



MEDIATE
MANAGEMENT
COMPANY

Casey Patterson

9 Arlington Garage Waterproofing Project

Garage Condition





Garage Water Testing Results

JCH Consulting performed a water test along the Marlborough-facing facade of the building on Nov 7th. They reported that the water only took a few minutes to begin leaking into the garage. The size and placement of the landscaping, combined with the location of the infiltration points, suggests that the bush and tree roots are creating large gaps in your soil, as well as channeling rainwater directly to your foundation.



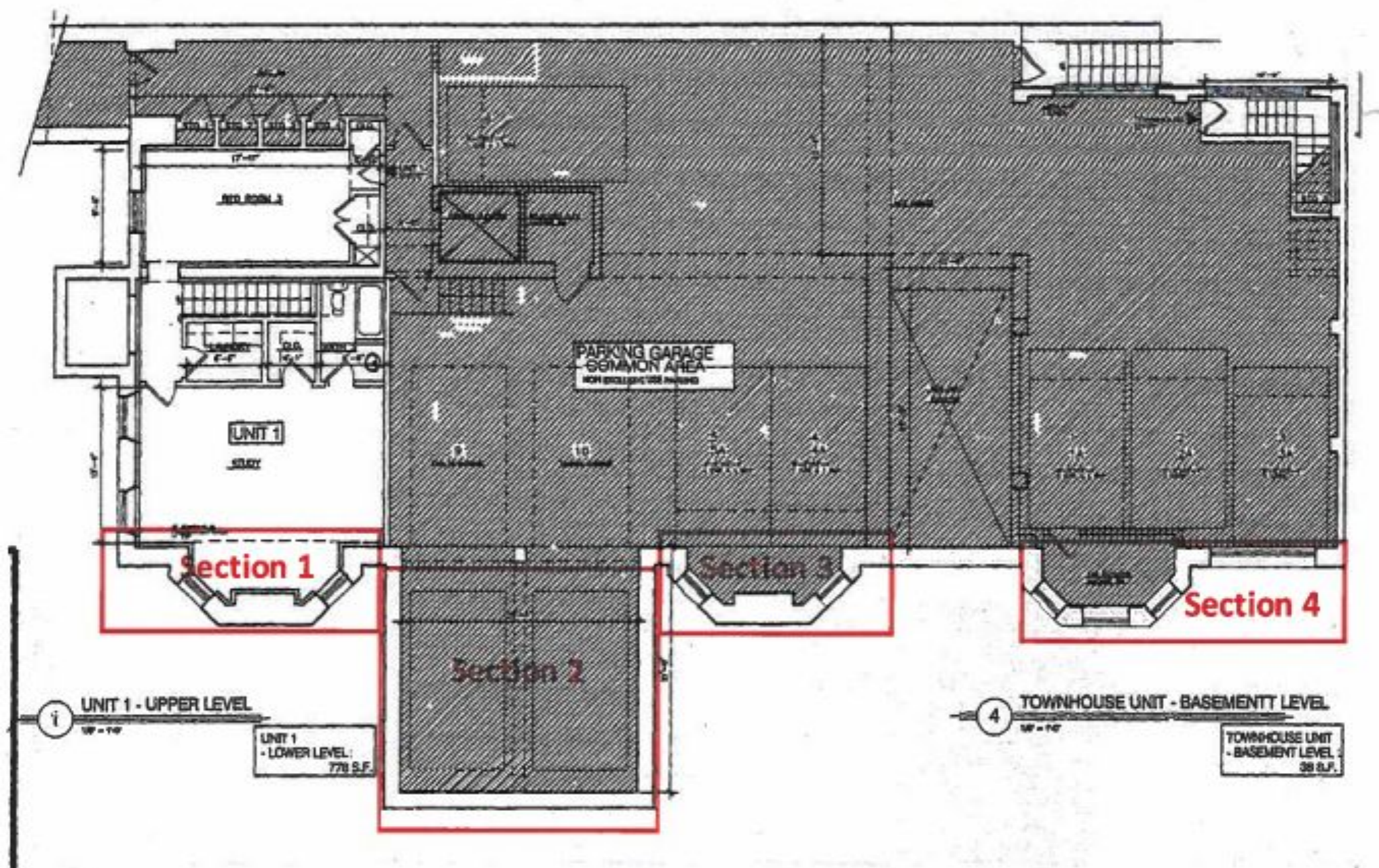
Water was applied to the ground and within 5 minutes water was visible on the interior garage walls which concludes that the water is getting in through the exterior of the foundation walls.

Garage Waterproofing Project

JCH Consulting recommends:

- removing all landscaping that is directly against the building facade
- trenching the ground down 5 ft at the outer foundation
- applying a waterproofing membrane (Bituthene system recommended) to the foundation exterior
- Cut and point the interior garage walls
- parging the interior garage walls with Xypex Concentrate
- treating the garage floor with an epoxy or poly material
- installing a french drain with a drywell
- planting new low-infiltration landscaping

Project Scope



Wall Scope Area & Options

Addressing All Active Leaks (Sections #1, #2, and #3/Base Contract) - \$34,300 - This is the cost for addressing all sections that are currently leaking and/or showing signs of deterioration.

Preventative Addition (Section #4) - \$24,500 - This is the cost to add Section #4, which is not currently showing signs of leaks or major deterioration. This does not need to be done now.



Wall Scope Area & Options

This will require the removal of the tree in Section #3 in the previous photograph, as it is right up against the foundation and channeling water down toward the foundation/garage wall.

Landscaping

Landscaping

The cost to redo the landscaping along the Marlborough side of the building would be \$21,260 and would be performed by Perennial Gardens, who handles the landscaping for many buildings in this area and understands the aesthetics required by the BBAC.





Landscaping

The landscaper recommends installing decorative stone and aluminum edging to separate the mulch from the drainage stone. This should, in combination with the work we recently did on the driveway, redirect the rainwater as needed. They will also replace the plantings that are right along the building wall (as they have to be removed for the trenching anyways) with similar plants with shallower root systems.

