

# RESIDENCE AT 9 LOUISBURG SQUARE

BOSTON,  
MASSACHUSETTS

ISSUANCE FOR:  
BEACON HILL  
ARCHITECTURAL  
DISTRICT

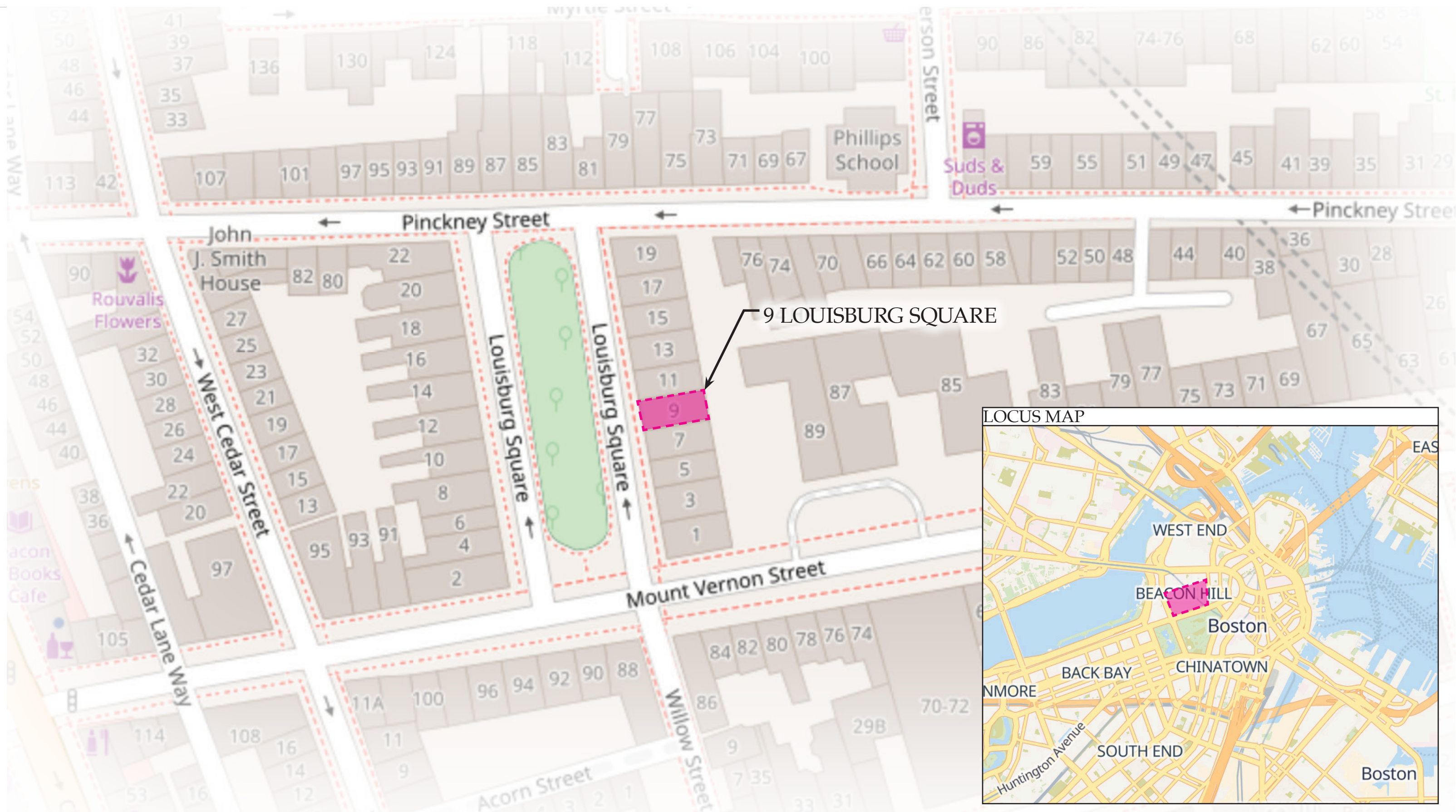
AUGUST 27, 2025

63 South Street Suite 280 Hopkinton, MA

M&P  
Mellowes & Paladino

Architecture & Interiors  
[www.mellowespaladino.com](http://www.mellowespaladino.com)





# LOCUS MAP

LOCAL AND GREATER CONTEXT

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# RESIDENCE AT 9 LOUISBURG SQUARE

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STREETSCAPE OF EAST LOUISBURG SQUARE

## SITE PHOTOS

STREETSCAPE CONTEXT

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## RESIDENCE AT 9 LOUISBURG SQUARE

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VIEW FROM CENTRAL GREEN



VIEW FROM PINCKNEY STREET

## EXISTING PHOTOS

FRONT FACADE

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## RESIDENCE AT 9 LOUISBURG SQUARE

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AERIAL VIEW OF REAR



VIEW OF REAR FROM MT. VERNON STREET

## EXISTING PHOTOS

REAR FACADE

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AERIAL VIEW OF SITE



VIEW OF ROOF GABLE WITH SKYLIGHTS



ROOF AT REAR

## EXISTING PHOTOS

ROOF

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## RESIDENCE AT 9 LOUISBURG SQUARE

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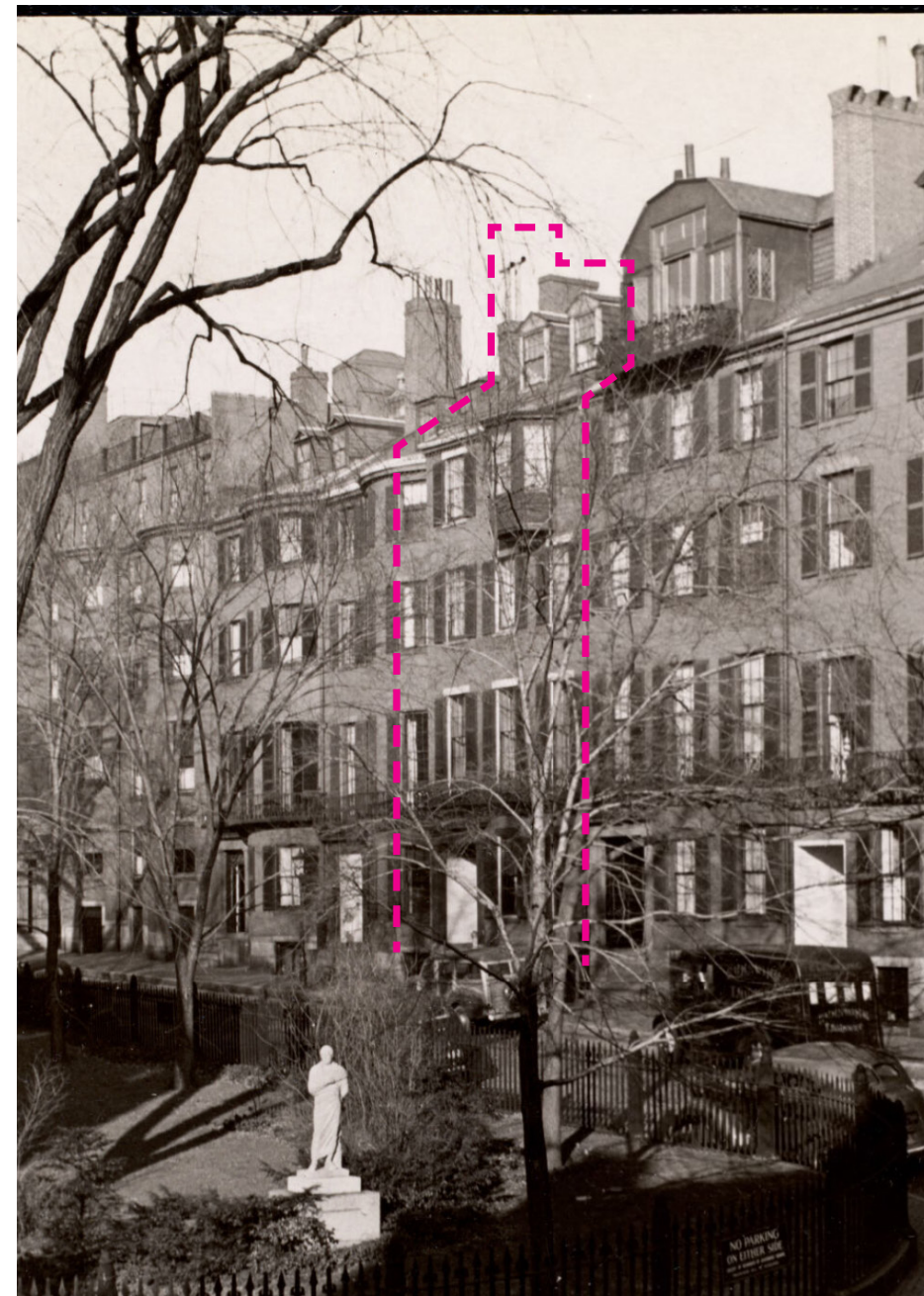
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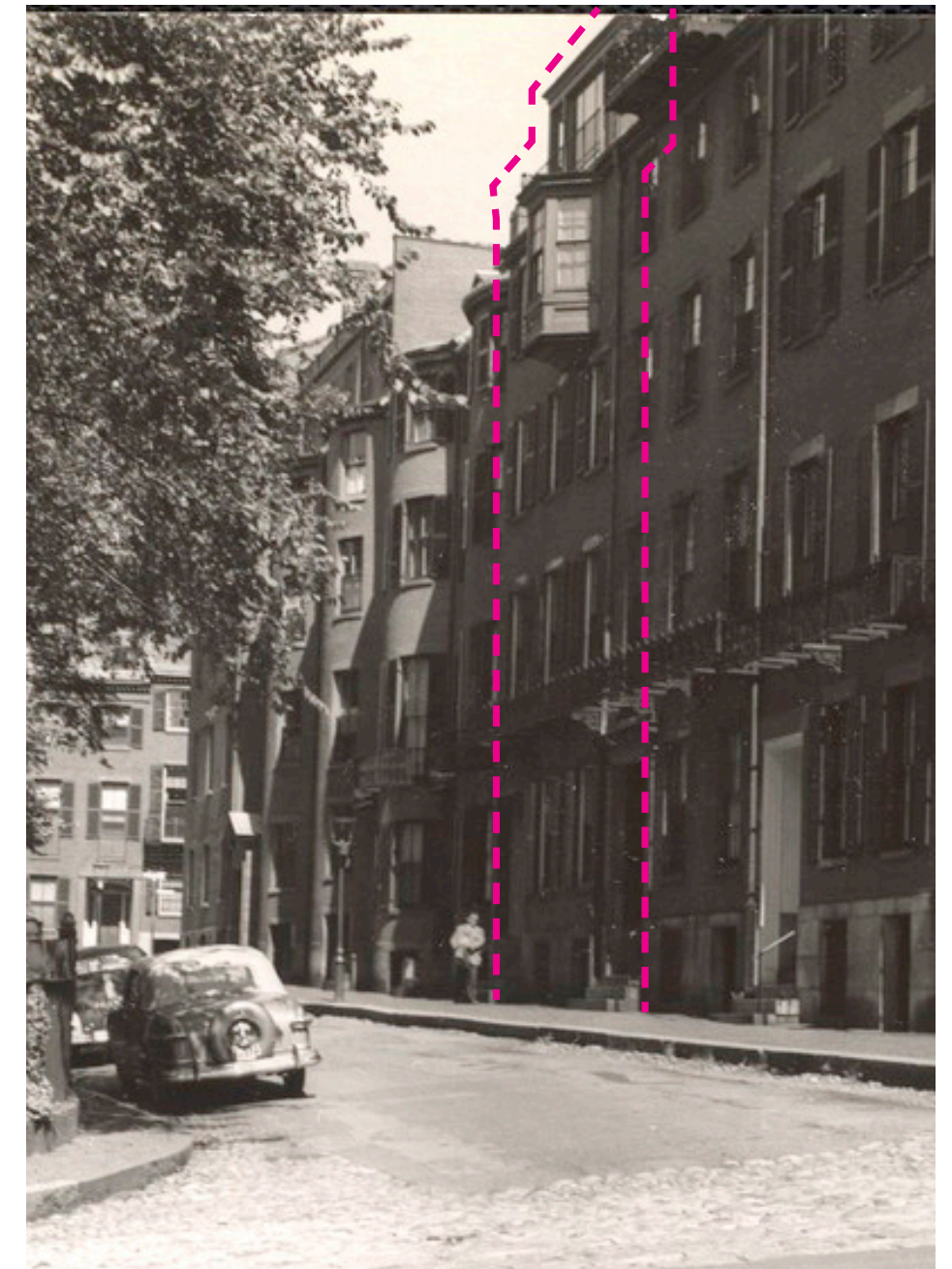
1823-1847 ..... 1847-1949 ..... 1949



