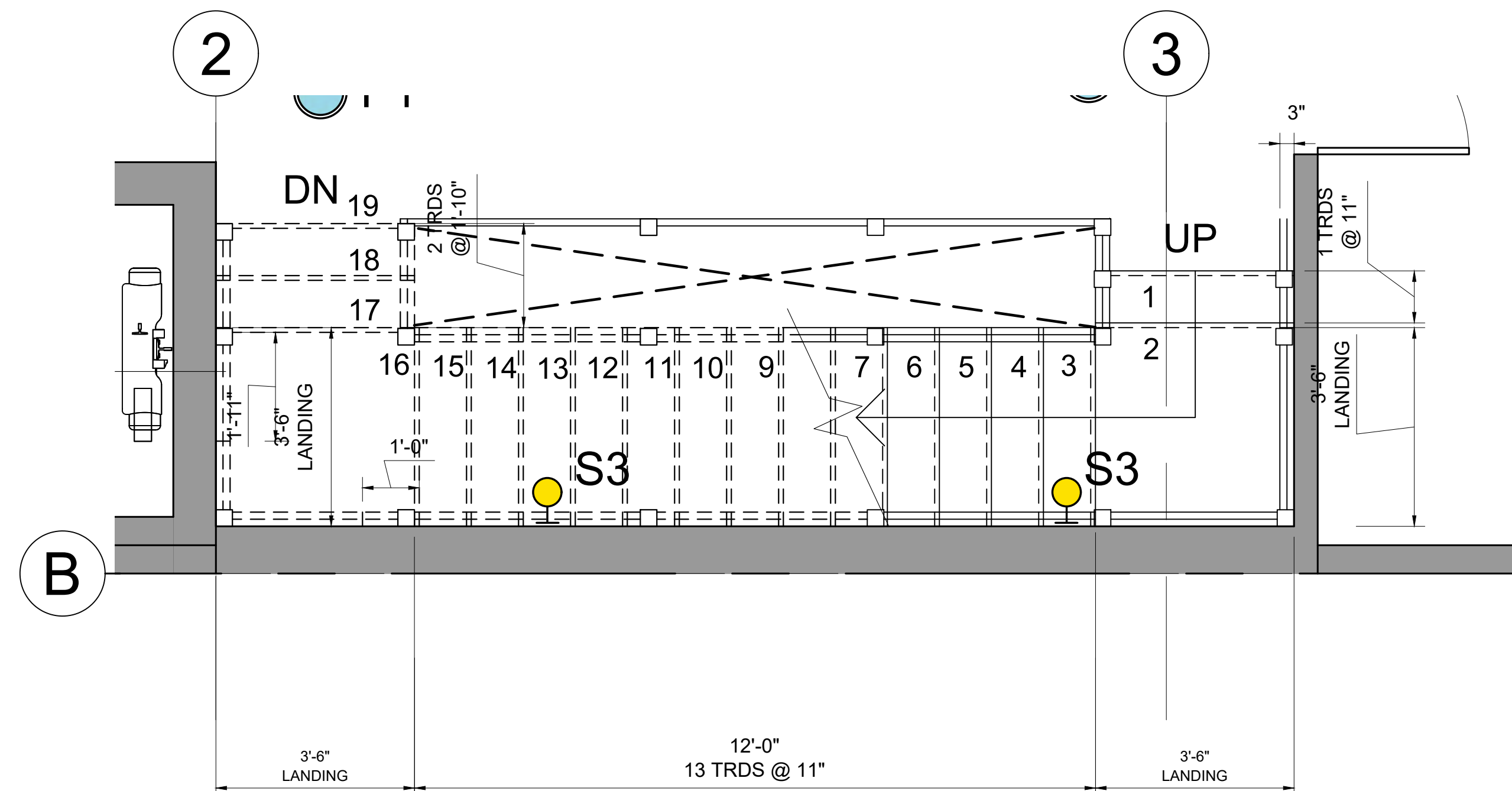
STAIR PLANS

Sheet No.

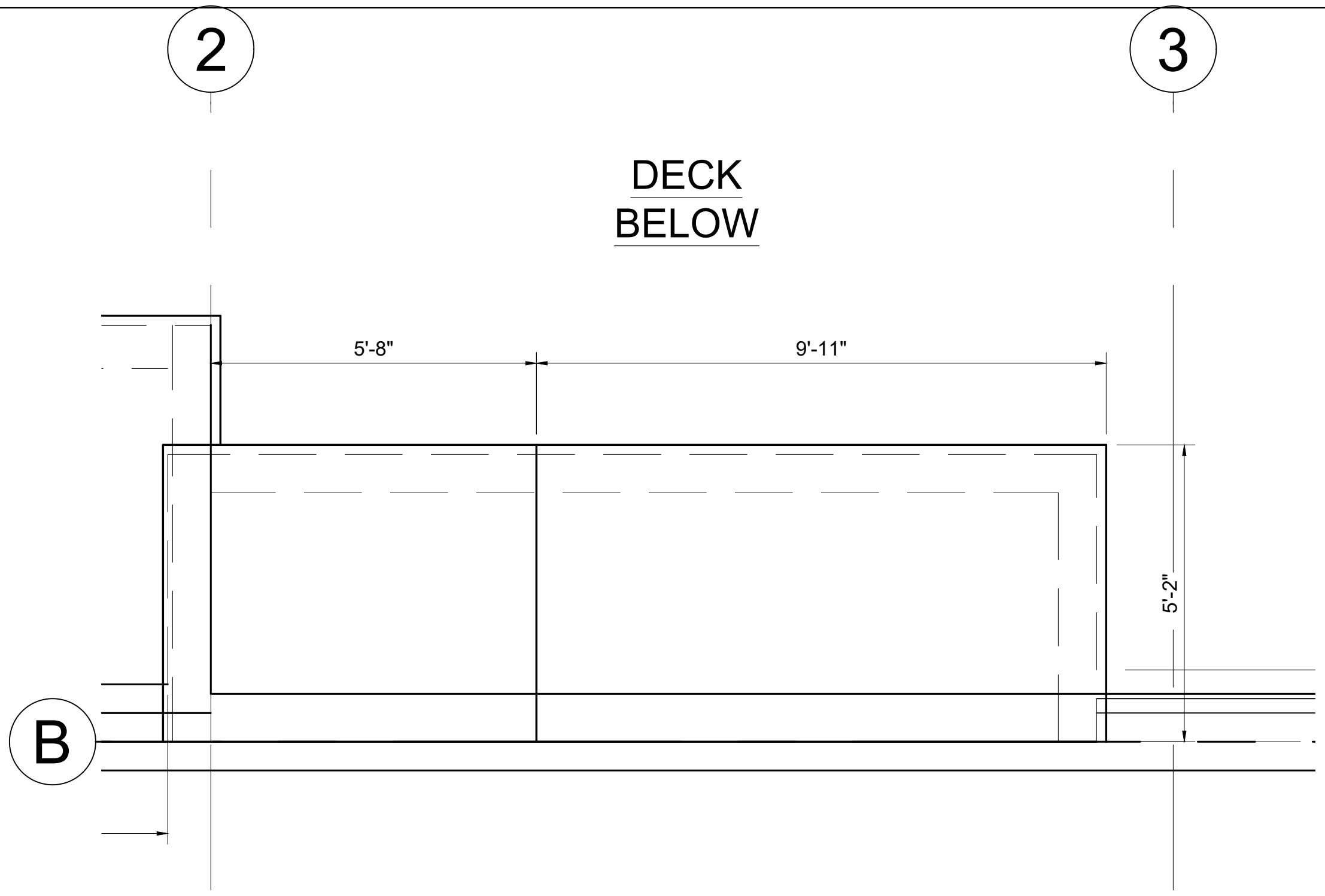
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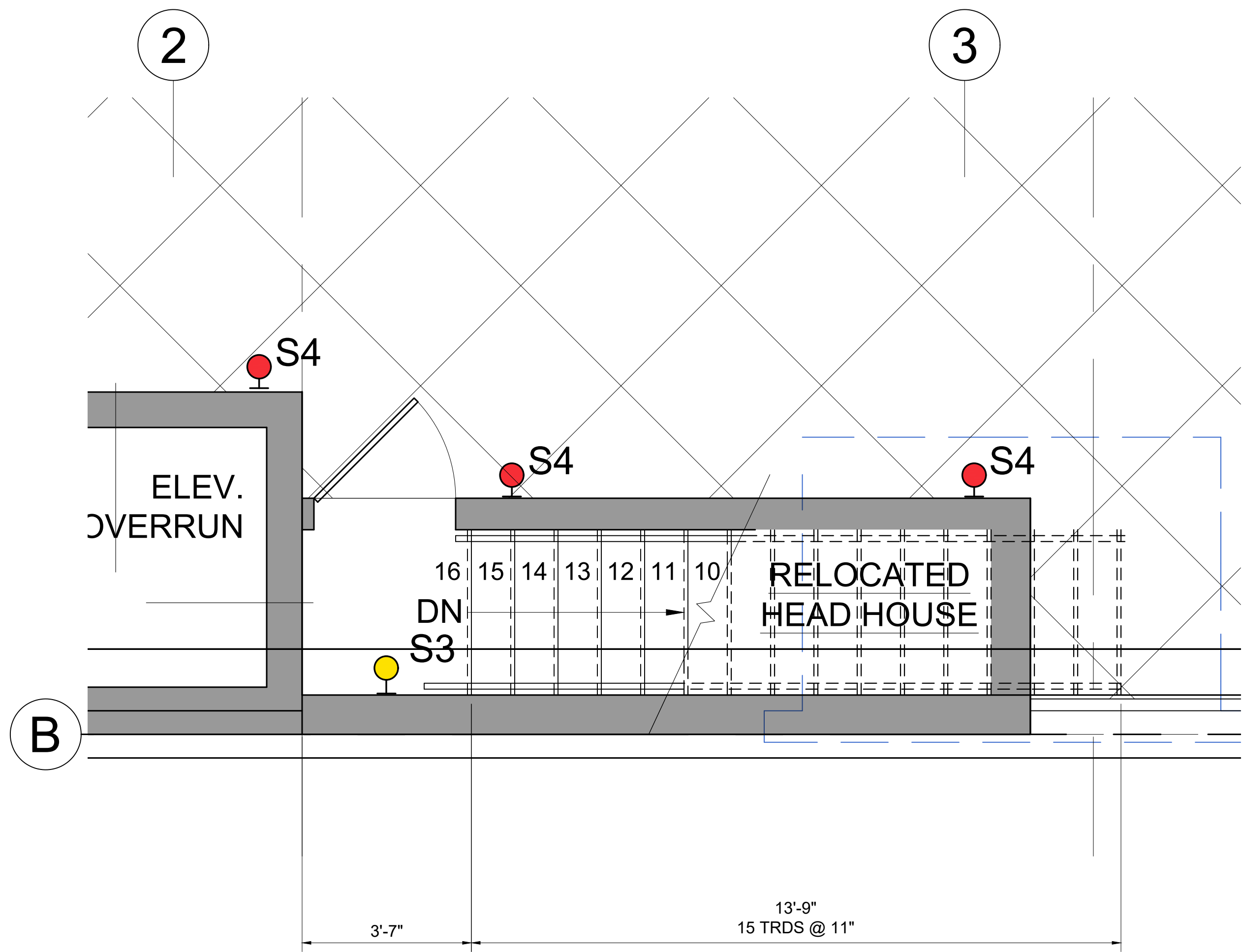
6 STAIR - FIFTH FLOOR PLAN
1/4" = 1'-0"



5 STAIR - FOURTH FLOOR PLAN
1/4" = 1'-0"



8 STAIR - UPPER ROOF PLAN
1/4" = 1'-0"



7 STAIR - ROOF PLAN
1/4" = 1'-0"

Location
**PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116**

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

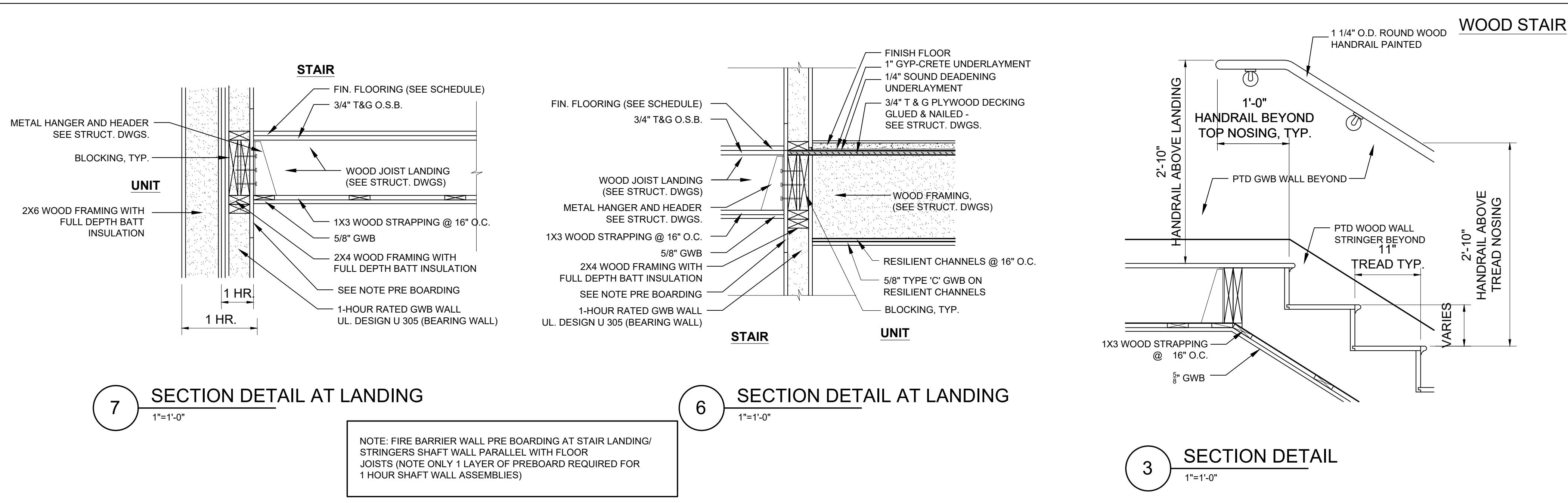
REGISTERED ARCHITECT
ARTHUR K.F. CHOO
JAN 1999
BOSTON
MA
COMMONWEALTH OF MASSACHUSETTS

No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 02-12-2025
Drawn By: DF

Drawing Name
STAIR PLANS

Sheet No.
A-4.3



7

SECTION DETAIL AT LANDING

1"=1'-0"

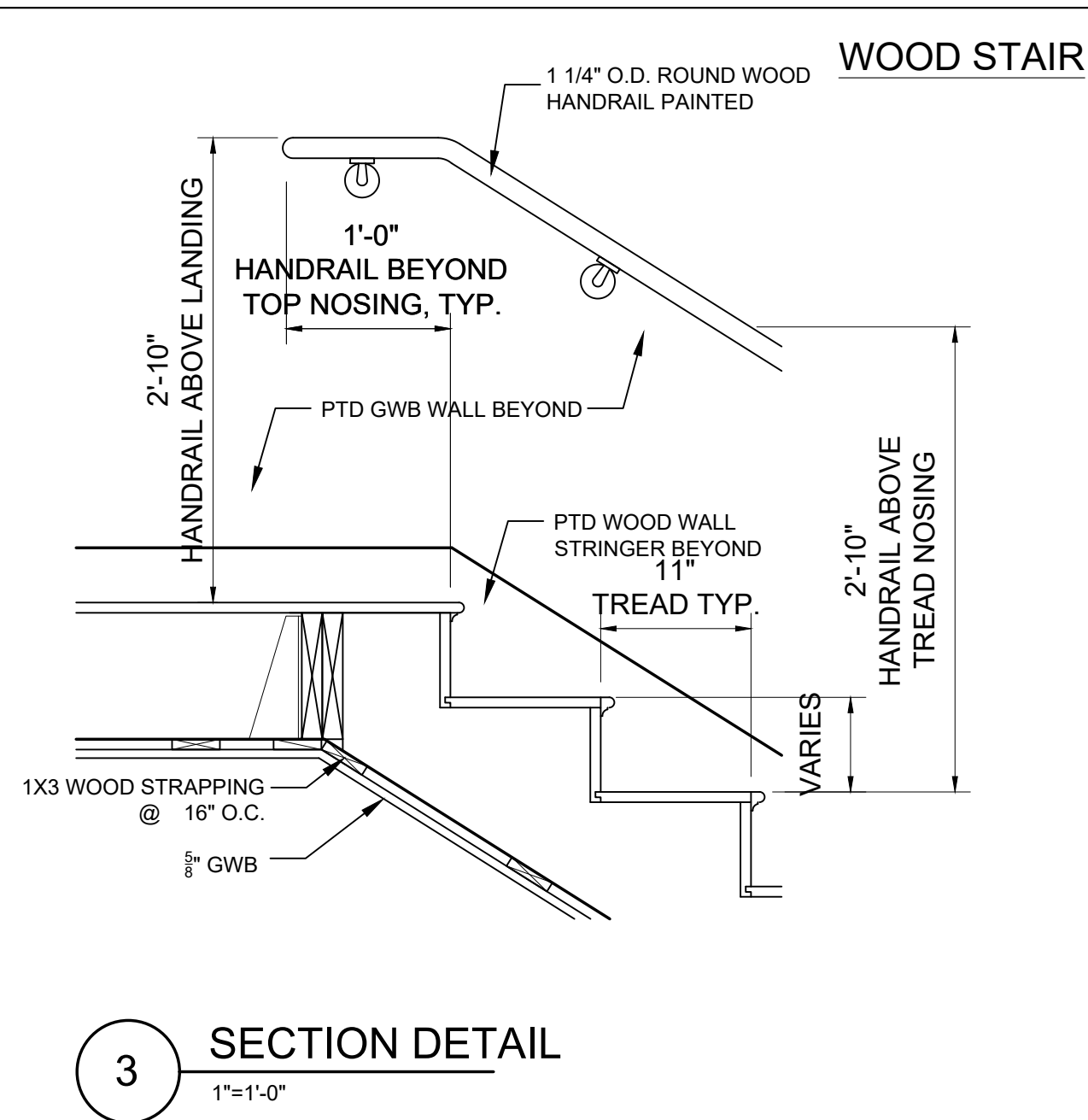
6

SECTION DETAIL AT LANDING

1"=1'-0"

NOTE: FIRE BARRIER WALL PRE BOARDING AT STAIR LANDING/ STRINGERS SHAFT WALL PARALLEL WITH FLOOR JOISTS (NOTE ONLY 1 LAYER OF PREBOARD REQUIRED FOR 1 HOUR SHAFT WALL ASSEMBLIES)

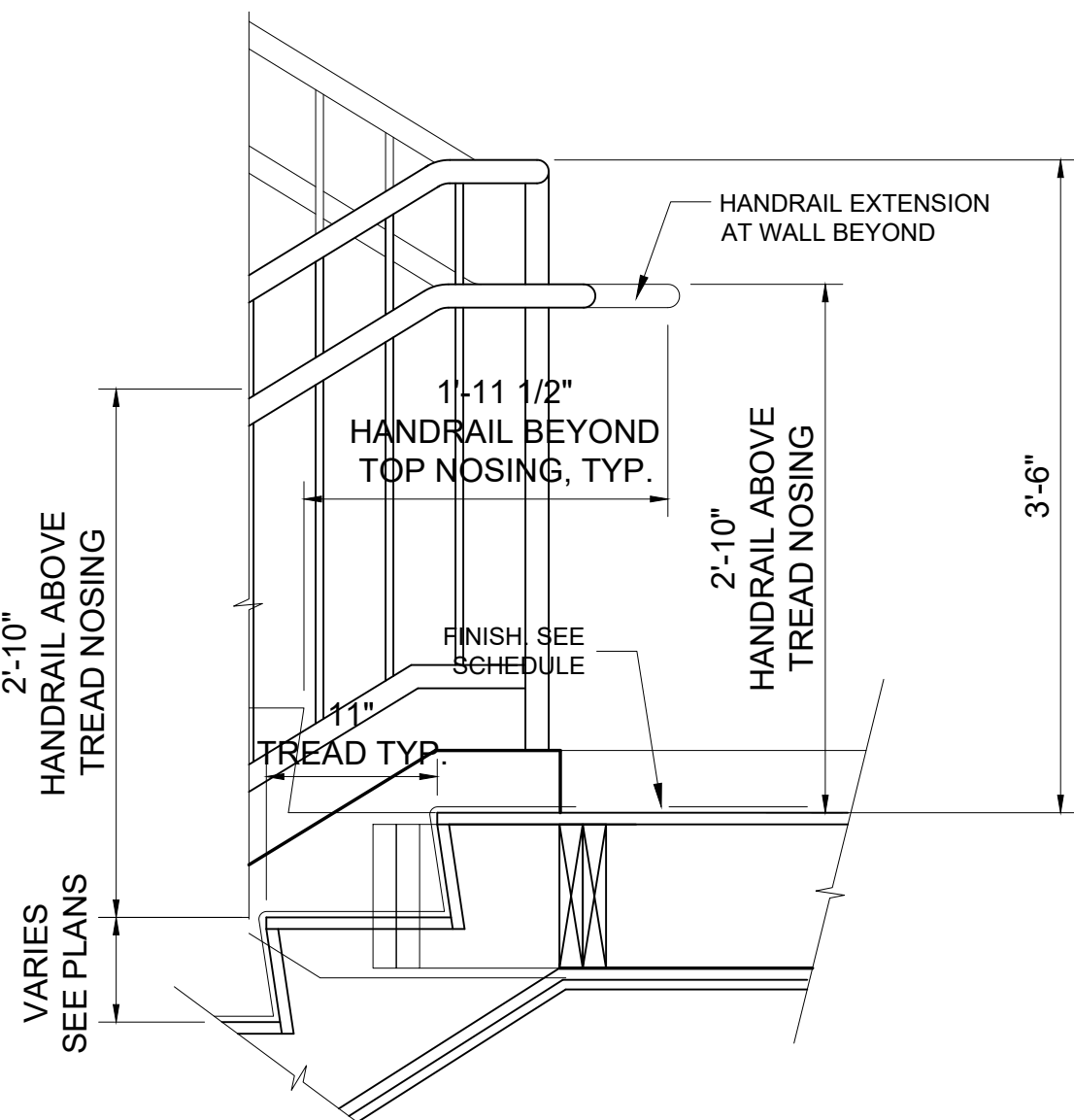
NOTE: ALL STAIR MATERIALS AND DESIGN TO BE SELECTED AND COORDINATED BY INTERIOR DESIGN. SEE INTERIOR DRAWINGS.



3

SECTION DETAIL

1"=1'-0"



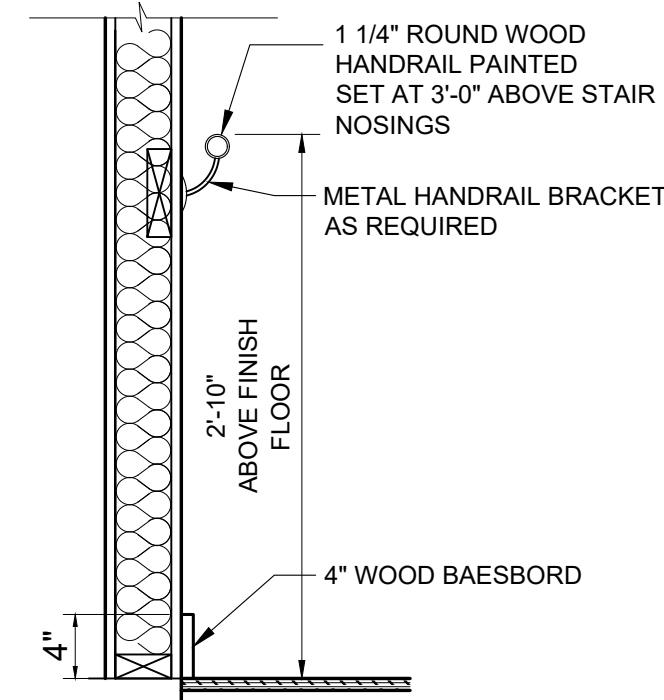
2

SECTION DETAIL

1"=1'-0"

5 HANDRAIL DETAIL

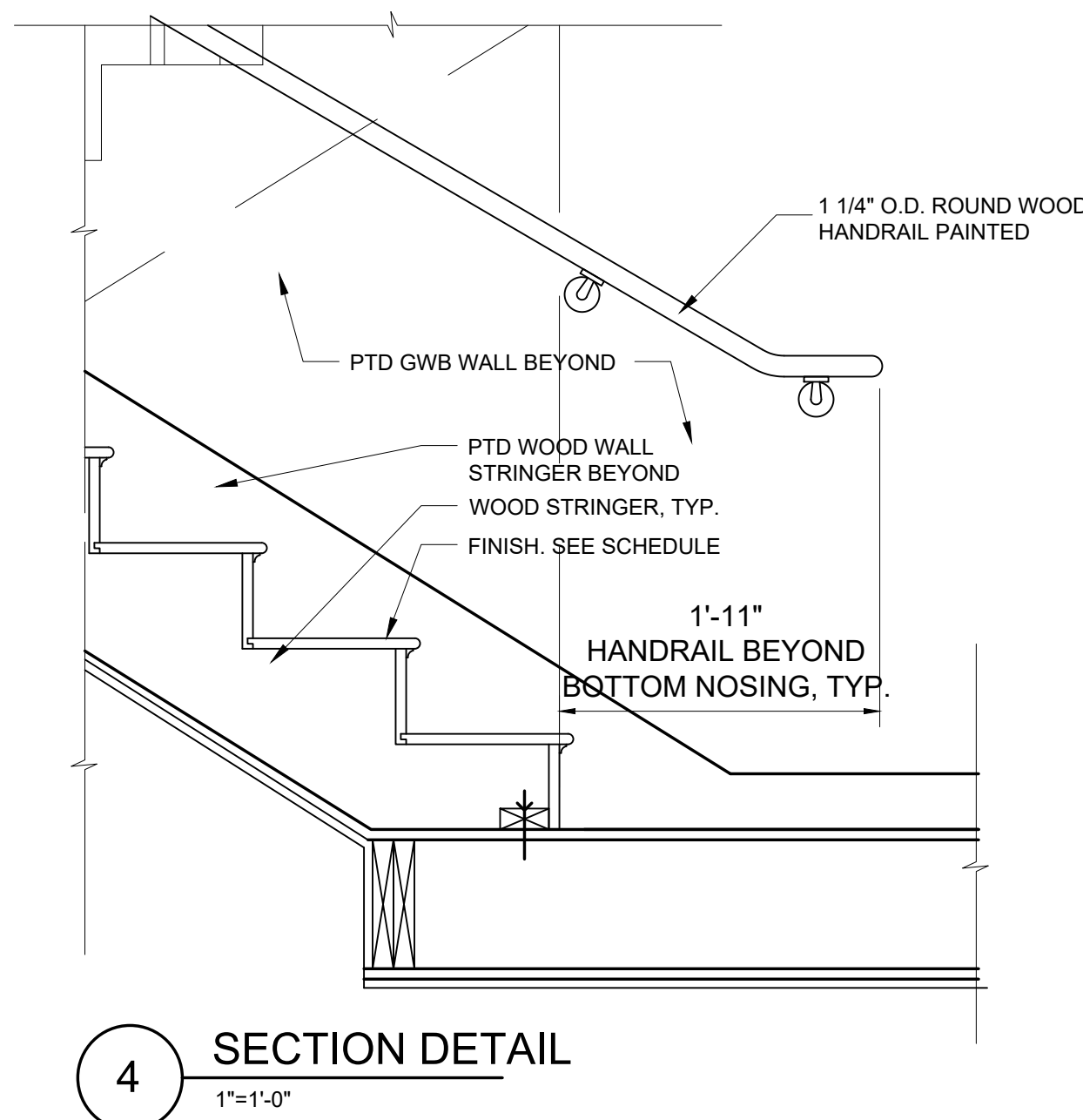
1"=1'-0"



5

HANDRAIL DETAIL

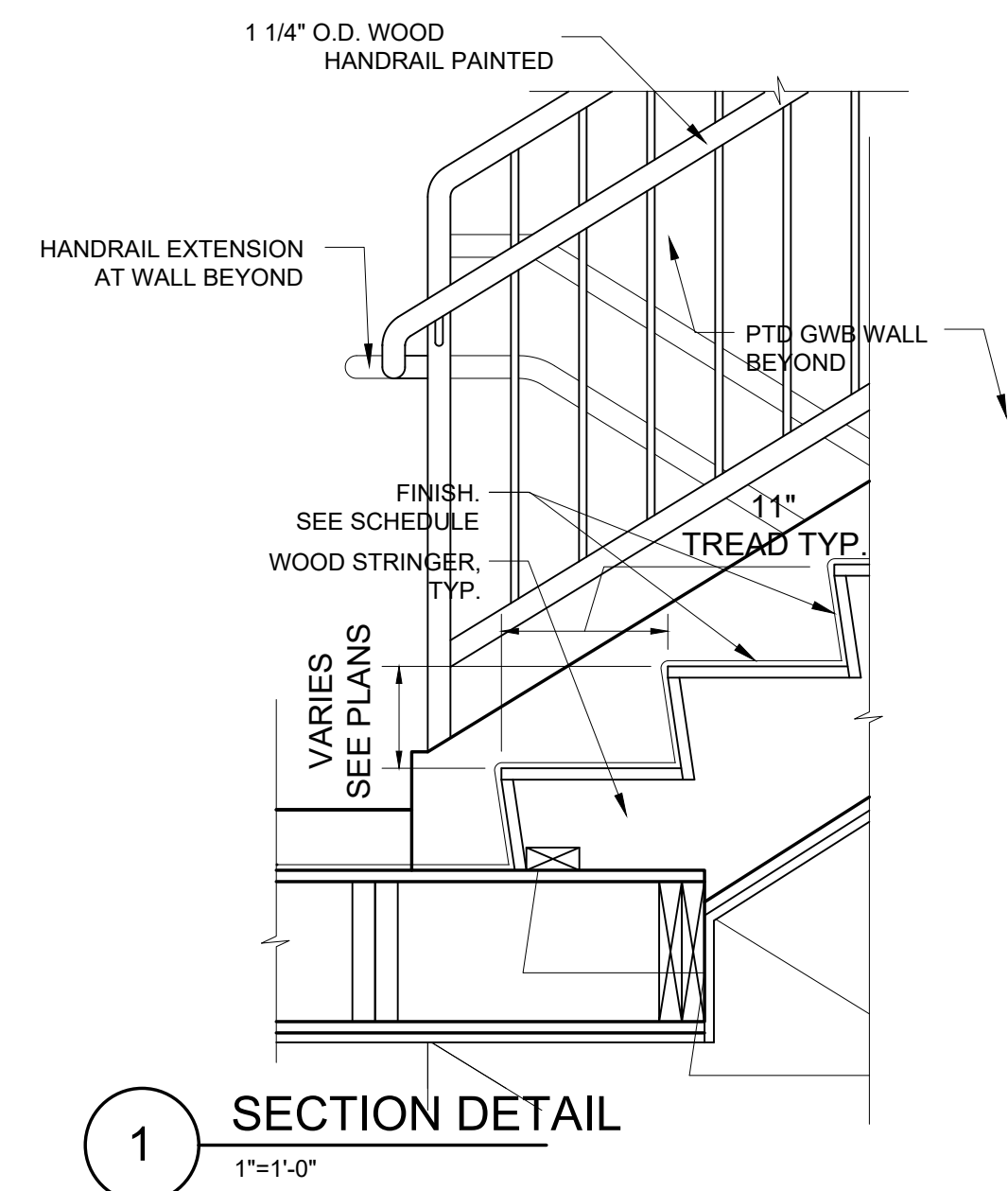
1"=1'-0"