Mount Vernon Proprietors hire S.P. Fuller to lay out Louisburg Square. Construction begins on the Greek Revival townhouses between 1834 and 1847.



Original facade features two doghouse dormers at the roof level.



Original doghouse dormers at roof are replaced with a much larger trapezoidal shed dormer.

## PROPERTY TIMELINE

WITH HISTORIC PHOTOS

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**FRONT & REAR FACADE**

- Clean and restore brick facades as required.
- Clean and restore pediments, sills, lintels, gutters and water table as required.
- Replace storm windows with approved historic one-lite storm windows at front façade and one-lite operating storm windows with screen at rear.

**FRONT & REAR DORMERS**

- Remove existing 1949 (non-original) 5th floor front and rear dormer bays, steel sash windows, metal railing at front and asphalt shingle siding at rear.
- Construct new front and rear dormers in existing locations. New dormers to have True Divided Lite historic wood windows, painted wood trim to match color and details of existing original oriel window trim, and flat-seam copper roofing.
- Construct new mansard walls on either side of dormer bays with slate shingle siding.

**ROOF**

- Remove existing 1949 (non-original) skylights (not visible from public way)
- Remove existing condenser at rear roof
- Replace all membrane and asphalt shingle roofing with slate shingle or flat-seam copper roofing
- Replace existing slate roof in kind
- Repair and restore chimneys at East and West party walls including brick repair and new copper cap flashing
- Clean and restore existing chimney pots
- Construct new roof deck (not visible from public way) with low profile steel guardrails
- Construct new low profile roof hatch (not visible from public way) with low profile steel guardrails (minimally visible).

**CURB & SIDEWALK**

- Install curbside electric vehicle charger to match BHAC approved specifications

**COURTYARD** *(Not Visible from Public Way)*

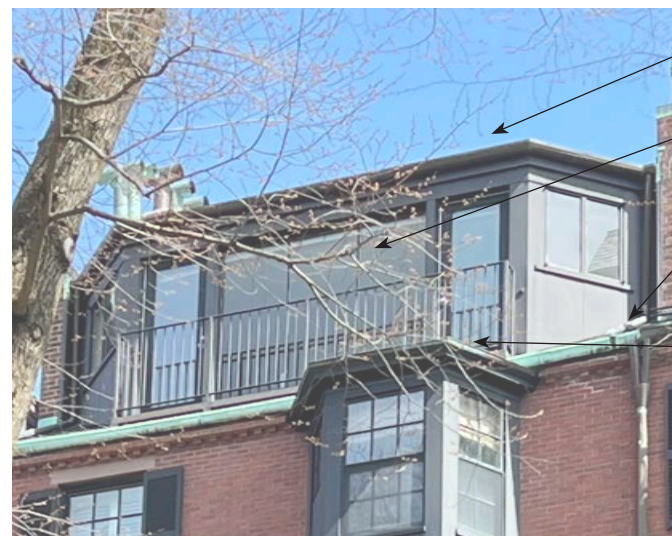
- Replace existing non-original first floor french doors with new historic divided lite wood doors in existing masonry openings
- New hardscape and plantings at courtyard garden. Design TBD.





EXISTING SKYLIGHT TO BE REMOVED

EXISTING ASPHALT SHINGLES TO BE REMOVED



EXISTING DORMER BAY TO BE REMOVED

REMOVE EXISTING STEEL WINDOWS

EXISTING SLATE ROOF TO BE REPLACED IN KIND

EXISTING RAILING TO BE REMOVED



EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION

- RESTORE EXISTING CHIMNEY POTS
- LOW PROFILE STEEL GUARDRAIL BEYOND
- PROPOSED ROOF DECK BEYOND
- ROOF DECK 55' - 7 1/2"
- LOW PROFILE ROOF HATCH WITH STEEL GUARDRAIL (NOT VISIBLE FROM PUBLIC WAY)
- FLAT-SEAM COPPER ROOF
- SLATE MANSARD ROOF
- FIFTH FLOOR 43' - 1 3/4"
- PAINTED TRIM TO MATCH EXISTING ORIEL WINDOW TRIM COLOR & DETAILS
- NEW TRUE DIVIDED LITE WOOD SASH WINDOWS
- PROPOSED DORMER BAY
- FOURTH FLOOR 33' - 9 3/4"
- NEW SLATE SHINGLES CONTINUE IN FRONT OF DORMER
- THIRD FLOOR 23' - 5 3/4"
- SECOND FLOOR 11' - 1 3/4"
- FIRST FLOOR 0' - 0"

\*RESTORE FACADE ELEMENTS AS REQUIRED

## PROPOSED WORK

FRONT ELEVATION

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RENDER

FRONT ELEVATION

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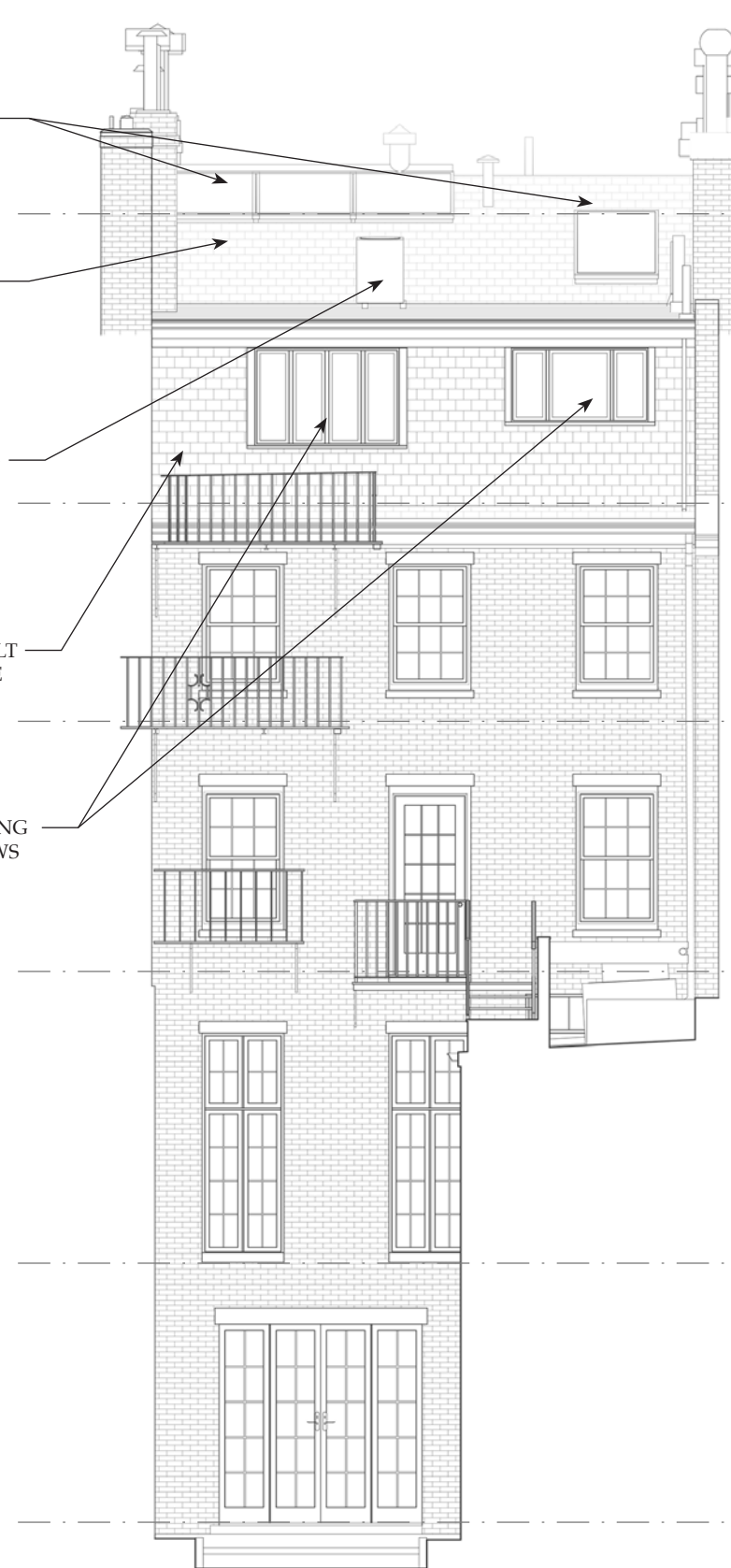
EXISTING SKYLIGHTS TO BE REMOVED