4

SECTION DETAIL

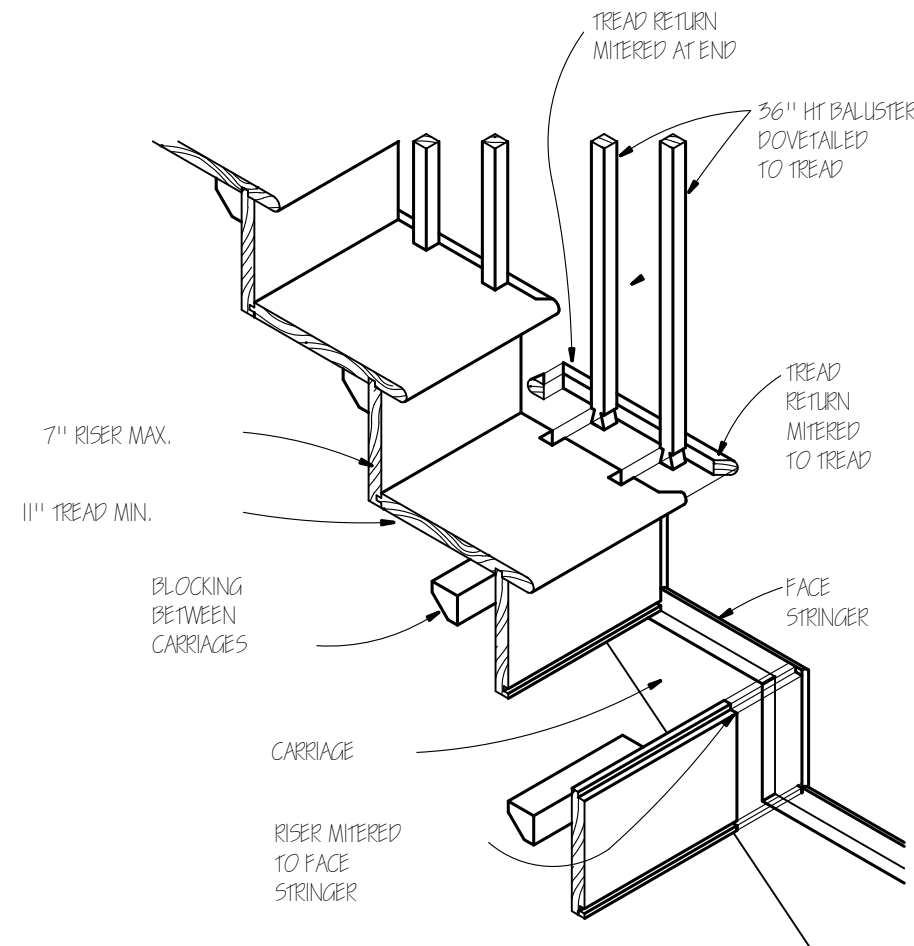
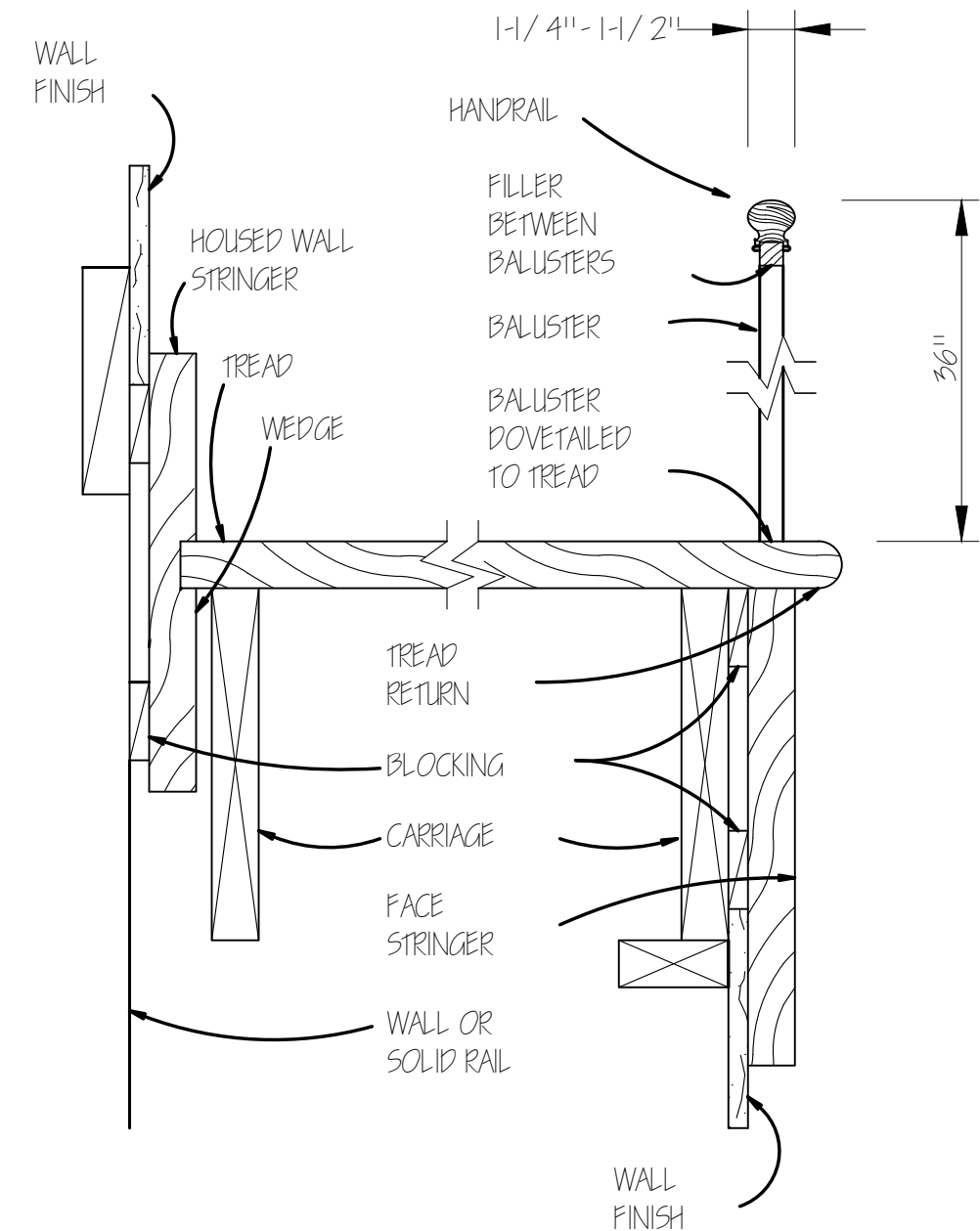
1"=1'-0"



1

SECTION DETAIL

1"=1'-0"



Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo & Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No. Revision Date

Project No: 2024121
Scale: AS NOTED
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Drawn By: DF

Drawing Name

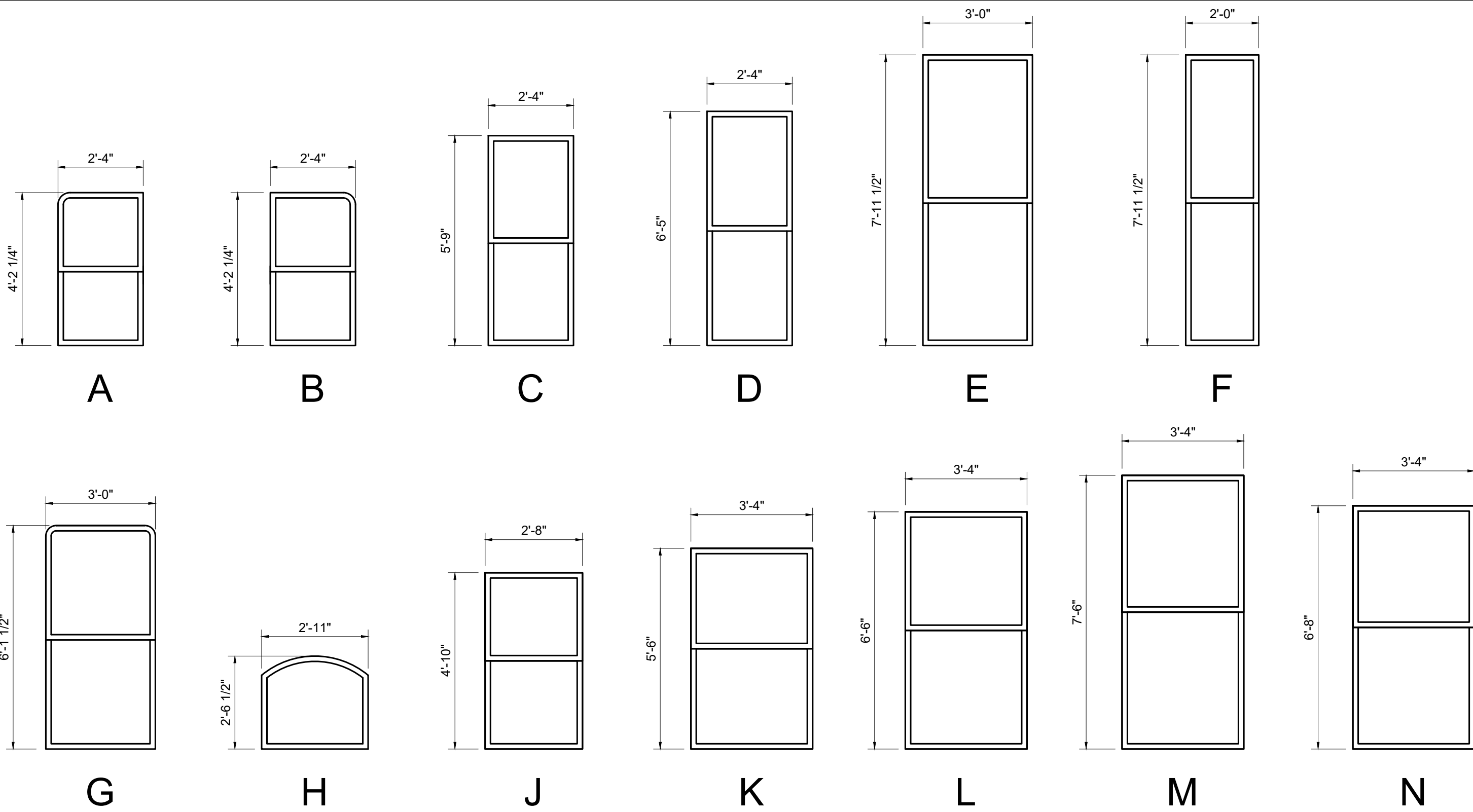
STAIR DETAILS

Sheet No.

A-4.4

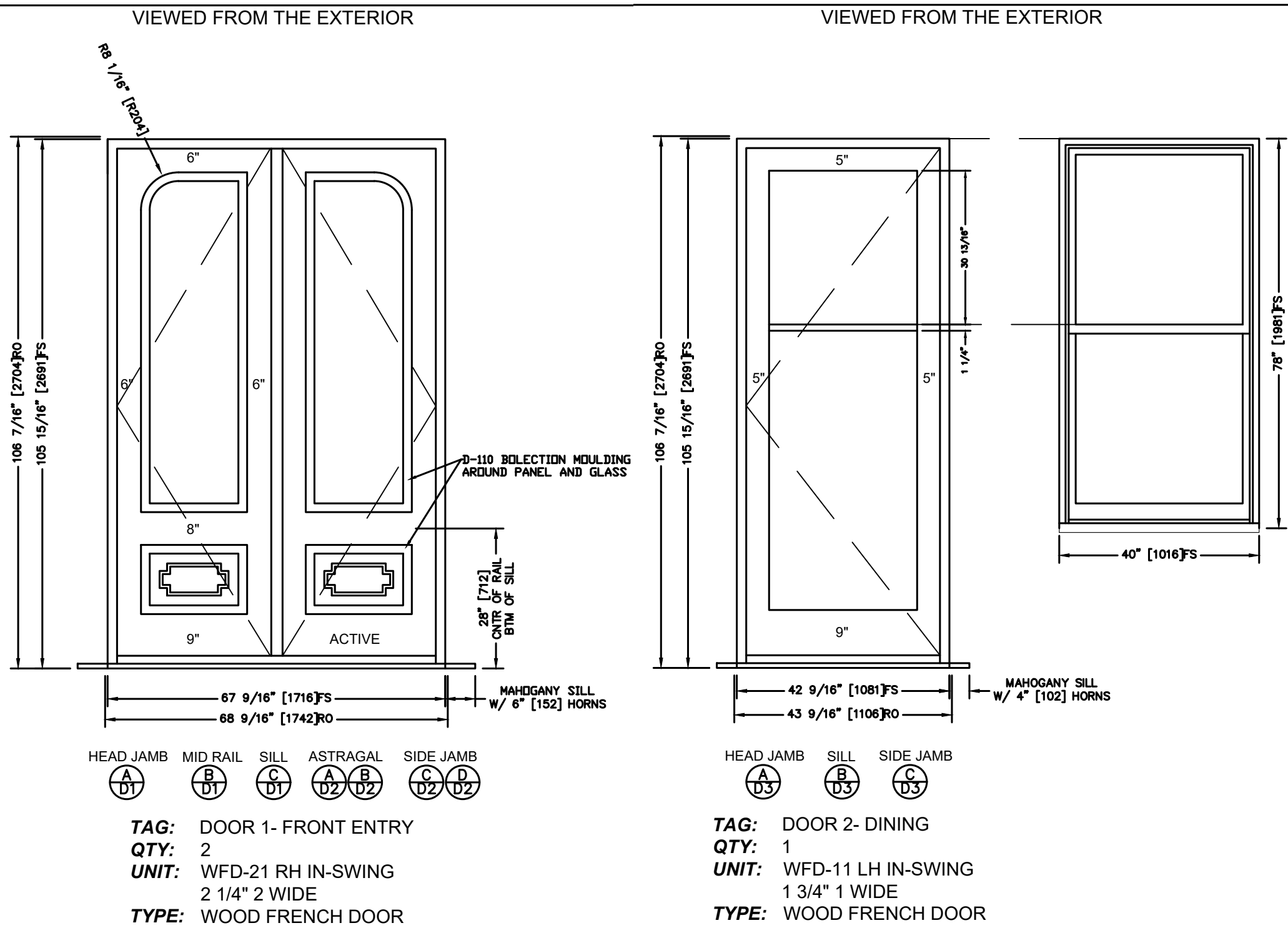
WINDOW TYPES

WINDOW SCHEDULE						
NO.	MANUFACTURER	MODEL	QUAN.	FRAME SIZE	MATERIAL	TYPE
A	LEPAGE MILLWORK	XL HUNG	1	2'-4" x 4' 2 1/4"	WOOD	DOUBLE HUNG WINDOW
B	LEPAGE MILLWORK	XL HUNG	1	2'-4" x 4' 2 1/4"	WOOD	DOUBLE HUNG WINDOW
C	LEPAGE MILLWORK	XL HUNG	3	2'-4" x 5'-9"	WOOD	DOUBLE HUNG WINDOW
D	LEPAGE MILLWORK	XL HUNG	3	2'-4" x 6'-5"	WOOD	DOUBLE HUNG WINDOW
E	LEPAGE MILLWORK	XL HUNG	1	3'-0" x 7'-11 1/2"	WOOD	DOUBLE HUNG WINDOW
F	LEPAGE MILLWORK	XL HUNG	2	2'-0" x 7'-11 1/2"	WOOD	DOUBLE HUNG WINDOW
G	LEPAGE MILLWORK	XL HUNG	1	3'-0" x 6'-1 1/2"	WOOD	DOUBLE HUNG WINDOW
H	LEPAGE MILLWORK	XL HUNG	2	2'-11" x 2'-6 1/2"	WOOD	ARCH TOP AWNING
J	LEPAGE MILLWORK	XL HUNG	2	2'-8" x 4'-10"	WOOD	DOUBLE HUNG WINDOW
K	LEPAGE MILLWORK	XL HUNG	2	3'-4" x 5'-6"	WOOD	DOUBLE HUNG WINDOW
L	LEPAGE MILLWORK	XL HUNG	2	3'-4" x 6'-6"	WOOD	DOUBLE HUNG WINDOW
M	LEPAGE MILLWORK	XL HUNG	2	3'-4" x 7'-6"	WOOD	DOUBLE HUNG WINDOW
N	LEPAGE MILLWORK	XL HUNG	1	3'-4" x 6'-8"	WOOD	DOUBLE HUNG WINDOW



DOOR SCHEDULE

NO.	SIZE	MATERIAL	MANUFACTURER	RATING	FRAME	TYPE	HARDWARE	REMARKS	NOTE: G.C. IS RESPONSIBLE TO VERIFY ALL DIMENSIONS AND UNIT QUANTITIES PRIOR TO ORDERING
1	(2) 2'-10" x 8'-6"	WOOD	LEPAGE MILLWORK	-	WOOD	1	ENTRANCE	NEW ENTRY DOOR TO MATCH EXISTING ADJACENT	
2	3'-4" x 8'-6"	WOOD	LEPAGE MILLWORK	-	WOOD	2	ENTRANCE	NEW ENTRY DOOR, MIDDLE RAIL ALIGNS WITH WINDOW TYPE N	
3	2'-8" x 7'-0"	WOOD	TBD	-	WOOD	-	BED/BATH	NEW PANEL DOOR, STYLE SELECTED BY OWNER	
4	2'-6" x 7'-0"	WOOD	TBD	-	WOOD	-	BED/BATH	NEW PANEL DOOR, STYLE SELECTED BY OWNER	
5	2'-6" x 7'-0"	WOOD	TBD	-	WOOD	-	SINGLE DUMMY	NEW PANEL DOOR, STYLE SELECTED BY OWNER	
6	2'-6" x 7'-0"	WOOD	TBD	-	WOOD	-	SINGLE DUMMY	NEW PANEL DOOR, PROVIDE LOUVER AS REQ'D, STYLE SELECTED BY OWNER	
7	(2) 2'-0" x 7'-0"	WOOD	TBD	-	WOOD	-	SINGLE DUMMY	NEW PAIR OF PANEL DOORS, STYLE SELECTED BY OWNER	
8	3'-0" x 7'-0"	WOOD	TBD	90 MINS.	WOOD	-	ENTRANCE	NEW FIRE-RATED PANEL DOOR & FRAME, STYLE SELECTED BY OWNER	
9	2'-8" x 7'-0"	WOOD	TBD	-	WOOD	-	STORAGE	NEW PANEL DOOR, STYLE SELECTED BY OWNER	
10	NOT USED								
11	3'-0" x 7'-0"	WOOD	TBD	90 MINS.	WOOD	-	ELEVATOR	NEW FIRE-RATED PANEL DOOR & FRAME, STYLE SELECTED BY OWNER	
12	NOT USED								
13	2'-6" x 7'-0" V.I.F.	WOOD	TBD	-	WOOD	-	ENTRANCE	NEW EXTERIOR FULL LITE INSULATED TEMPERED GLASS DOOR	
14	2'-8" x 7'-0"x 1 3/4"	WOOD	TBD	-	WOOD	-	STORAGE	NEW PANEL DOOR, STYLE SELECTED BY OWNER	
15	2'-8" x 7'-0" x 1 3/4"	WOOD	TBD	-	WOOD	-	ENTRANCE	NEW PANEL DOOR, STYLE SELECTED BY OWNER, PROVIDE DEADBOLT	
16	2'-6" x 6'-0" V.I.F.	STEEL	EXISTING	-	WOOD		ENTRANCE	EX'G OPERABLE STEEL SECURITY GRILLE TO BE RESTORED AND RE-INSTALLED	
17	2'-8" x 8'-0" V.I.F.	WOOD & GLASS	EXISTING	-	WOOD		ENTRANCE	EX'G DOOR TO BE RESTORED AND RE-INSTALLED	
18	2'-6" x 7'-0"	WOOD	TBD	-	WOOD	-	POCKET DOOR	NEW PANEL DOOR, STYLE SELECTED BY OWNER - PROVIDE PRIVACY LOCK	
19	2'-6" x 7'-0"	WOOD	TBD	-	WOOD	-	STORAGE	NEW PANEL DOOR, STYLE SELECTED BY OWNER	
20	2'-6" x 7'-0"	WOOD			WOOD			CASED OPENING	
21	8'-0" x 7'-0"	WOOD & GLASS	3-PANEL SLIDER		WOOD		BED/BATH	NEW 3 PANEL DOOR SLIDER, STYLE SELECTED BY OWNER	
22	14'-0 x 7'-0"	WOOD	GARAGE DOOR	-		-	GARAGE	NEW GARAGE OVERHEAD DOOR, STYLE SELECT BY OWNER, LOW CLEARANCE	



Location

PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Ochoo
& Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 02-12-2025
Drawn By: DF

Drawing Name

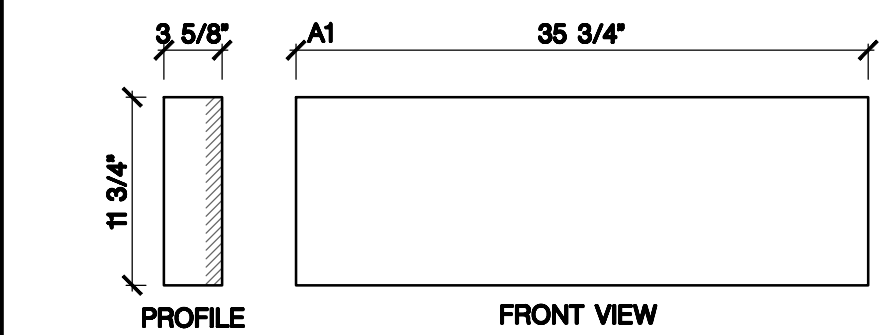
WINDOW
TYPE &
SCHEDULE

Sheet No.

A-5.1

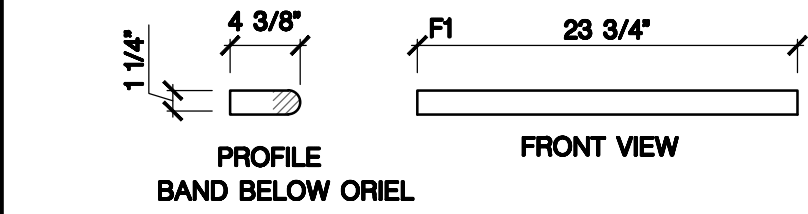
SYMBOL	QUANTITY	LNFT PER PIECE
A1	154	2.98

VENEER
*Note: Mason to cut on site as required.



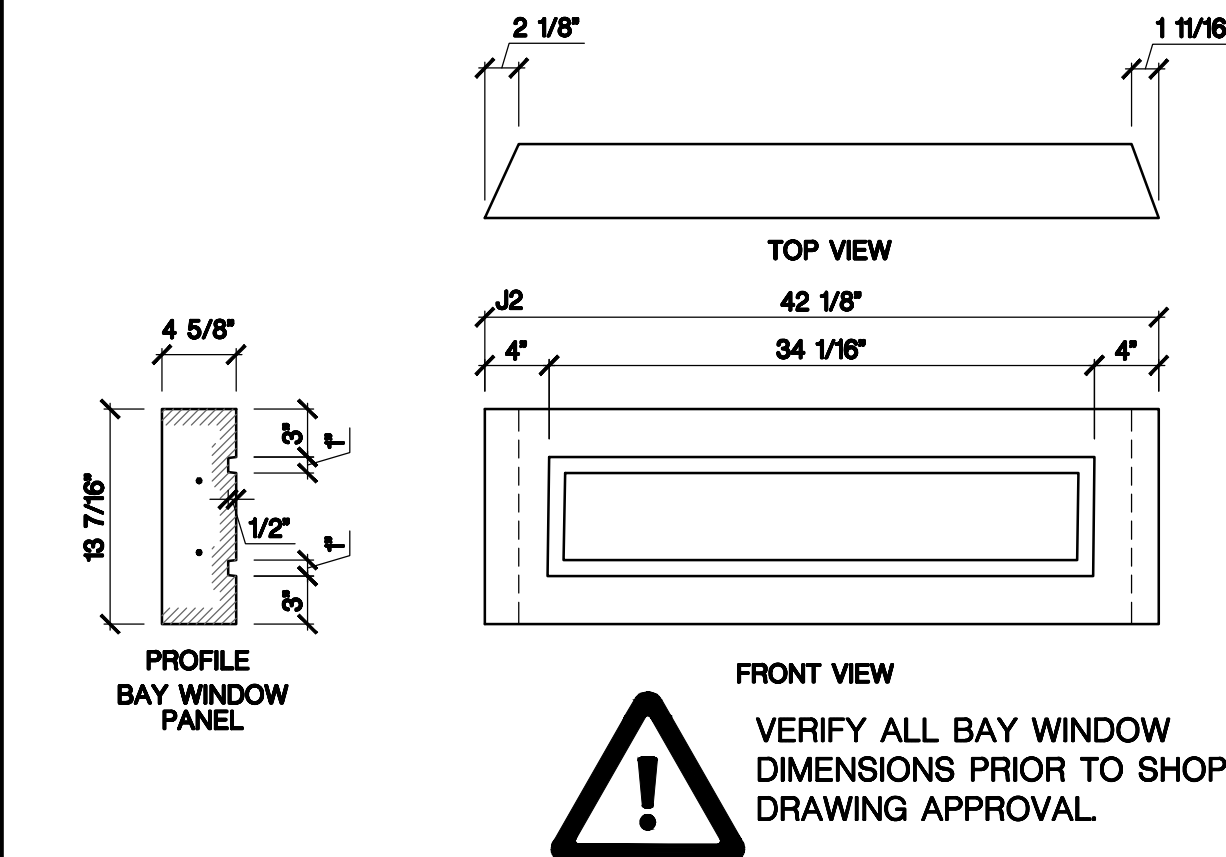
SYMBOL	QUANTITY	LNFT PER PIECE
F1	10	1.98

BANDING



SYMBOL	QUANTITY	LNFT PER PIECE
J2	1	3.51
J2a	1	3.51

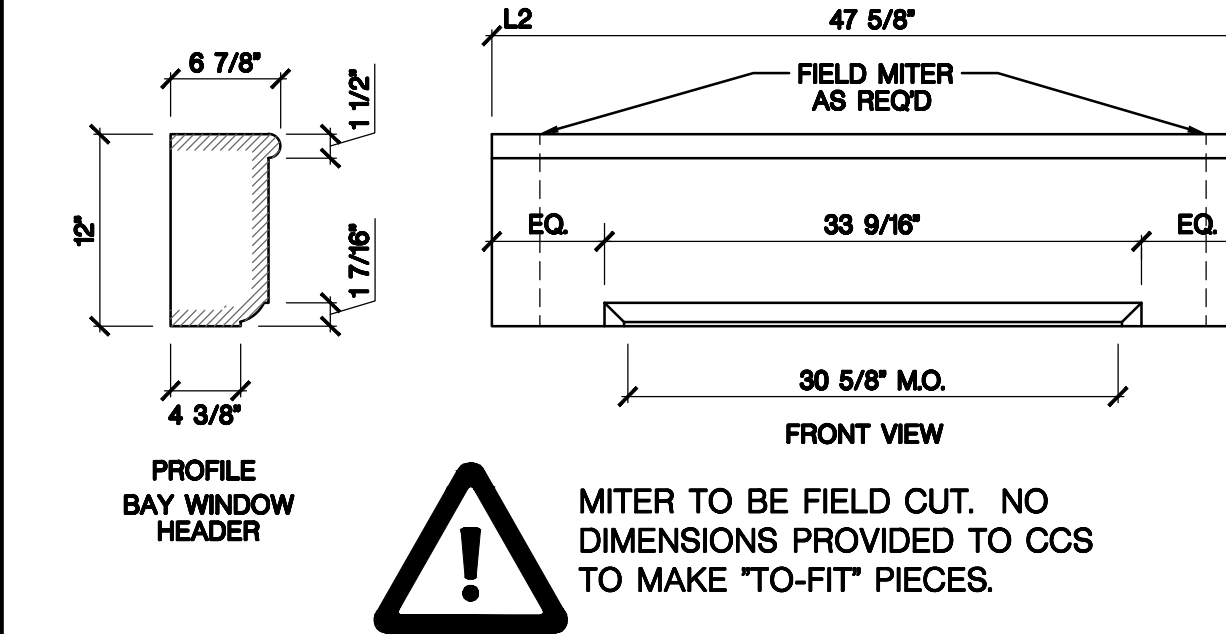
PANEL AT BAY
*Note: Piece requires rebar #3 grade 60.



SYMBOL	QUANTITY	LNFT PER PIECE
L2	2	3.97

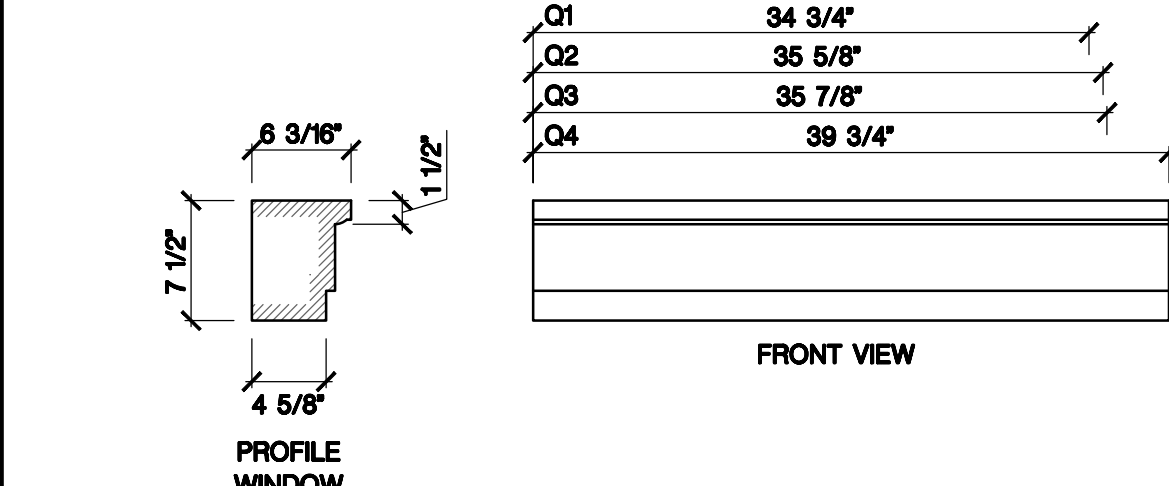
HEADER AT BAY WINDOW

*Note: Mason to cut on site as required.