EXISTING ASPHALT SHINGLES TO BE REMOVED

REMOVE EXISTING CONDENSER

EXISTING ASPHALT SHINGLES TO BE REMOVED

REMOVE EXISTING STEEL WINDOWS



EXISTING REAR ELEVATION



PROPOSED REAR ELEVATION

LOW PROFILE STEEL GUARDRAIL BEYOND

ROOF DECK BEYOND

ROOF DECK  
55' - 7 1/2"

FLAT-SEAM COPPER ROOF

COPPER GUTTER & DOWNSPOUT

SLATE MANSARD ROOF

FIFTH FLOOR  
43' - 1 3/4"

NEW TRUE DIVIDED LITE WOOD SASH WINDOWS

FOURTH FLOOR  
33' - 9 3/4"

THIRD FLOOR  
23' - 5 3/4"

NEW STEEL BALUSTRADE (NOT VISIBLE FROM PUBLIC WAY)

SECOND FLOOR  
11' - 1 3/4"

NEW TRUE DIVIDED LITE WOOD SASH DOORS (NOT VISIBLE FROM PUBLIC WAY)

FIRST FLOOR  
0' - 0"

\*RESTORE FACADE ELEMENTS AS REQUIRED

## PROPOSED WORK

REAR ELEVATION

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RENDER

REAR ELEVATION

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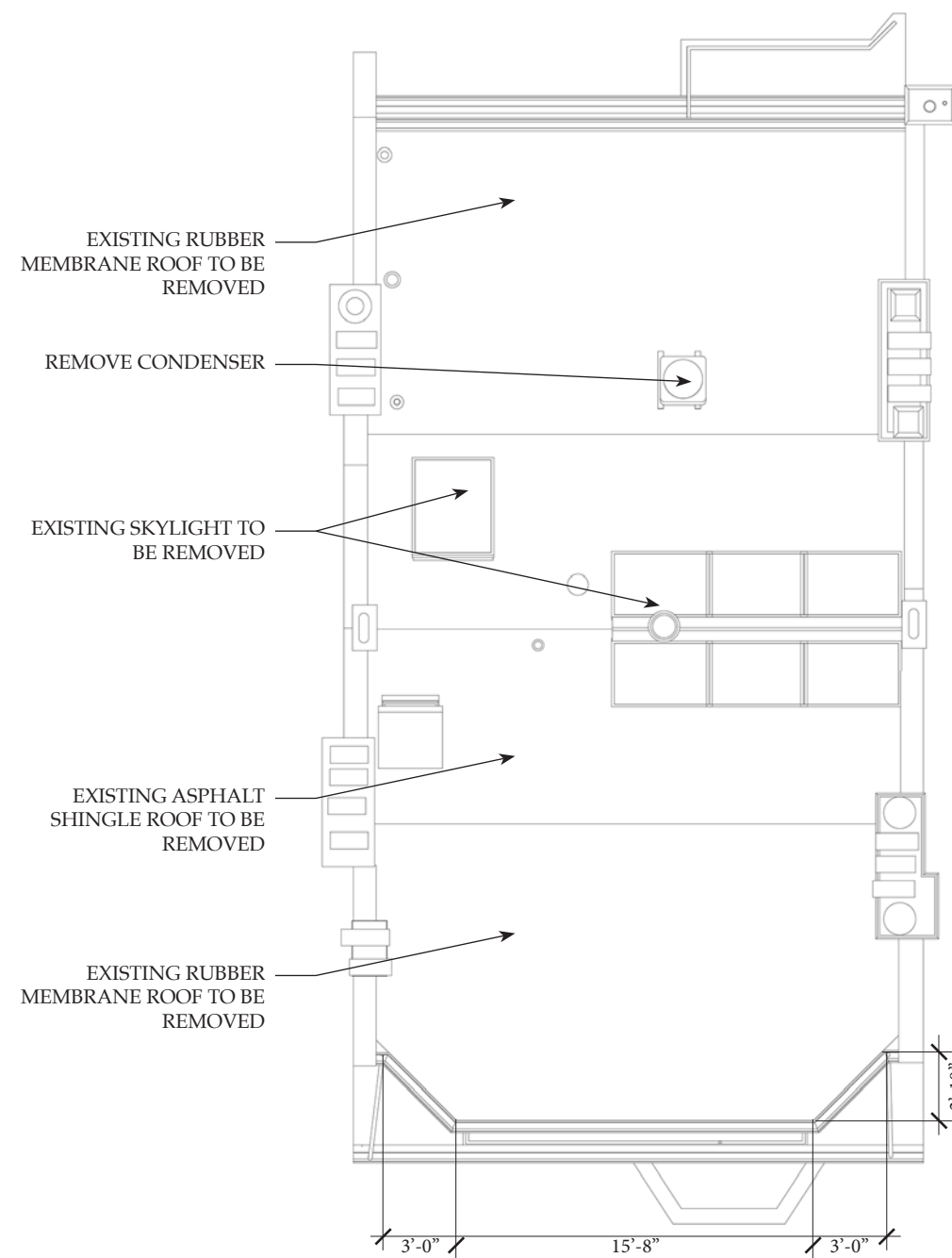
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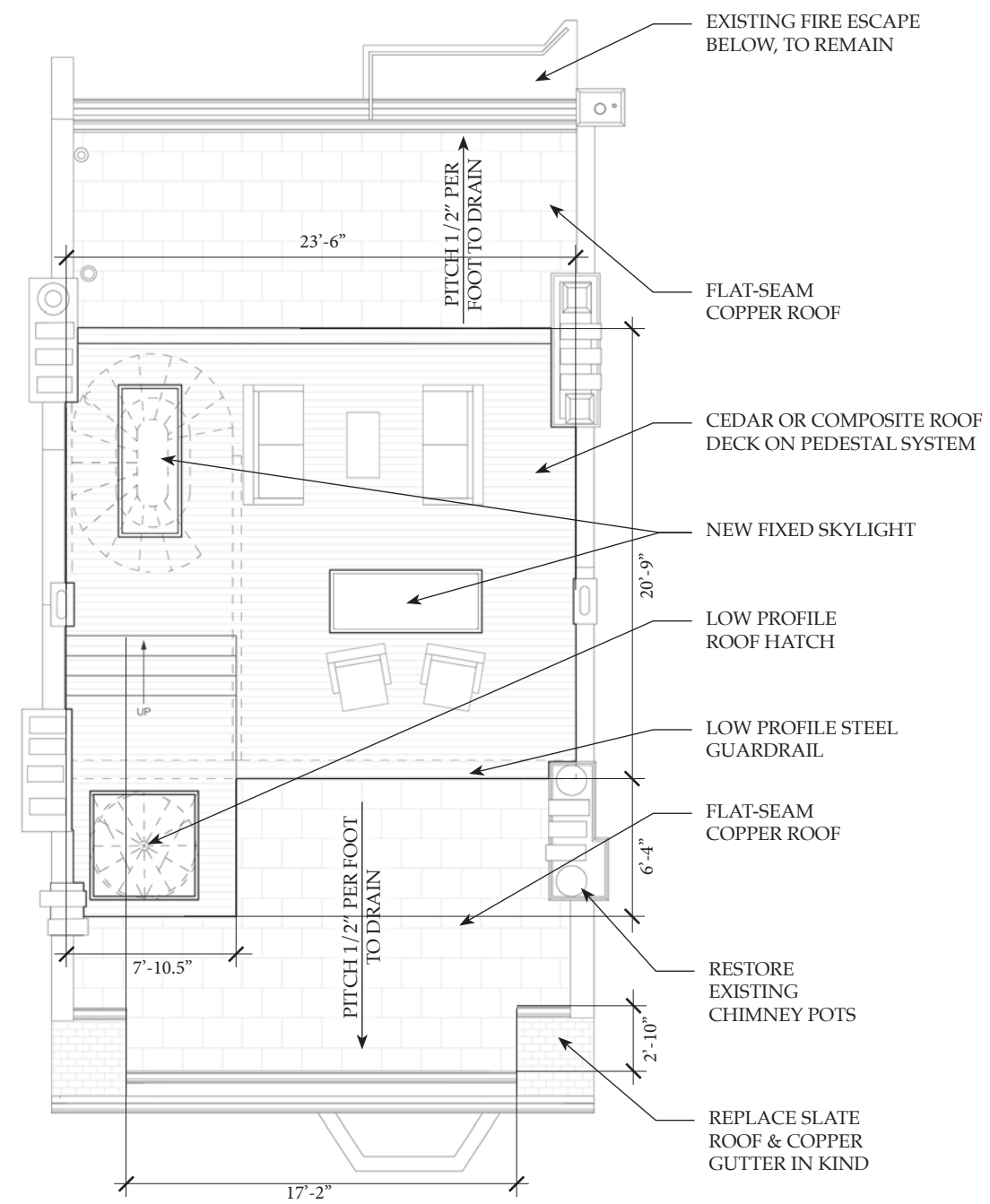
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EXISTING ROOF PLAN