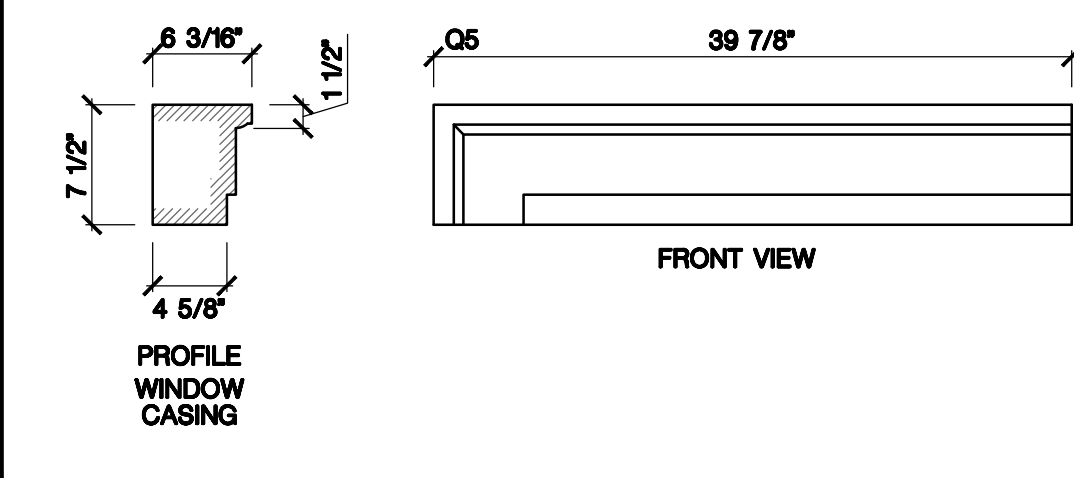
SYMBOL	QUANTITY	LNFT PER PIECE
Q1	2	2.89
Q2	4	2.97
Q3	4	2.99
Q4	4	3.31

WINDOW CASING



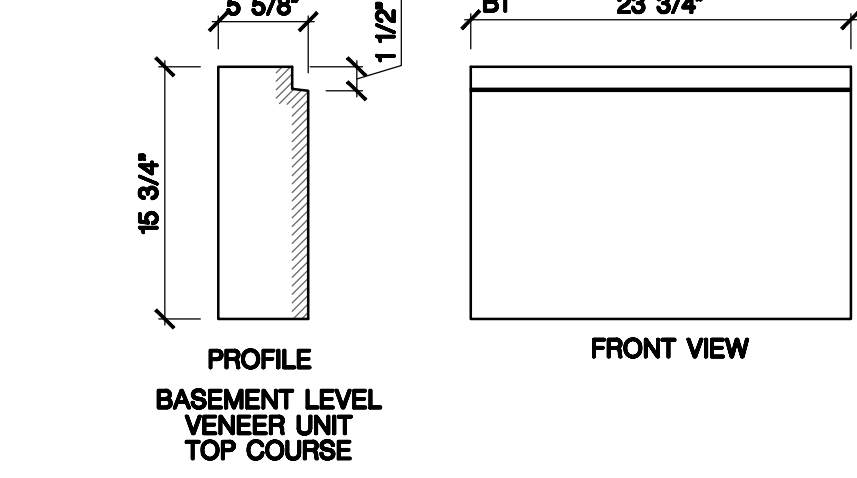
SYMBOL	QUANTITY	LNFT PER PIECE
Q5	2	3.32
Q5a	2	3.32

WINDOW CASING - CORNER



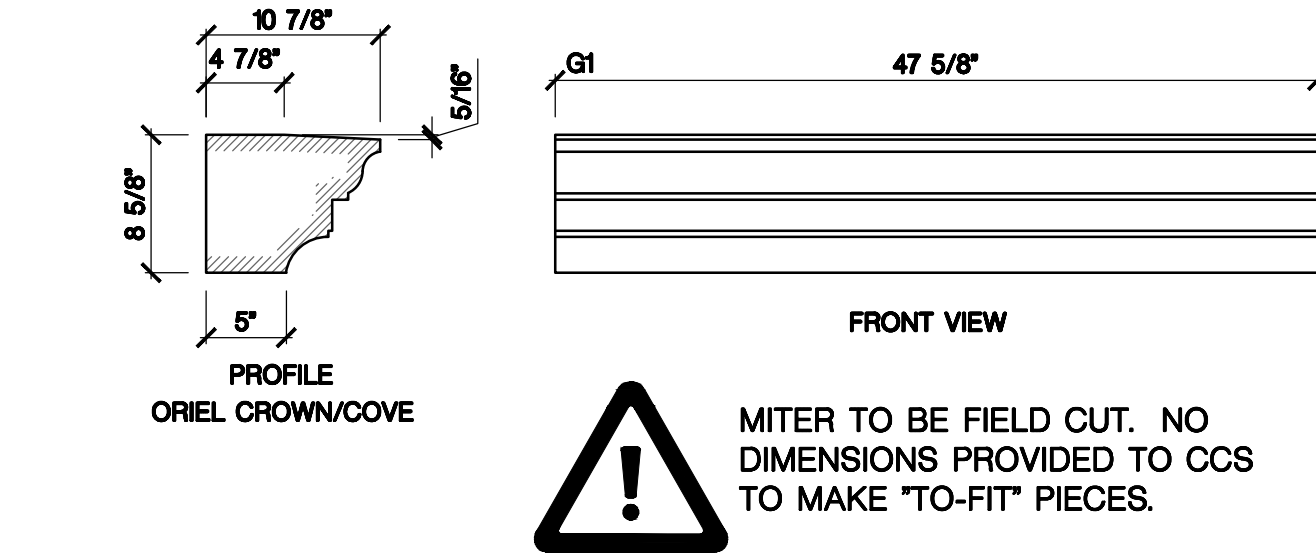
SYMBOL	QUANTITY	LNFT PER PIECE
B1	4	1.98

BASEMENT LEVEL VENEER - TOP COURSE
*Note: Mason to cut on site as required.



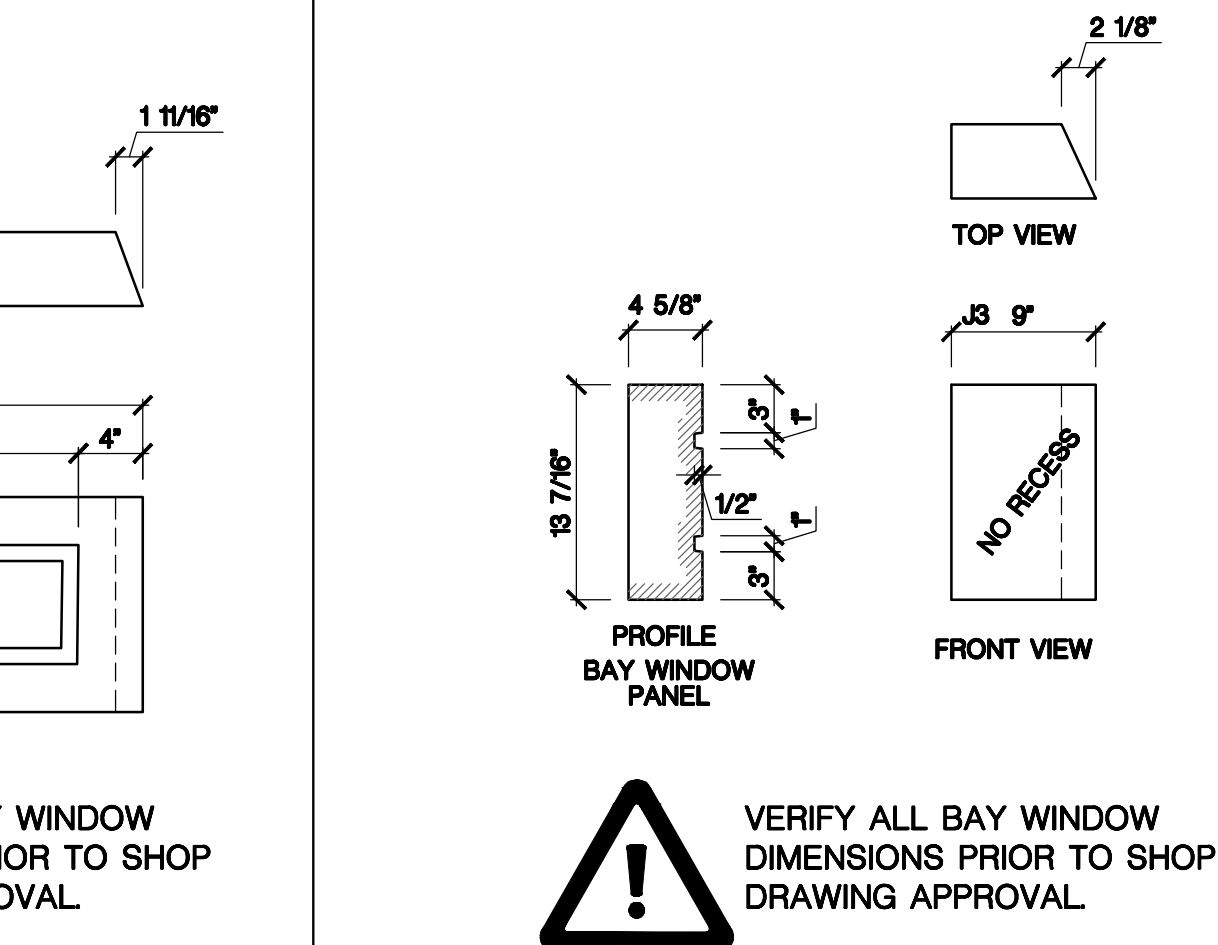
SYMBOL	QUANTITY	LNFT PER PIECE
G1	5	3.97

ORIEL CROWN/COVE AT BAY
*Note: Mason to cut on site as required.



SYMBOL	QUANTITY	LNFT PER PIECE
J3	2	0.75

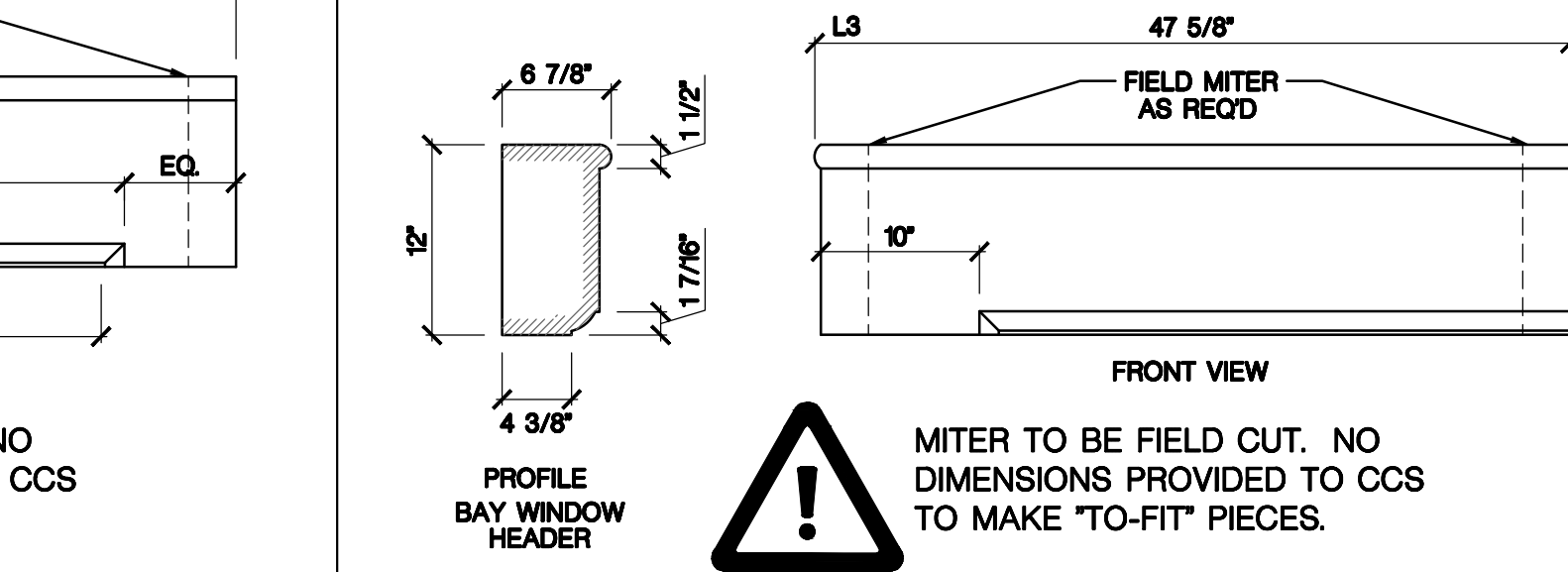
PANEL AT BAY



SYMBOL	QUANTITY	LNFT PER PIECE
L3	1	3.97
L3a	1	3.97

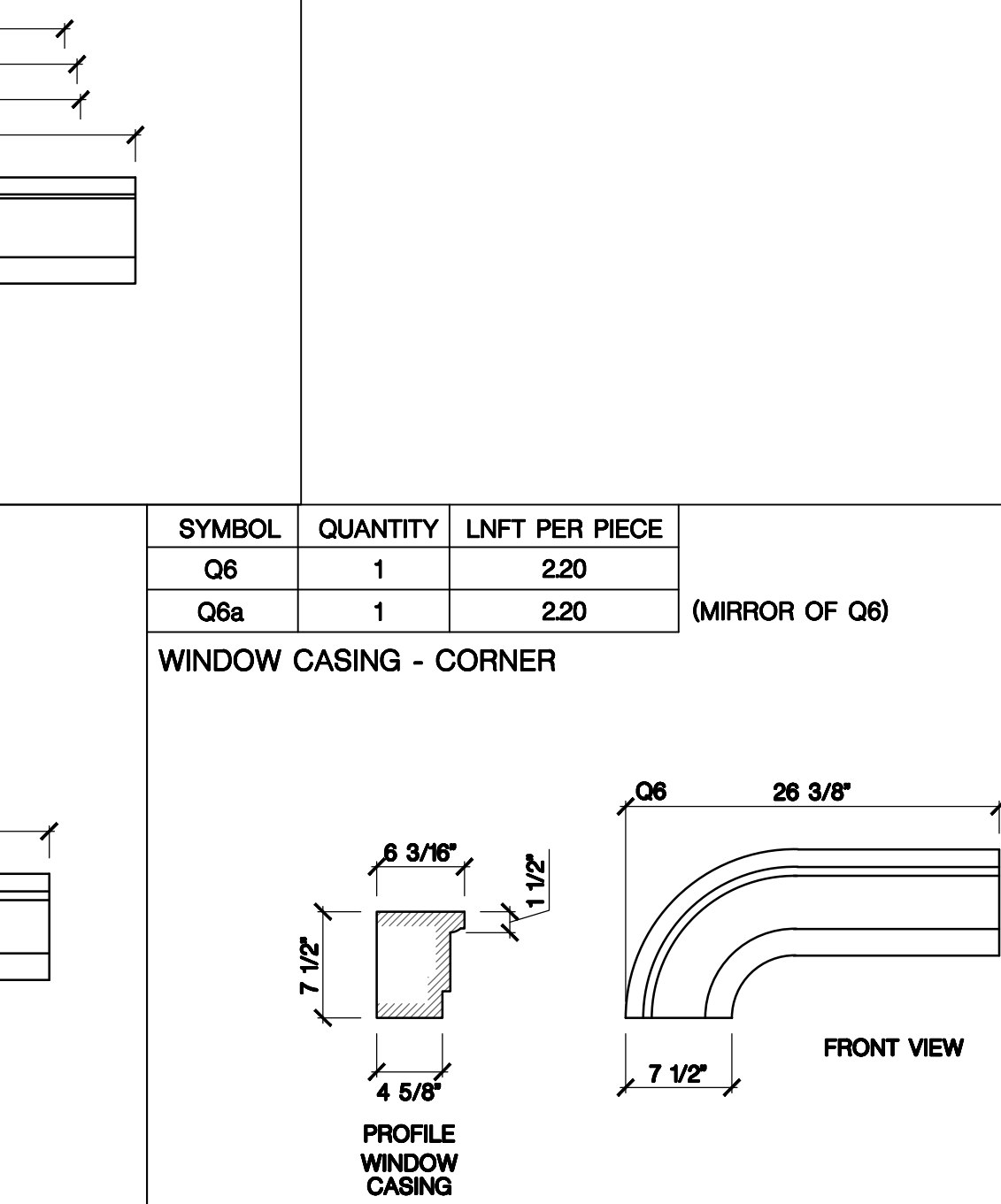
HEADER AT BAY WINDOW

*Note: Mason to cut on site as required.