PROPOSED ROOF PLAN

## PROPOSED WORK

ROOF DECK

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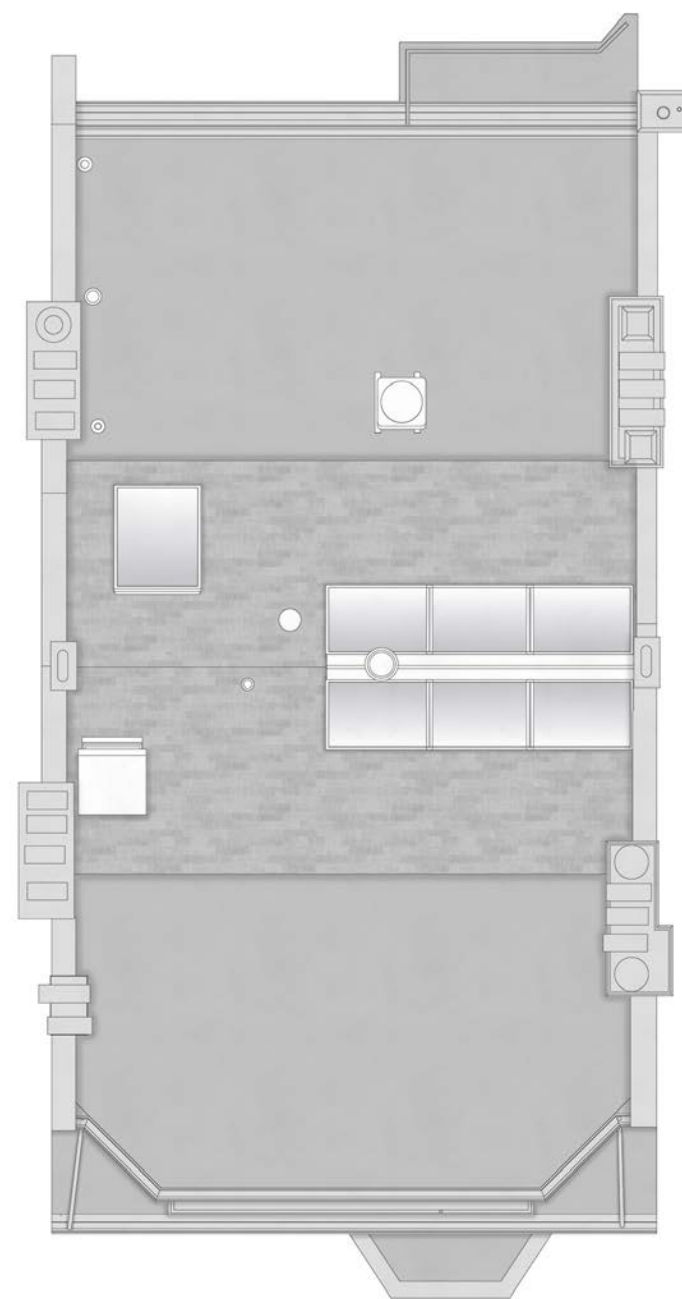
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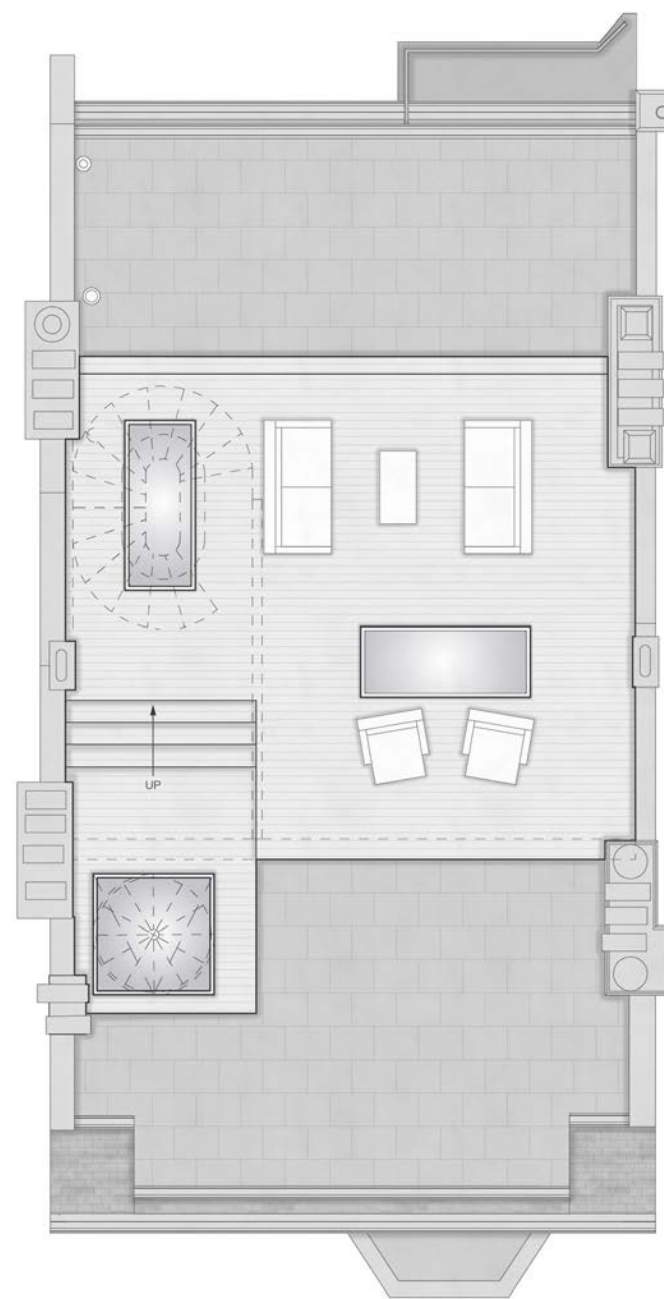
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EXISTING ROOF PLAN



PROPOSED ROOF PLAN

RENDER

ROOF DECK

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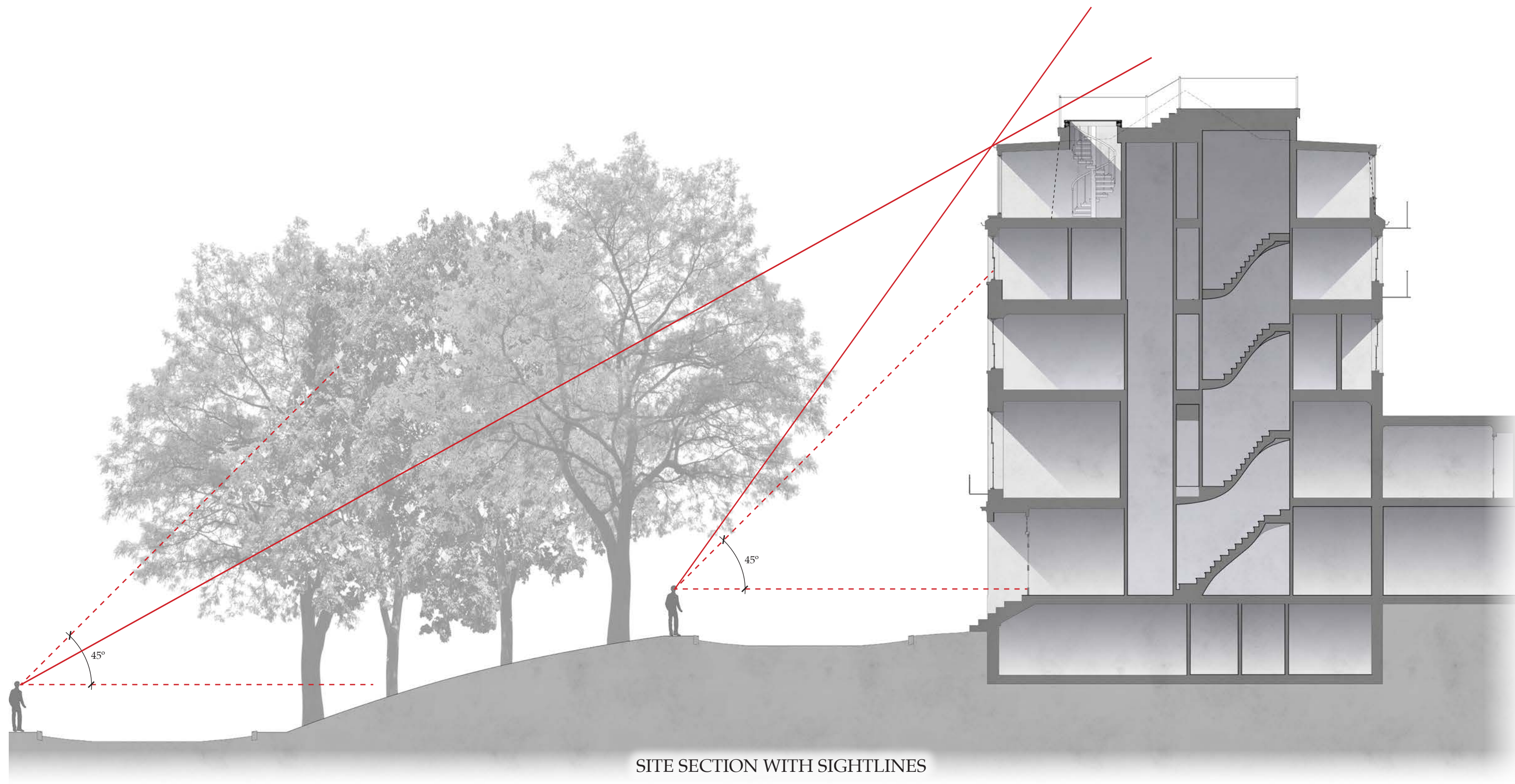
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SITE SECTION WITH SIGHTLINES

# SIGHTLINES

FROM WEST SIDEWALK OF SQUARE

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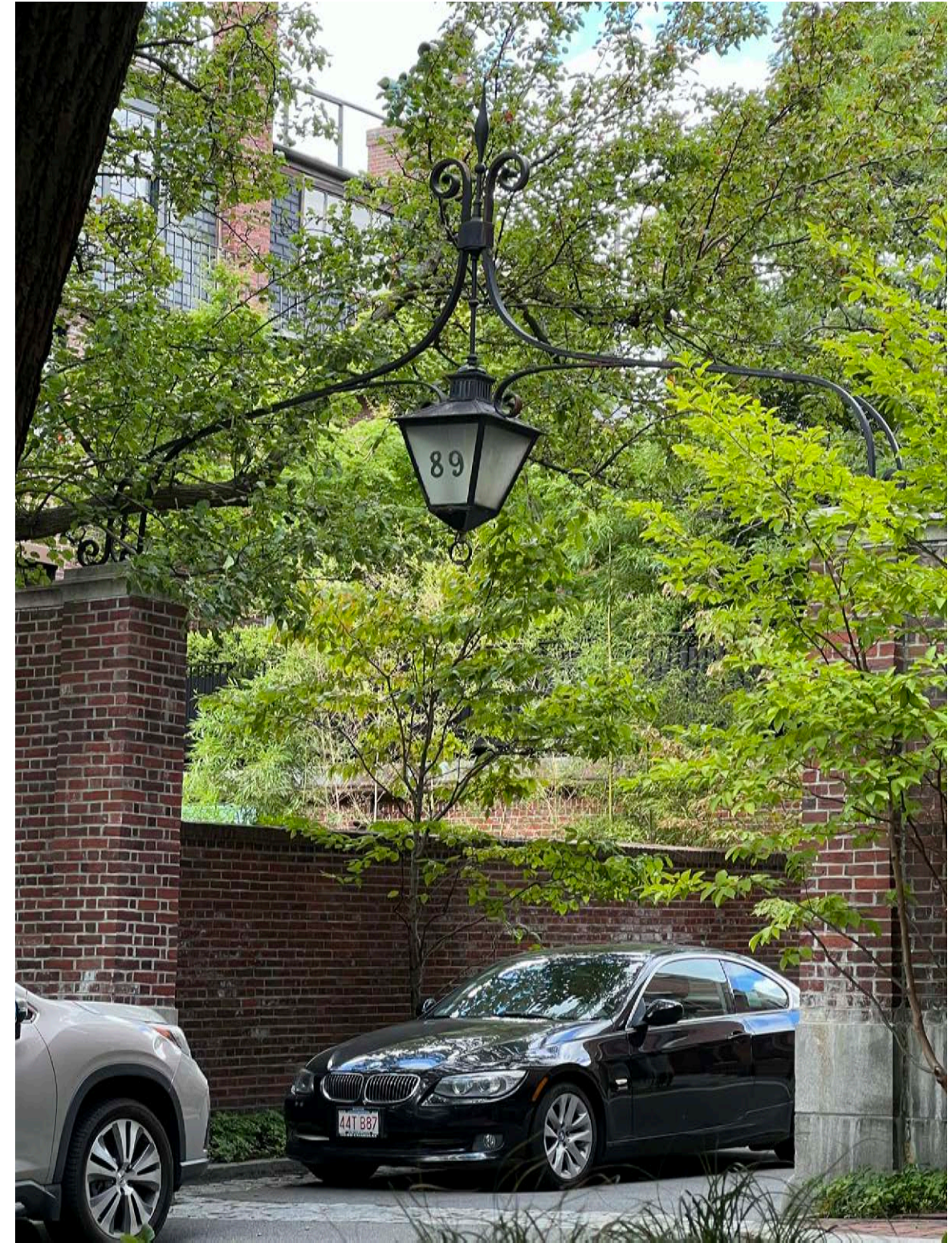
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ROOF HATCH MOCK-UP  
VIEW FROM PINCKNEY ST.



ROOF HATCH MOCK-UP  
REAR VIEW FROM MT. VERNON ST.

## ROOF DECK MOCK-UP

PHOTOS FROM SITE

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ROOF HATCH MOCK-UP  
VIEW FROM WEST SIDE OF LOUISBURG SQ.

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## ROOF DECK MOCK-UP

PHOTOS FROM SITE

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## RESIDENCE AT 9 LOUISBURG SQUARE

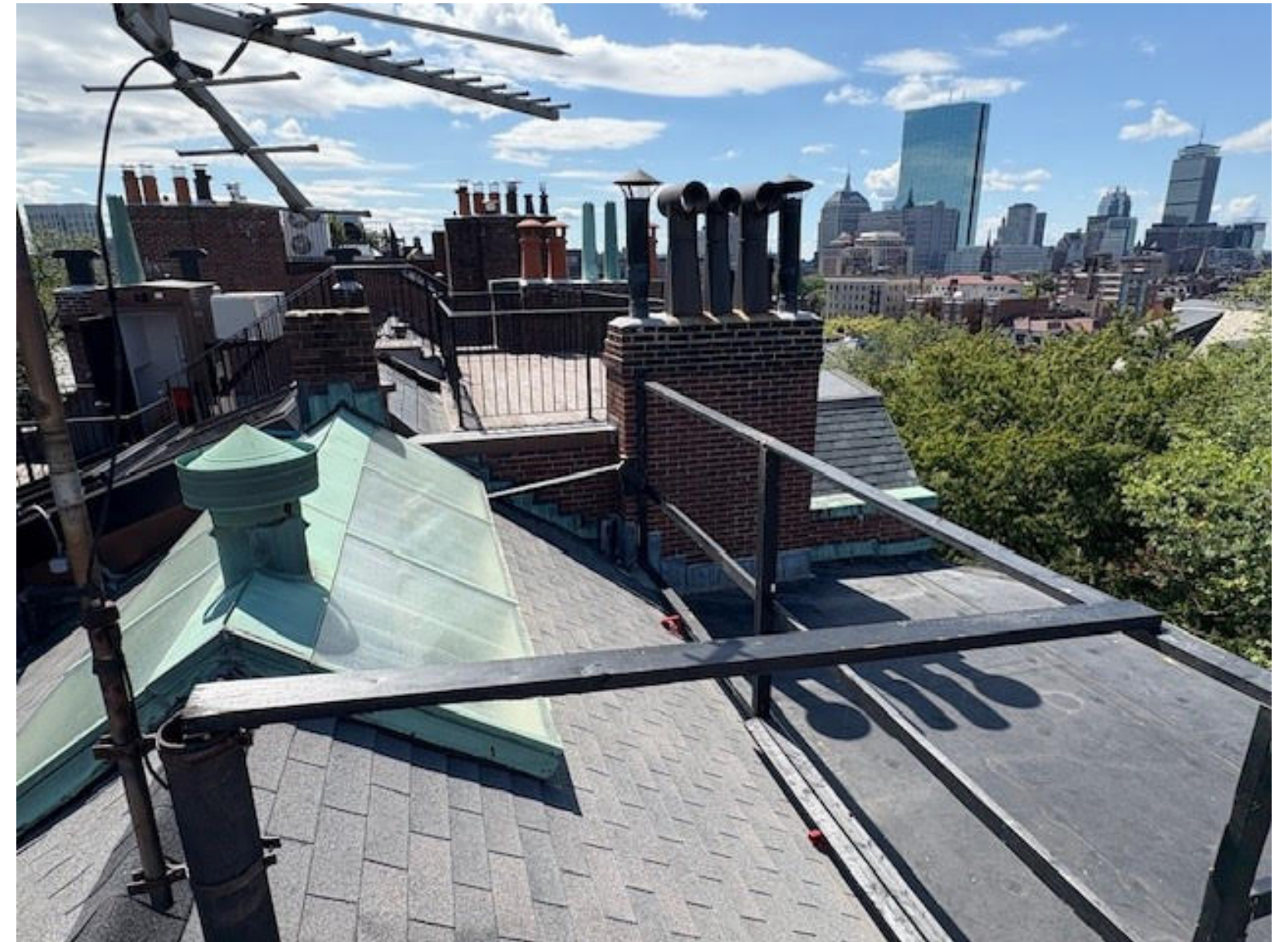
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ROOF HATCH MOCK-UP  
VIEW FROM FRONT OF ROOF