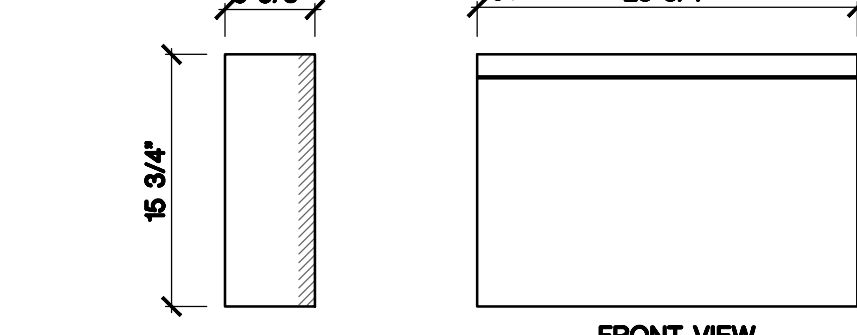
SYMBOL	QUANTITY	LNFT PER PIECE
O6	1	2.20
O6a	1	2.20

WINDOW CASING - CORNER



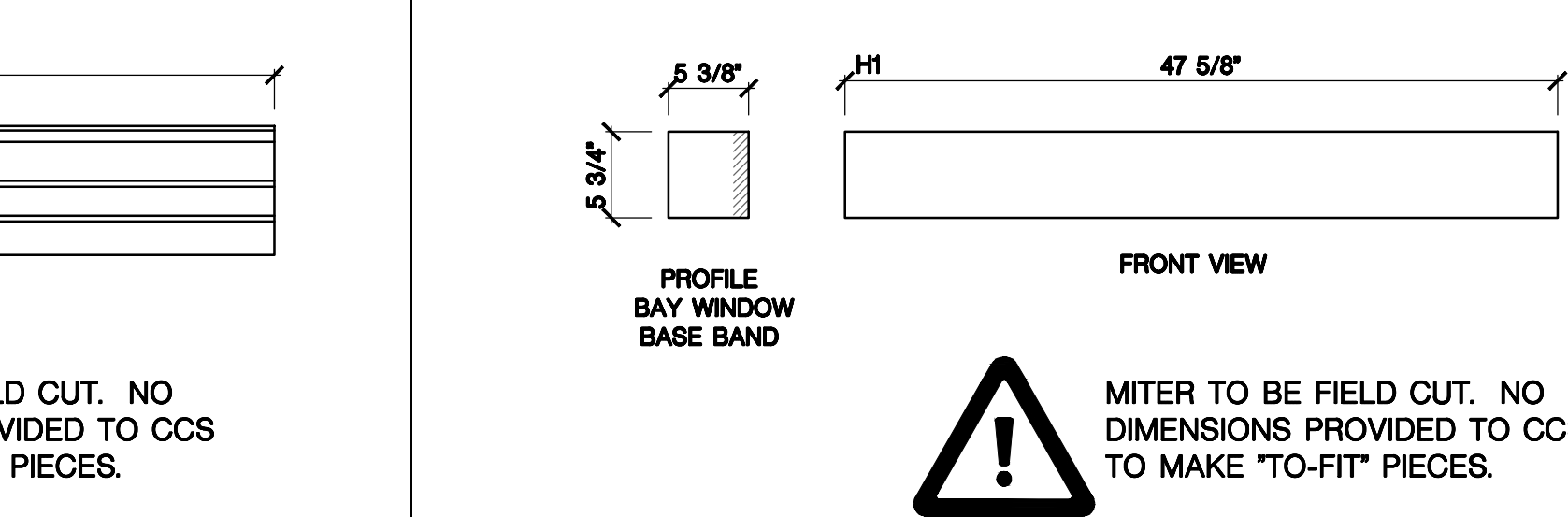
SYMBOL	QUANTITY	LNFT PER PIECE
C1	50	1.98

BASEMENT LEVEL VENEER
*Note: Mason to cut on site as required.



SYMBOL	QUANTITY	LNFT PER PIECE
H1	5	3.97

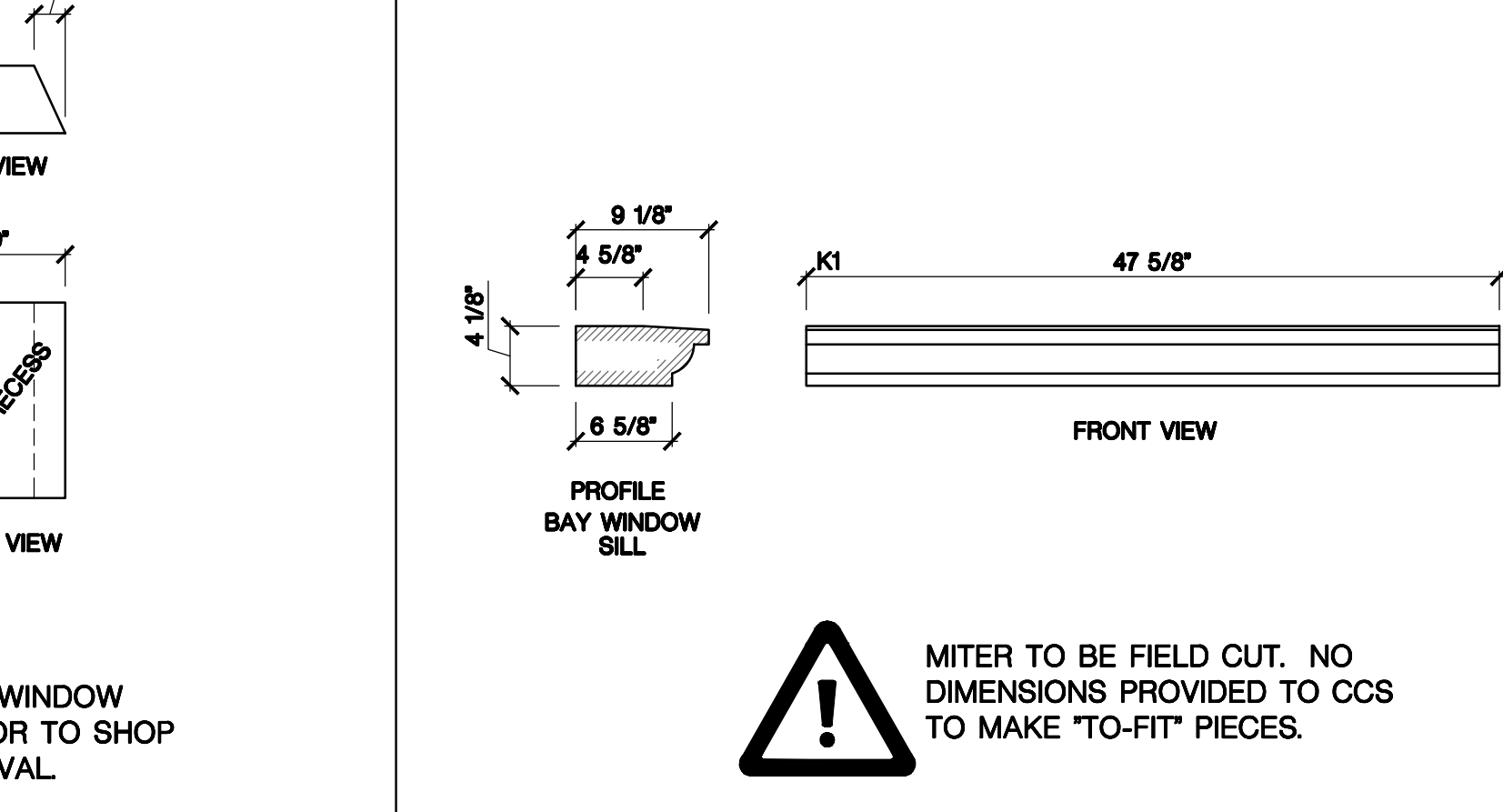
BASE BAND AT BAY
*Note: Mason to cut on site as required.



SYMBOL	QUANTITY	LNFT PER PIECE
K1	5	3.97

SILL AT BAY WINDOW

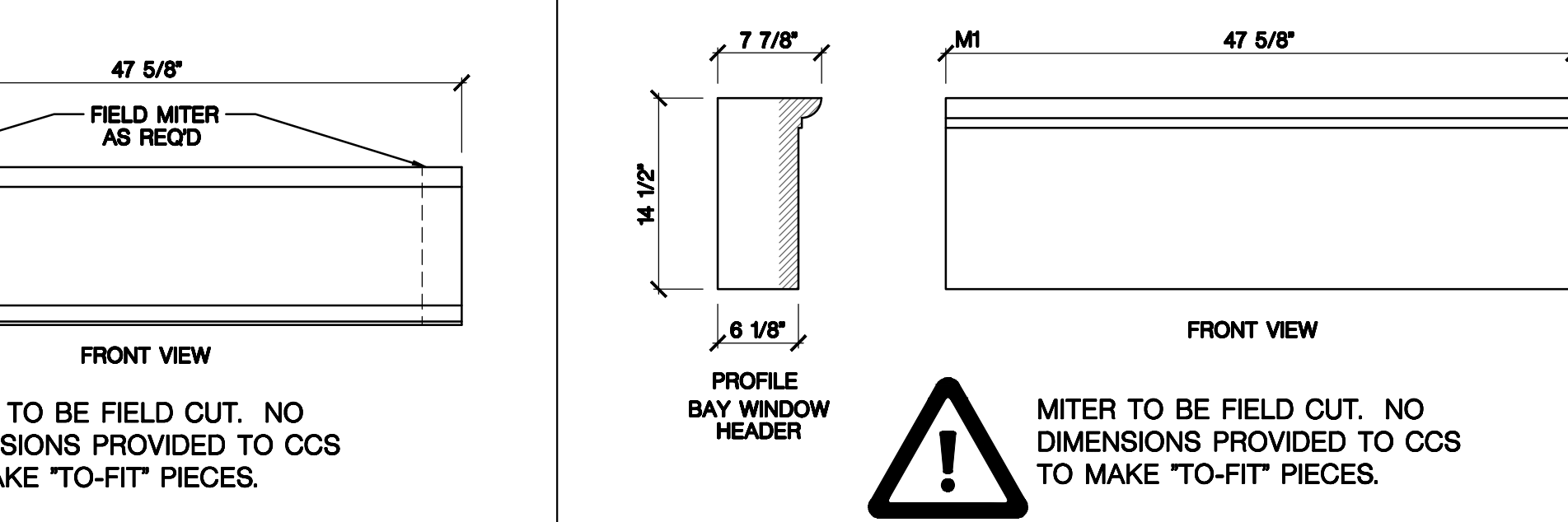
*Note: Mason to cut on site as required.



SYMBOL	QUANTITY	LNFT PER PIECE
M1	5	3.97

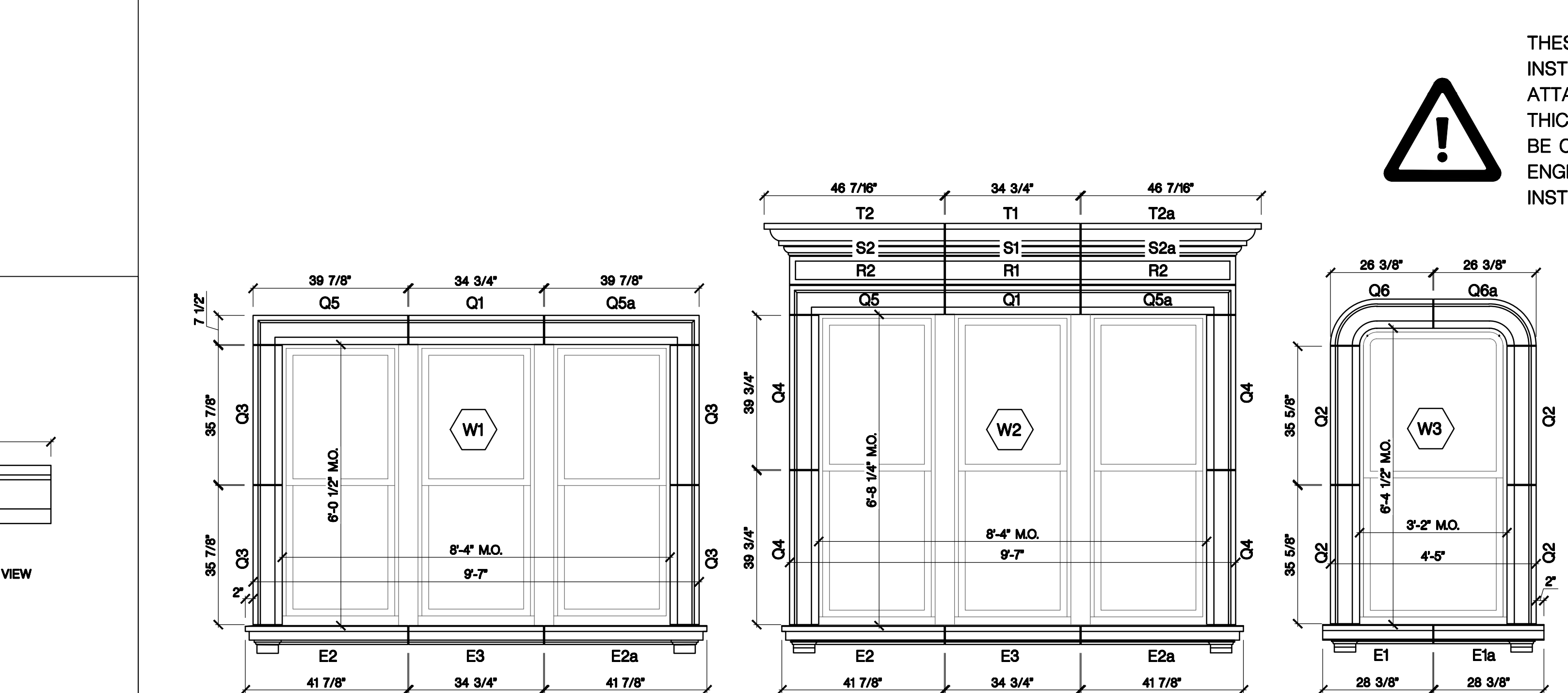
HEADER AT BAY WINDOW

*Note: Mason to cut on site as required.