ROOF HATCH MOCK-UP  
VIEW FROM REAR OF ROOF

## ROOF DECK MOCK-UP

PHOTOS FROM SITE

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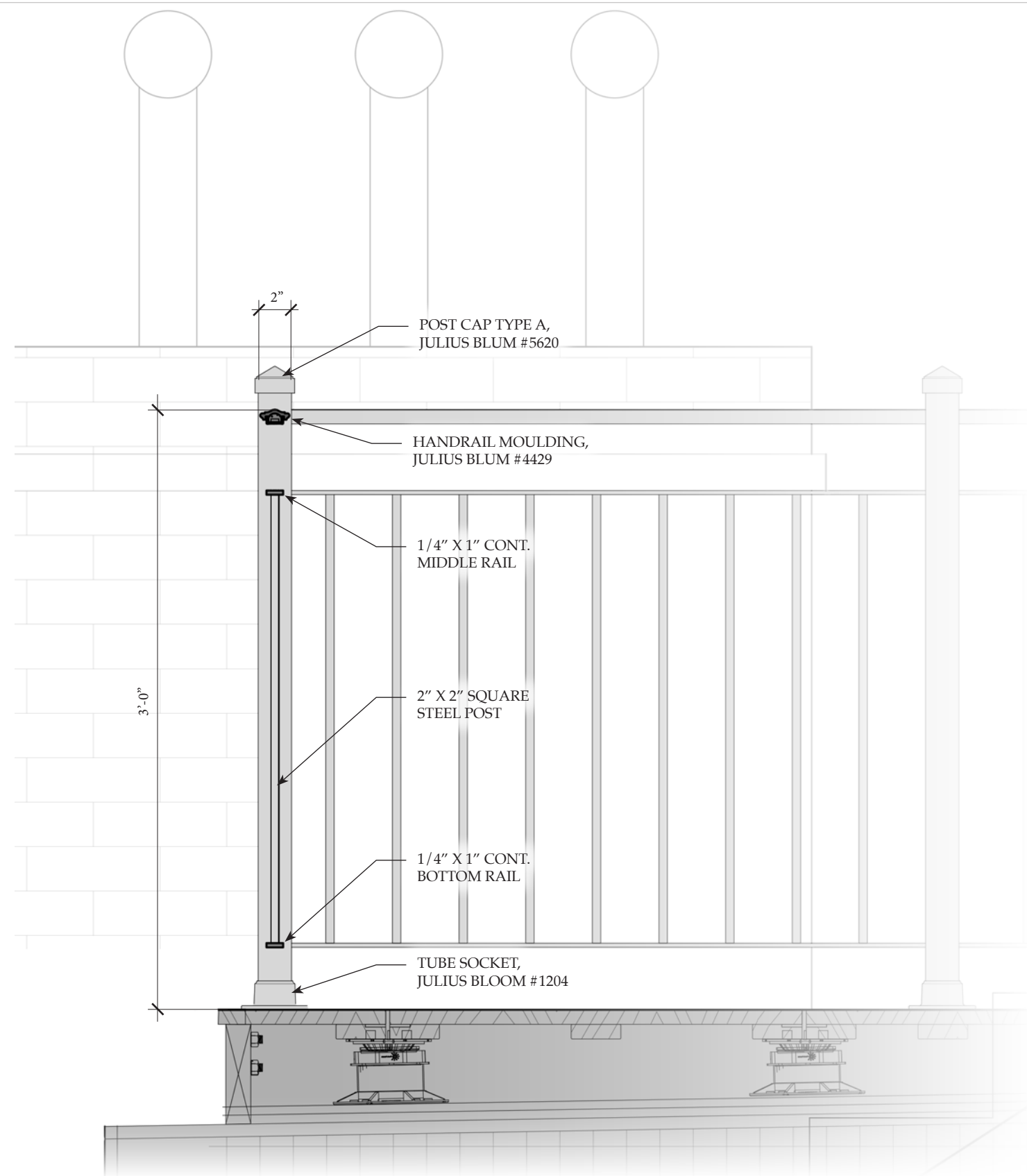
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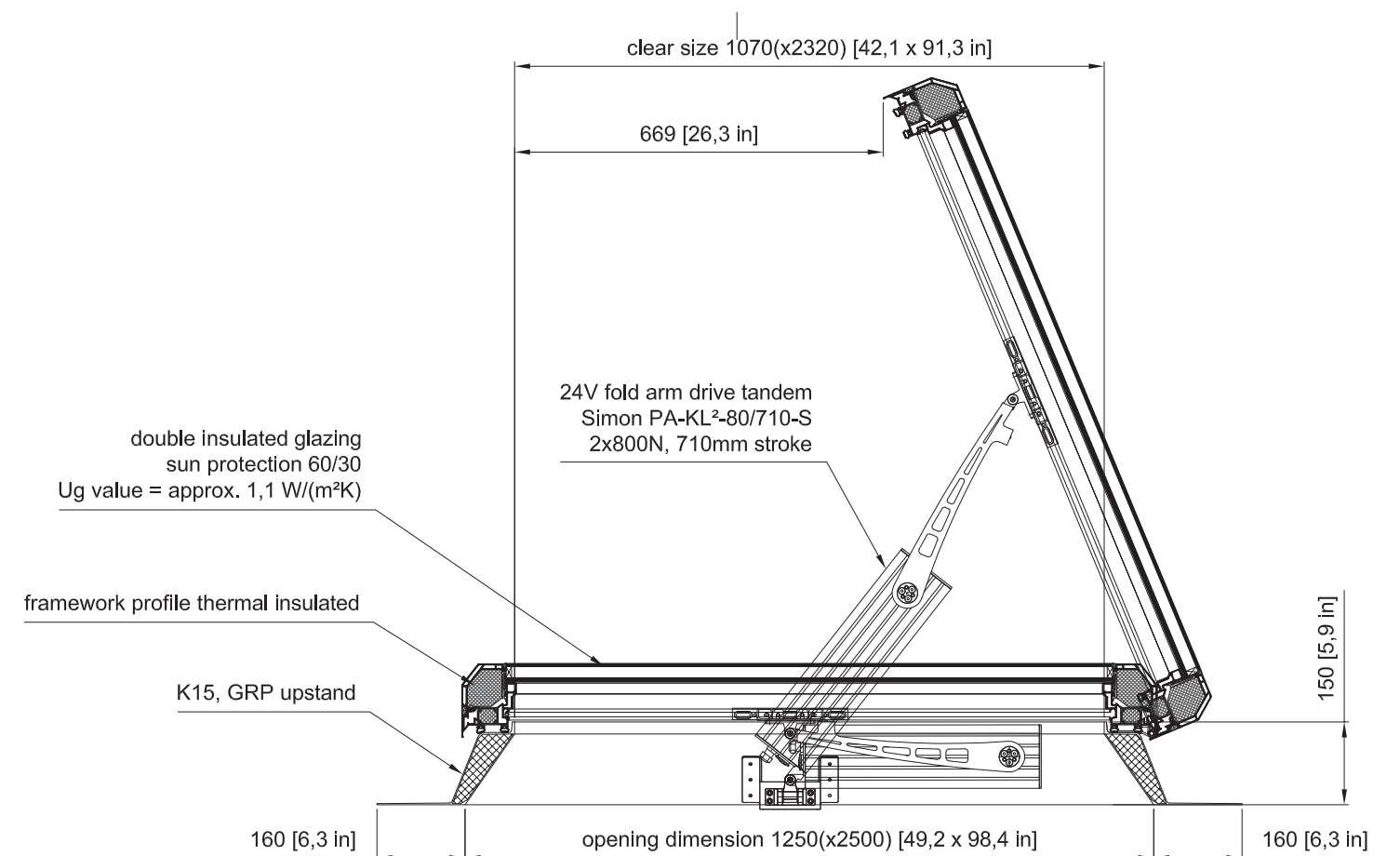
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DECK RAIL DETAIL



ROOF HATCH DETAIL

## DETAILS

ROOF DECK

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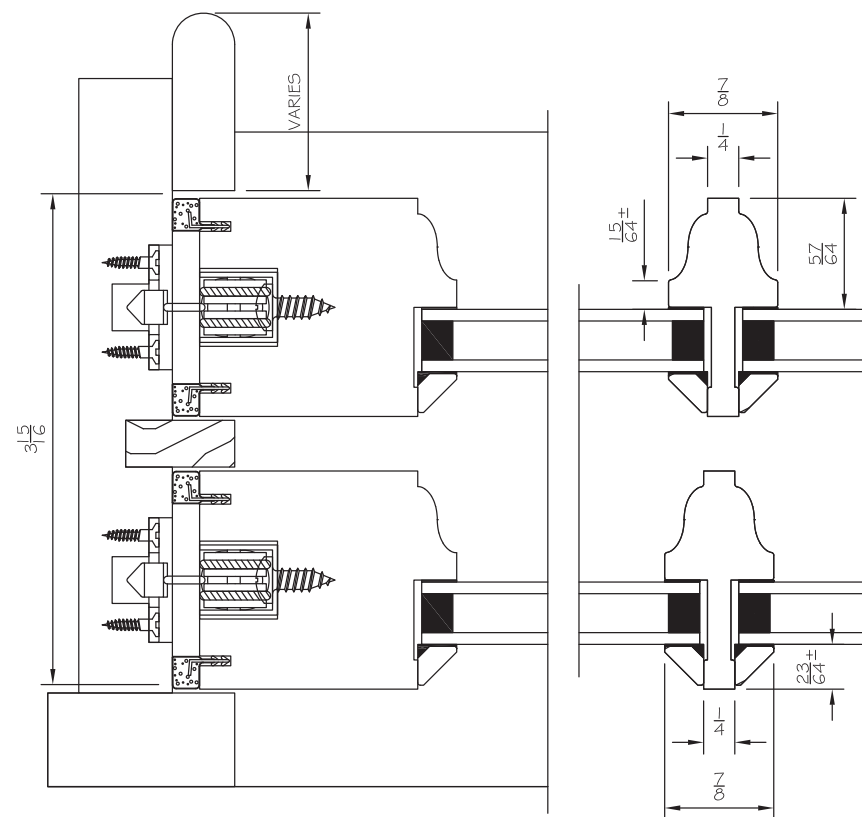
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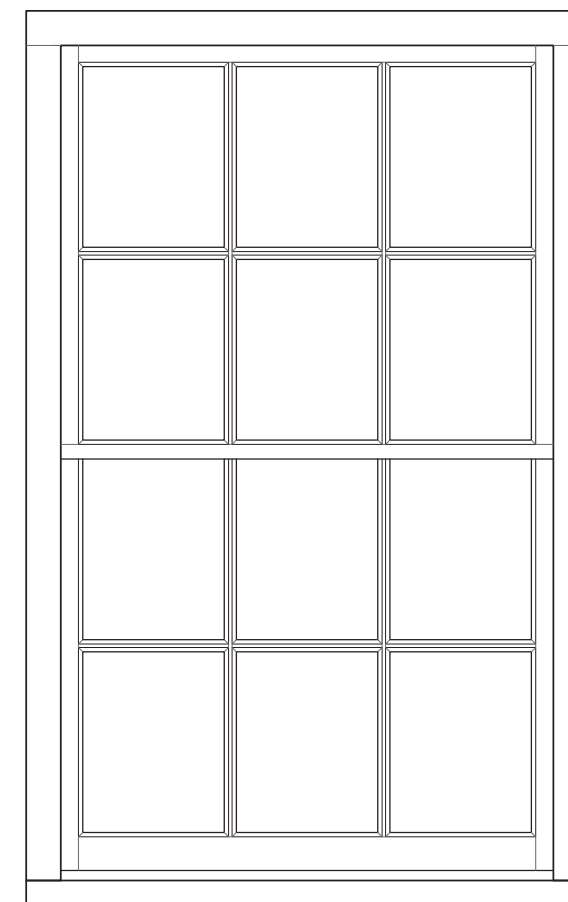
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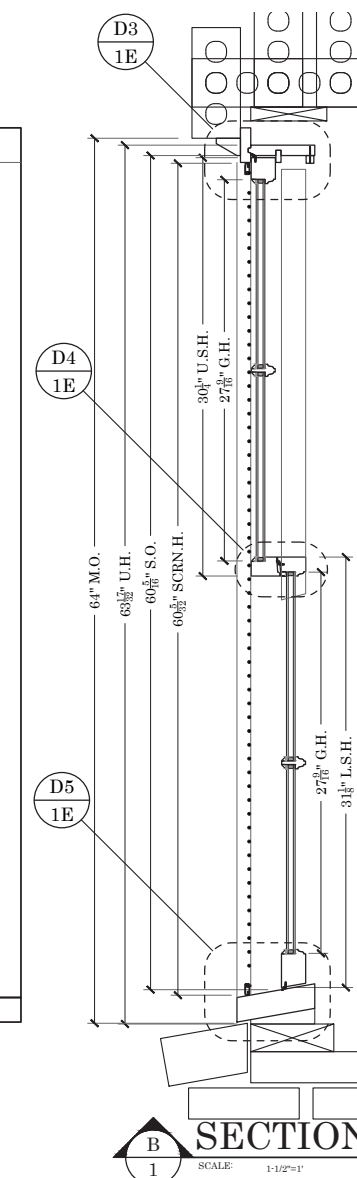
TRUE DIVIDED LITE DETAIL



TYPE A

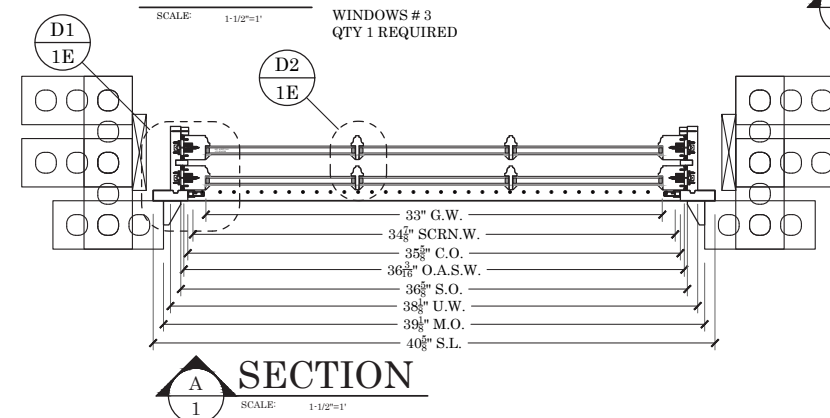
SCALE: 1-1/2"=1'

WINDOWS # 3  
QTY 1 REQUIRED



SECTION

SCALE: 1-1/2"=1'



SECTION

SCALE: 1-1/2"=1'

**BOSTON**  
SASH & MILLWORK  
667 SPRING STREET  
NORTH DIGHTON, MA 02764  
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WINDOW DETAILS

## DETAILS

### WINDOWS

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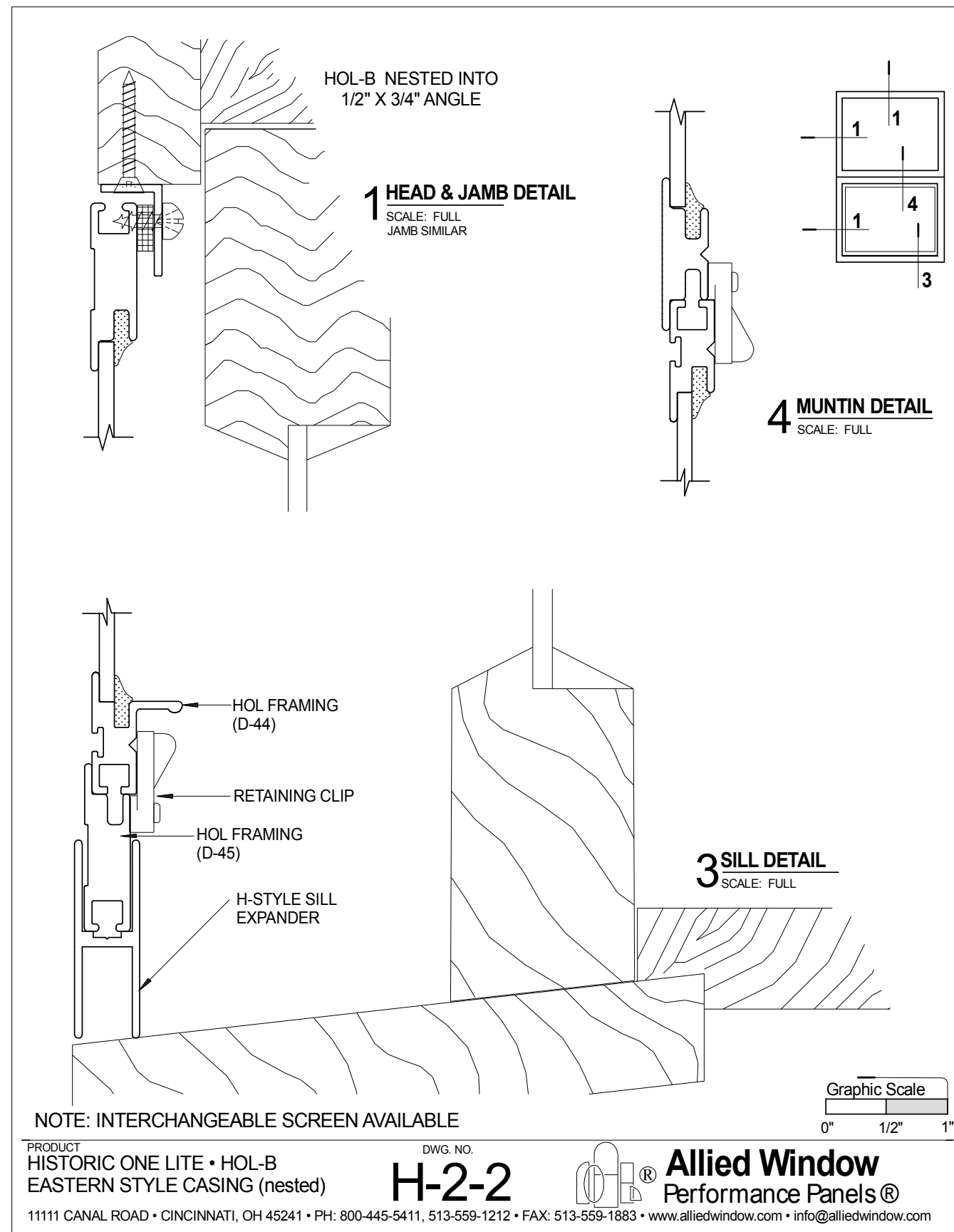
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STORM WINDOW PRECEDENT  
FRONT FACADE

## DETAILS

STORM WINDOWS (FRONT FACADE)