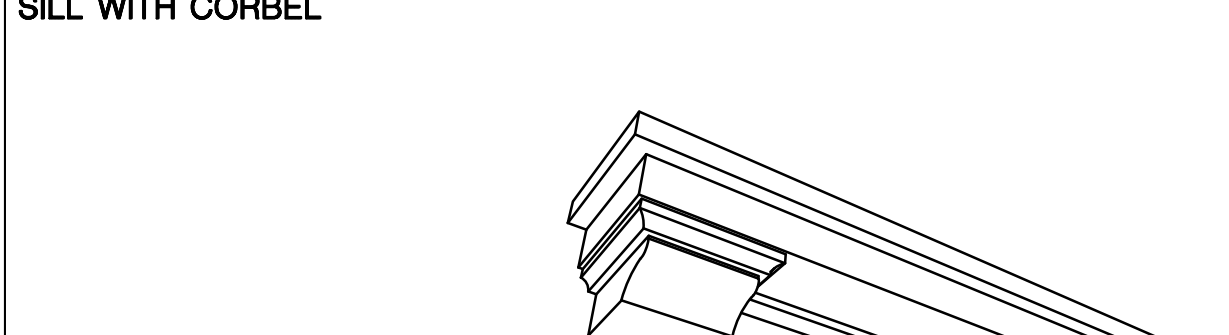
SYMBOL	QUANTITY	LNFT PER PIECE
N1	4	4.07

JAMBS AT BAY WINDOW



SYMBOL	QUANTITY	LNFT PER PIECE
E1	1	2.36
E1a	1	2.36
E2	2	3.49
E2a	2	3.49

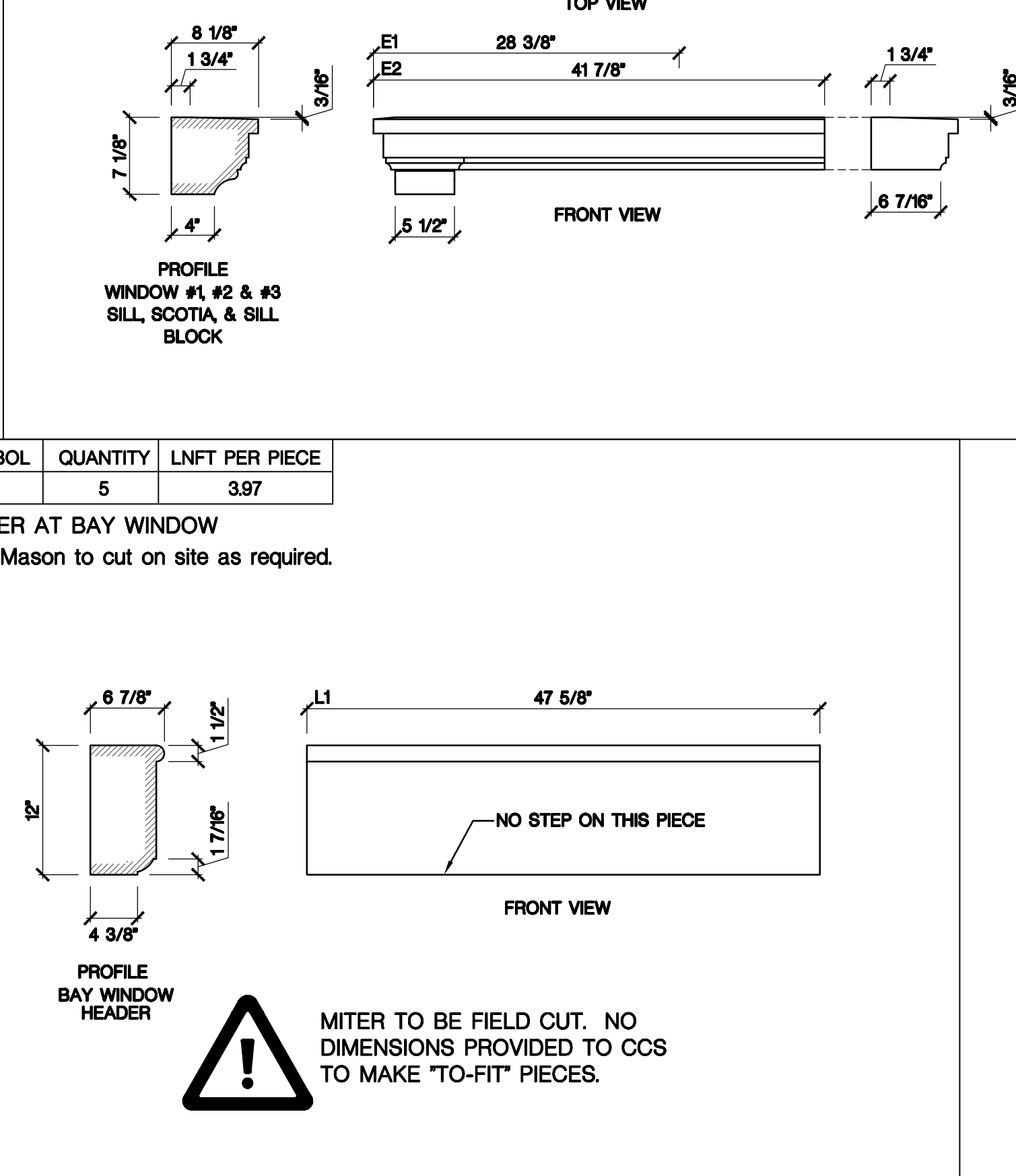
BANDING
*Note: Mason to cut on site as required.



SYMBOL	QUANTITY	LNFT PER PIECE
L1	5	3.97

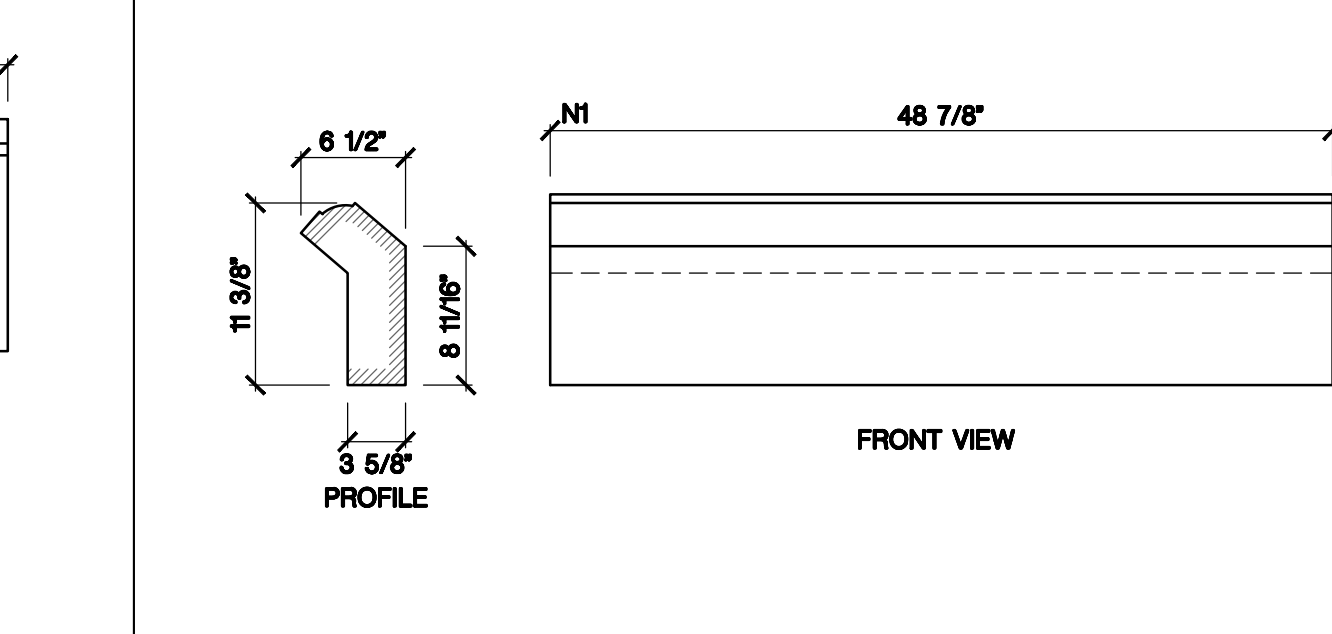
HEADER AT BAY WINDOW

*Note: Mason to cut on site as required.



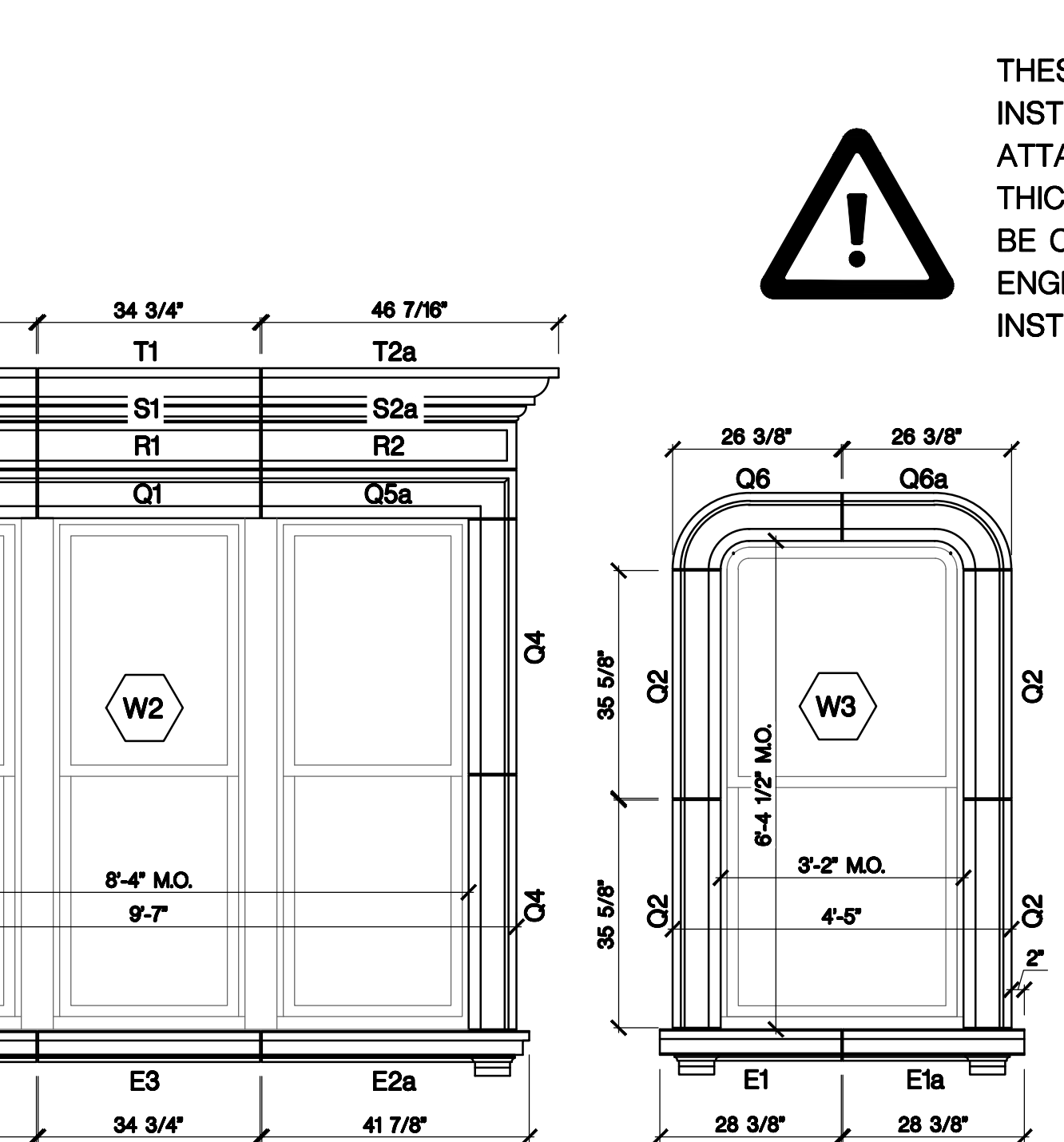
SYMBOL	QUANTITY	LNFT PER PIECE
P1	4	4.07

JAMBS AT BAY WINDOW



SYMBOL	QUANTITY	LNFT PER PIECE
Q6	1	2.20
Q6a	1	2.20

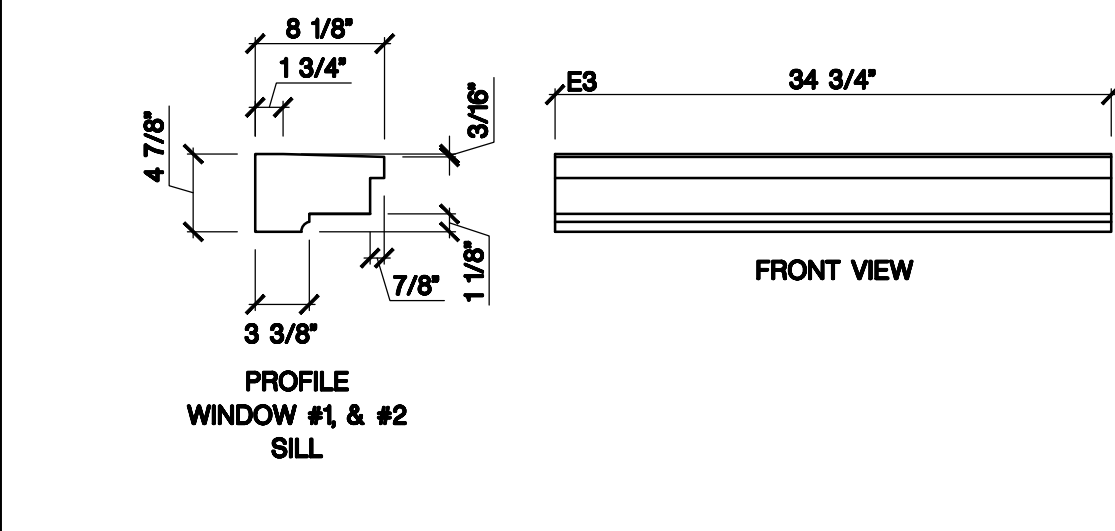
WINDOW CASING - CORNER



WINDOW & DOOR ELEVATIONS
SCALE 1/2" = 1'-0"