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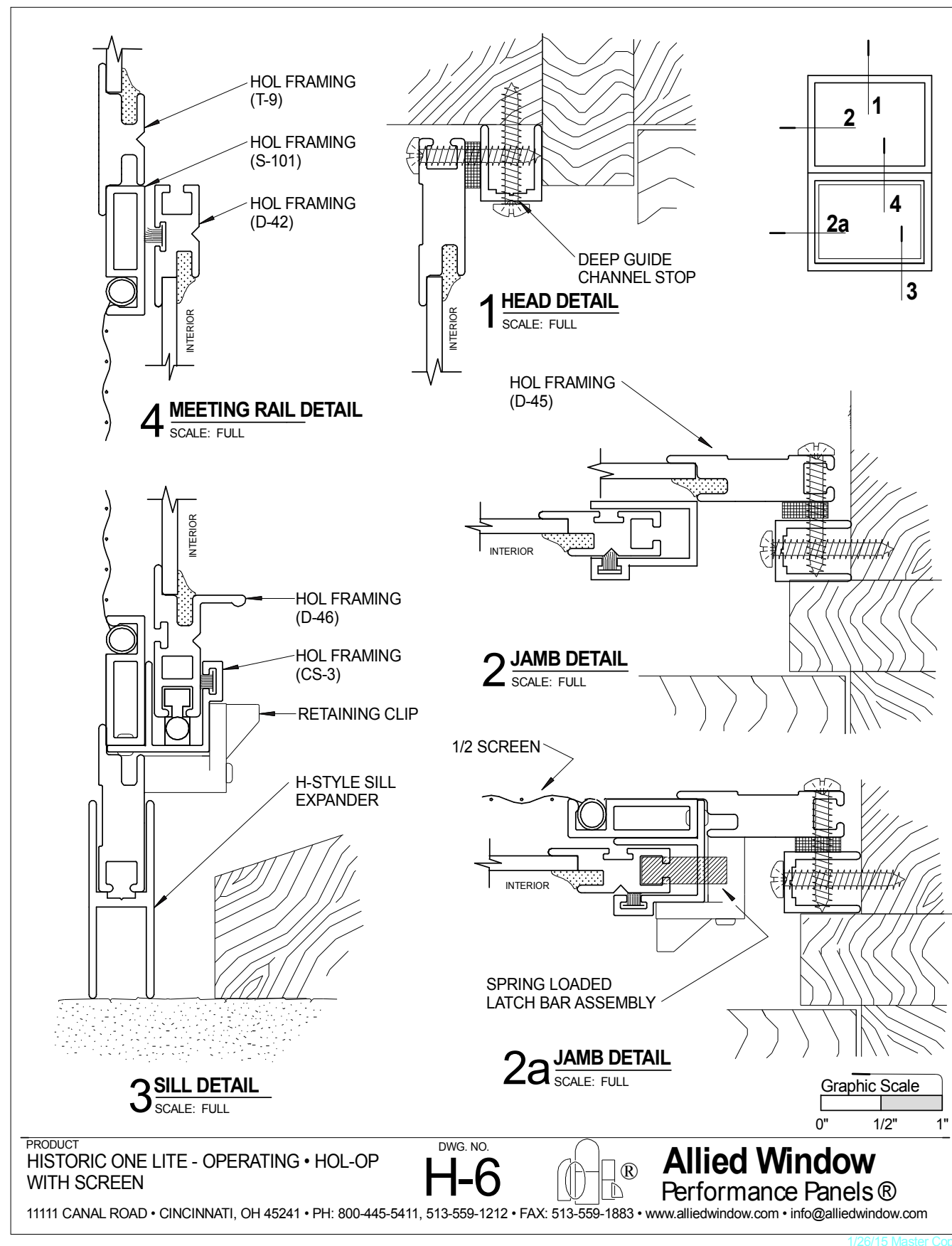
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STORM WINDOW PRECEDENT  
REAR FACADE

## DETAILS

STORM WINDOWS (REAR FACADE)

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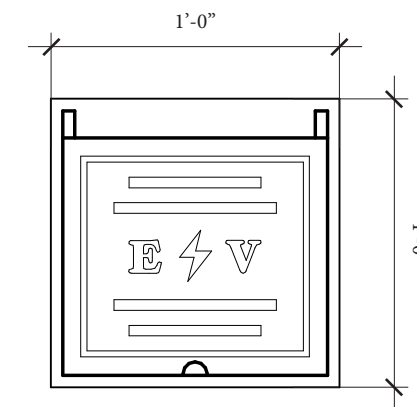
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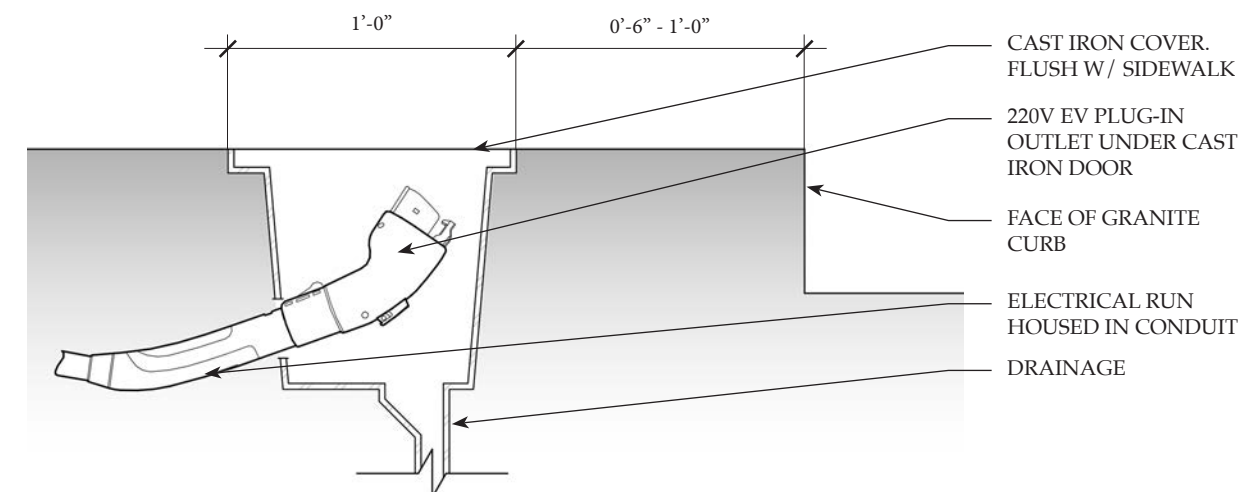
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CAST IRON  
COVER DESIGN



CURB SECTION DETAIL

## DETAILS

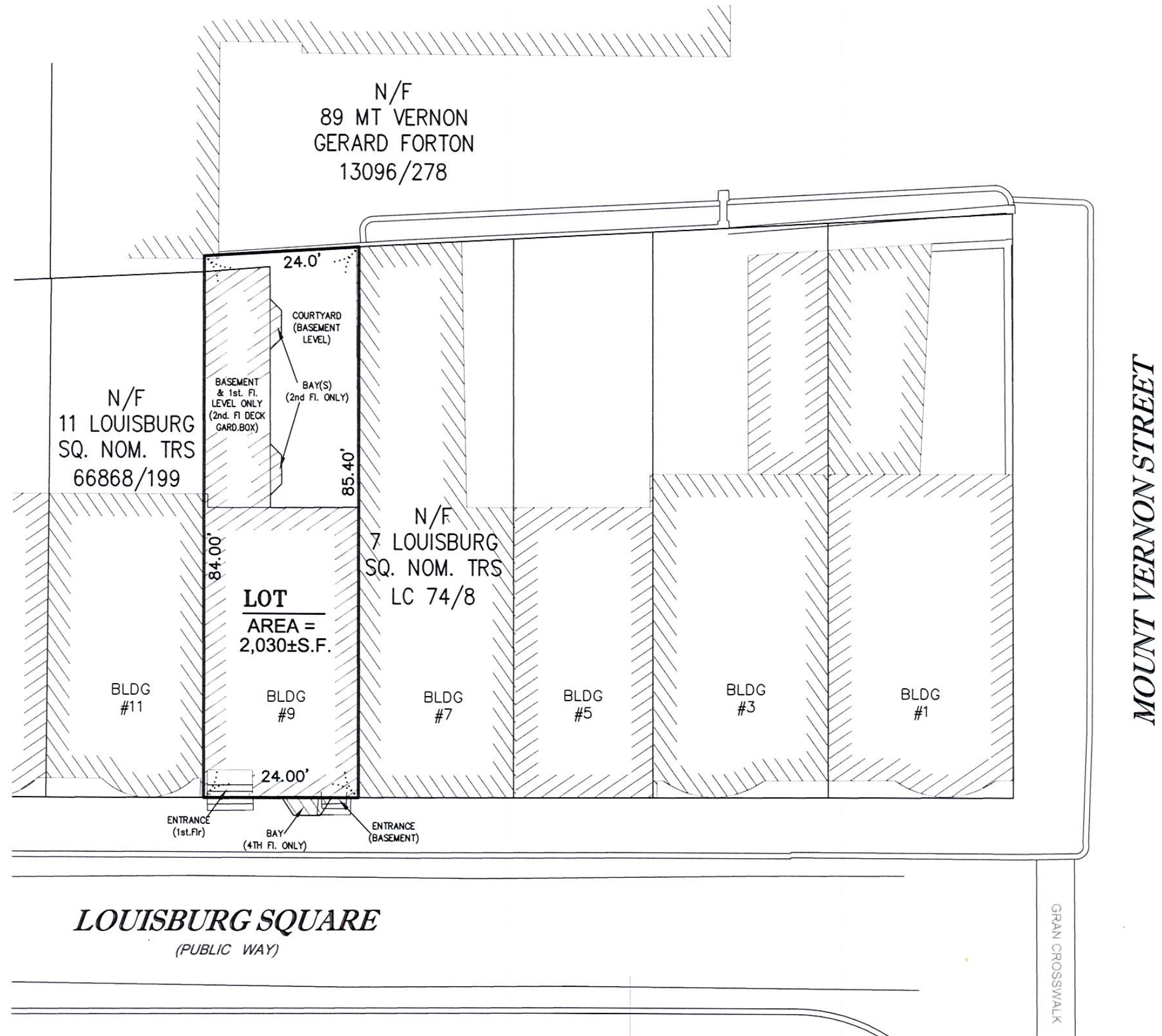
ELECTRIC VEHICLE CHARGER  
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## SURVEY

SITE AND ADJOINING LOTS

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