SYMBOL	QUANTITY	LNFT PER PIECE
E3	2	2.90

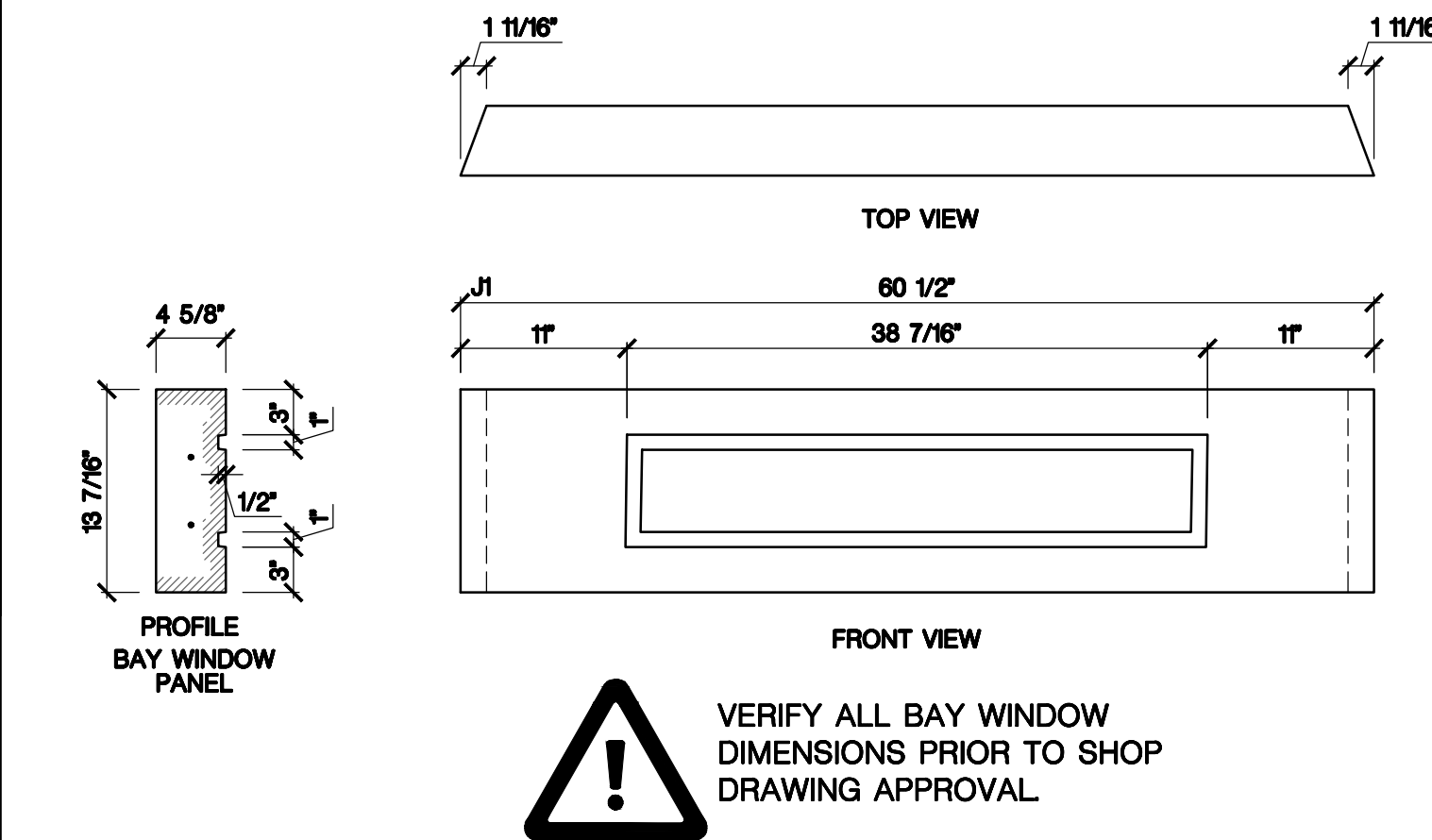
SILL



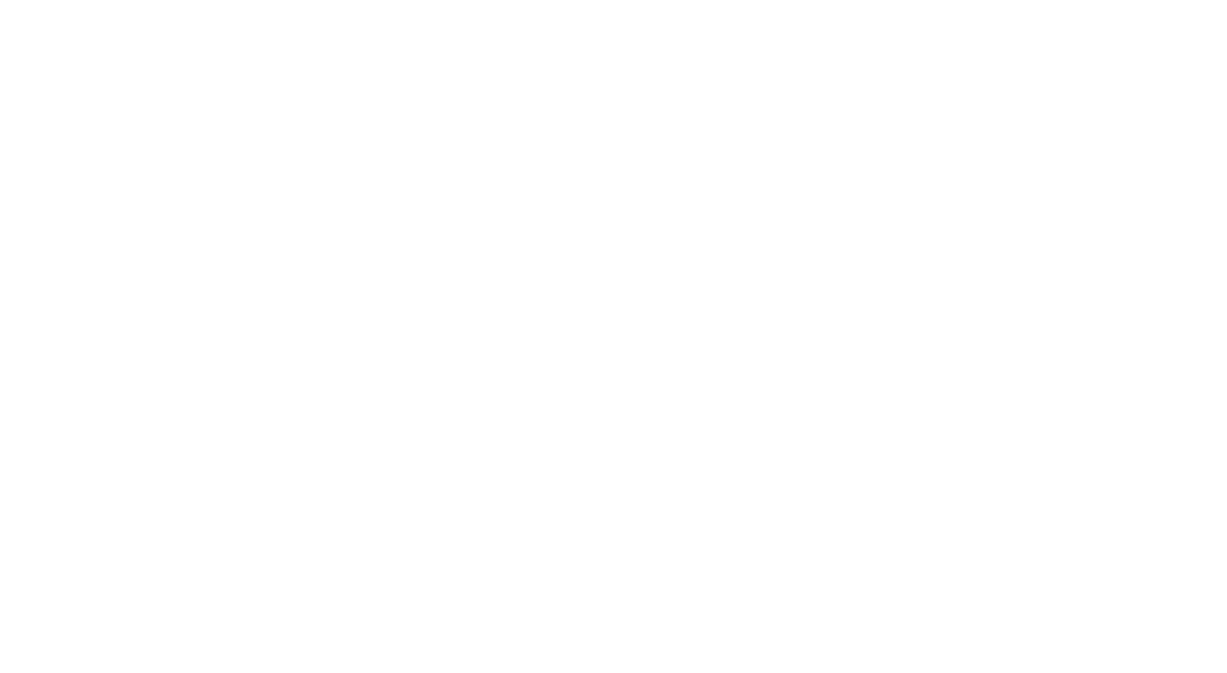
SYMBOL	QUANTITY	LNFT PER PIECE
J1	1	3.97

PANEL AT BAY

*Note: Piece requires rebar #3 grade 60.

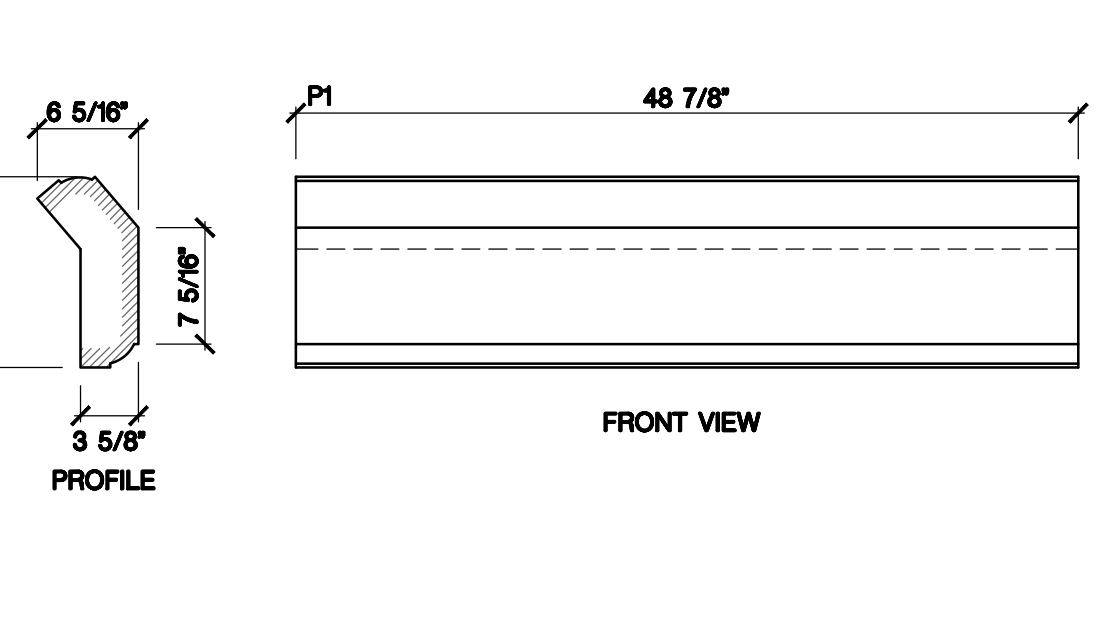


VERIFY ALL BAY WINDOW
DIMENSIONS PRIOR TO SHOP
DRAWING APPROVAL



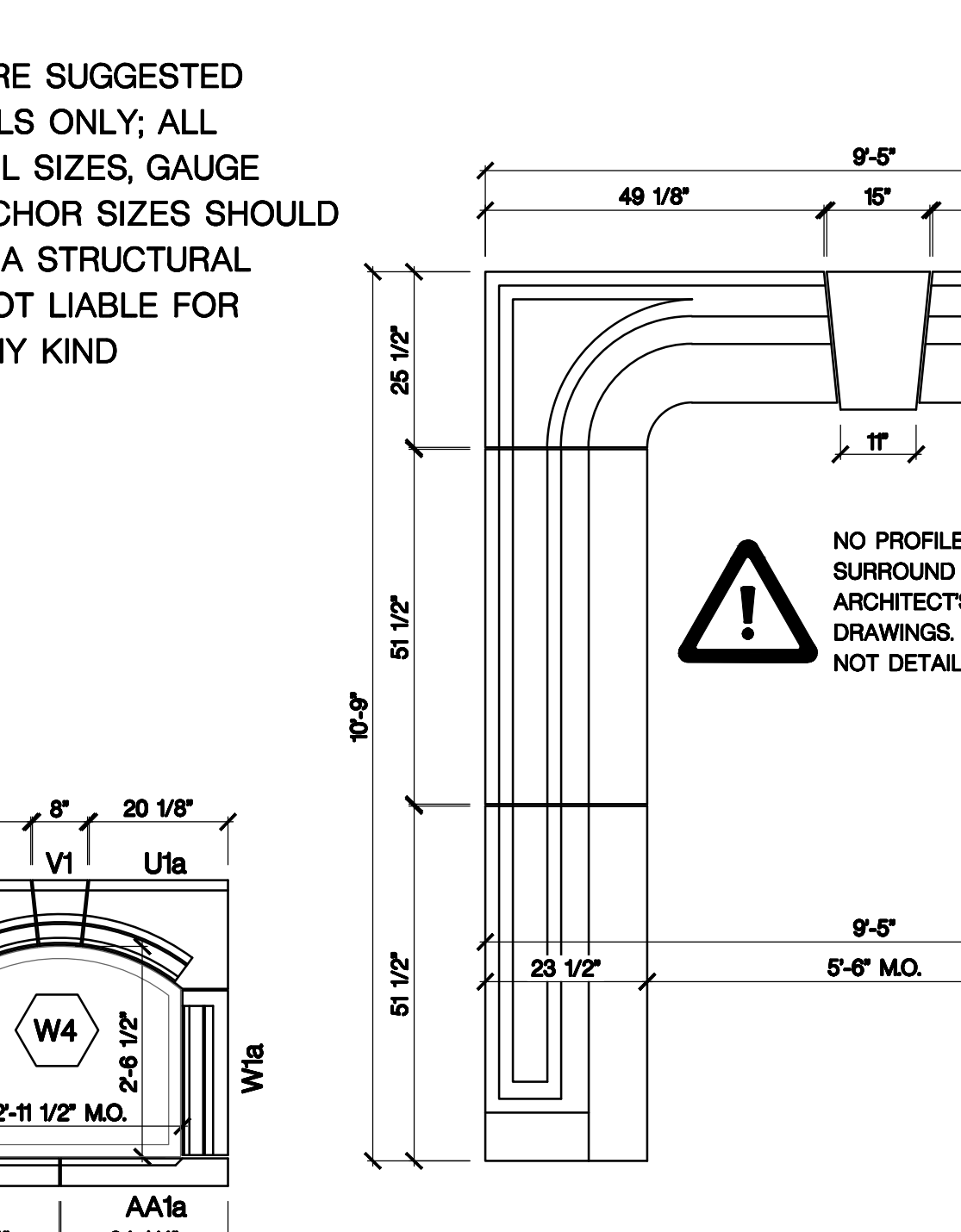
SYMBOL	QUANTITY	LNFT PER PIECE
P1	4	4.07

JAMBS AT BAY WINDOW



SYMBOL	QUANTITY	LNFT PER PIECE
Q6	1	2.20
Q6a	1	2.20

WINDOW CASING - CORNER



WINDOW & DOOR ELEVATIONS
SCALE 1/2" = 1'-0"

ARCHITECTURAL ■ COMMERCIAL ■ RESIDENTIAL

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THIS SHOP DRAWING REPRESENTS CUSTOM CAST STONE'S INTERPRETATION OF THE ARCHITECTURAL PLANS AND CONTRACT REQUIREMENTS OF THE ABOVE SAID PROJECT. PRIOR TO ANY MANUFACTURE OF CAST STONE FOR THIS JOB, ALL DIMENSIONS, METHODS OF CONSTRUCTION, AND EXISTING CONDITIONS MUST BE CHECKED, REVIEWED AND APPROVED OR CORRECTED ON THE SHOP DRAWINGS BY THE CUSTOMER REPRESENTATIVE.

ANY STONE FABRICATED IN ACCORDANCE WITH APPROVED SHOP DRAWINGS THAT DOES NOT FIT JOB CONDITIONS WILL BE REMADE AND SHIPPED TO THE JOB SITE ONLY AT CUSTOMER'S EXPENSE AND ONLY AFTER RECEIPT OF A WRITTEN CHANGE ORDER COVERING THE ADDITIONAL EXPENSE. CUSTOM CAST STONE ASSUMES NO RESPONSIBILITY FOR THE CUTTING OF CAST STONE TO ACCOMMODATE OTHER TRADES OR MODIFICATIONS AND WILL NOT BE RESPONSIBLE FOR ANY RE-ENGINEERING OF THE WORK SHOWN ON THESE DRAWINGS.

GENERAL NOTES

1. CUSTOM CAST STONE TOLERANCE: ± 1/16"
2. ALL JOINTS ARE 3/16" UNLESS OTHERWISE NOTED.
3. VERIFY ALL DIMENSIONS. DIMENSIONS NOT DOCUMENTED AS INCORRECT WILL BE CONSIDERED AS CORRECT BY PURCHASER.
4. A 7° ANGLE MAYBE ADDED TO STONE FOR A MOLD RELIEF.
5. ANY PANELS IN HEIGHT OVER 30" WILL REQUIRE 3/16" INSERTS. PANELS OVER 18" WIDE WILL REQUIRE 2" REBAR AT TOP OF PANEL.
6. PROVIDE BOND BREAK BETWEEN CAST STONE AND BRICK.
7. SIGNATURE OR WRITTEN CONFIRMATION GIVING AUTHORIZATION TO PROCEED BY THE PURCHASER.
8. ANY VERTICAL JOINT THAT EXCEEDS 16" IN HEIGHT SHOULD BE RAVED BACK AND SOFT JOINTED.
9. ANY CLAIM FOR SIZE DISCREPANCIES OR DEFECTS OF MATERIAL DELIVERED WILL BE MADE BY PURCHASER IN WRITING TO MANUFACTURER WITHIN 10 DAYS AFTER DELIVERY. OTHERWISE PURCHASER WAIVES ANY AND ALL CLAIMS.
10. INSTALLATION CONSTITUTES ACCEPTANCE OF PRODUCT.
11. IN ORDER TO ACCOMPLISH THE MOST EFFECTIVE UTILIZATION OF CAST STONE IT MAY BE NECESSARY TO MODIFY OR SLIGHTLY CHANGE SOME PROFILES FROM THOSE ON ORIGINAL CONTRACT DRAWINGS. APPROVAL OF THESE MODIFICATIONS IN WRITING BY PURCHASER CONSTITUTES ACCEPTANCE OF THESE MODIFICATIONS.

CUSTOMER REVIEW

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ON-SITE VERIFICATION OF ALL DIMENSIONS, CONDITIONS, CLEARANCES, REQUIREMENTS AND SPACINGS ETC. IN ADDITION TO THE EXACT FIT AND PROPER COMPLETION OF THE WORK IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES.

CONTRACTOR SHOULD VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE FOR ACCURACY. NOTIFICATION TO CUSTOM CAST STONE OF ANY SIZE DISCREPANCIES BEFORE PROCEEDING WITH WORK IS REQUIRED OR THE BUYER WILL BE RESPONSIBLE FOR ALL DEVIATIONS FROM THE CCS.

DO NOT SCALE CCS SHOP DRAWINGS FOR ACTUAL FIELD CONDITIONS.

BASED ON ARCHITECTS DRAWINGS DATED:

123.25

CONTRACTOR:

SPAULDING BRICK

PROJECT:

18 COMMONWEALTH AVE.

BOSTON, MA

CUSTOMER APPROVAL
(CHECK ONE)

RESUBMIT FOR APPROVAL ☐

APPROVED W/ MODIFICATIONS ☐

APPROVED ☐

SIGNATURE _____

PRINTED NAME _____

DATE _____

CCS Revision Date: 3.125

Drawn By: T. Haws

Sales Rep: C. Lyon

Date Submitted: 2.19.25

Sheet No.

CCS 1

1 OF 2

