



**192 MARLBOROUGH ST:
CORNER OF EXETER
AND MARLBOROUGH**

**192 MARLBOROUGH ST:
VIEW ACROSS STREET**



**192 MARLBOROUGH ST:
VIEW ACROSS STREET**





**192 MARLBOROUGH ST:
VIEW FROM PUBLIC ALLEY 425**



**192 MARLBOROUGH ST:
VIEW FROM PUBLIC ALLEY 425**



**192 MARLBOROUGH ST:
VIEW ON ROOF
LOOKING NORTH EAST**



**192 MARLBOROUGH ST:
VIEW ON ROOF LOOKING EAST**



192 MARLBOROUGH ST:
VIEW ON ROOF LOOKING
NORTH EAST



**192 MARLBOROUGH ST:
VIEW ON ROOF LOOKING EAST**

**192 MARLBOROUGH ST:
VIEW ON ROOF
LOOKING NORTH EAST**





**192 MARLBOROUGH ST:
VIEW ON ROOF LOOKING SOUTH WEST**

PREPARED FOR:
OAK HILL ARCHITECTS
427 BOSTON POST ROAD
WESTON, MA 02433

REFERENCES:
OWNER OF RECORD:
MARLBOROUGH STREET VENTURES, LLC

DEED: BK 41287, PG 215
PLAN: BK 2007, PG 108
BK 885, PG END
BK 2018, PG 69
BK 5867, PG 206
BK 9390, PG 306
BK 6912, PG 278
BK 9867, PG 150
BK 11786, PG 325
555-A
21807-A
D. 418693

CITY OF BOSTON ENGINEERING RECORDS:
FB 241, PGS 66-68
FB 493, PGS 32-25
FB 571, PGS 46-48
FB 830, PGS 100-107

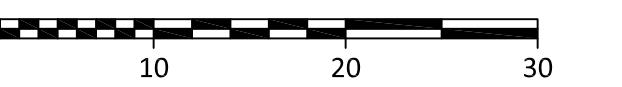
L-862
L-952 MARLBOROUGH STREET
L-3951 BEACON STREET
L-4185 PUBLIC ALLEY 425
L-9925 DARTMOUTH STREET

PROPOSED CONDITIONS PLAN

LOCATED AT

192 MARLBOROUGH STREET
BOSTON, MA

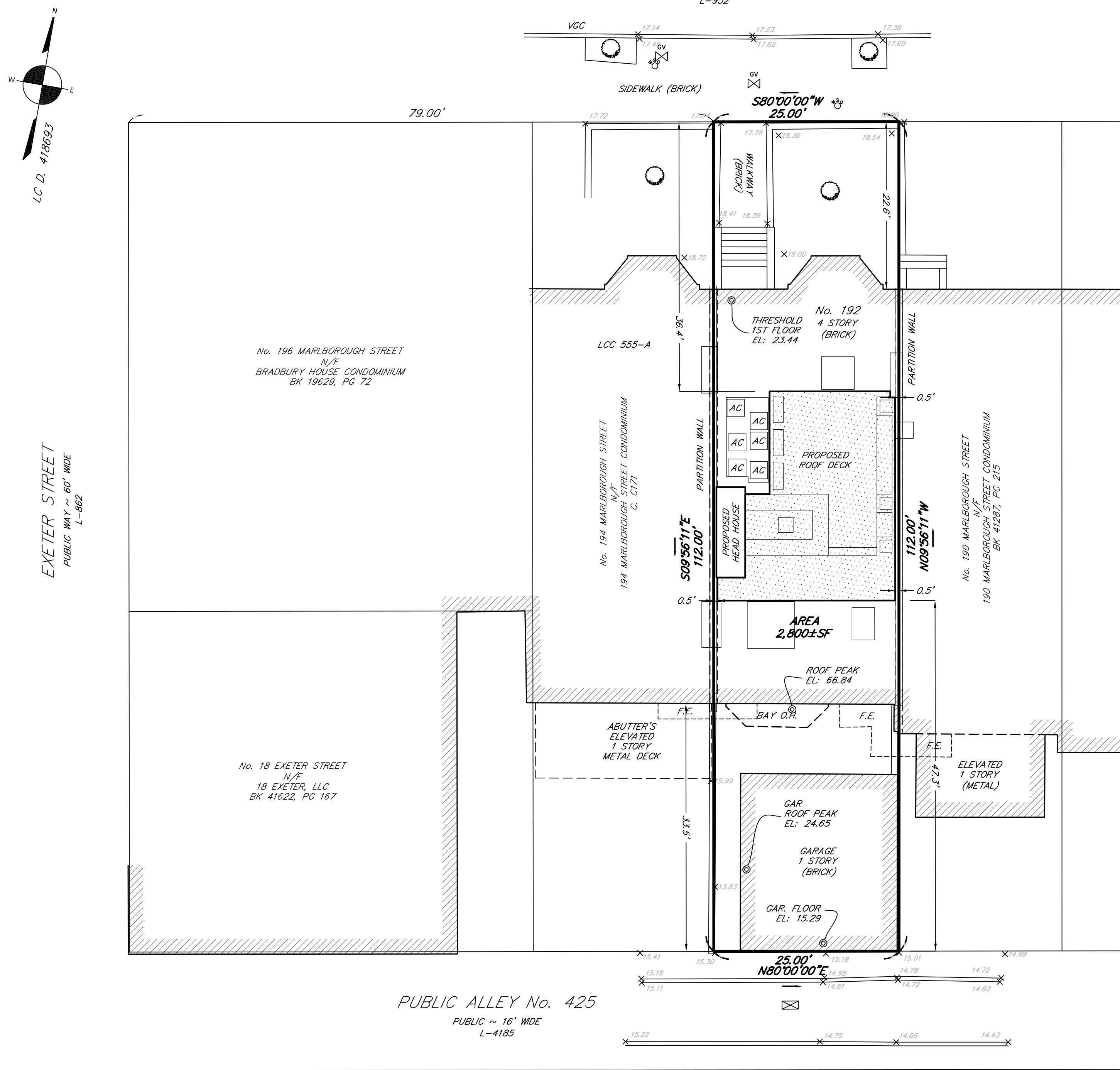
DATE: OCTOBER 28, 2025 SCALE: 1.0 INCH = 10.0 FEET



HEAD HOUSE PEAK: 76.01
RAILING PEAK: 72.17
FRONT PEAK (FLAT ROOF): 69.24

HEIGHT PROFILE
SCALE: 1.0" = 20.0'

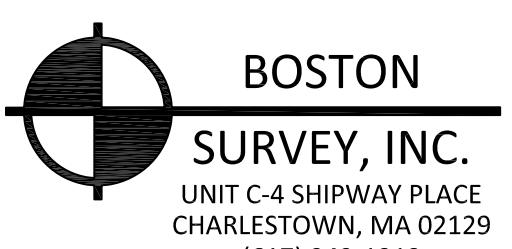
1ST FL: 23.44
AVE. GRADE @ BSW: 17.92
MARLBOROUGH STREET
CAR. PEAK: 24.65
CAR. FL: 15.29
PUBLIC ALLEY
No. 425



I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JULY 29, 2025 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS
ZONE: X
COMMUNITY PANEL: 25025C0077K
EFFECTIVE DATE: 07/03/2024

FIELD:	JJH/GTK
DRAFT:	RAP
CHECK:	GCC
ZONE:	
DATE:	10/28/25
JOB #	25-00487



BOSTON
SURVEY, INC.
UNIT C-4 SHIPWAY PLACE
CHARLESTOWN, MA 02129
(617) 242-1313

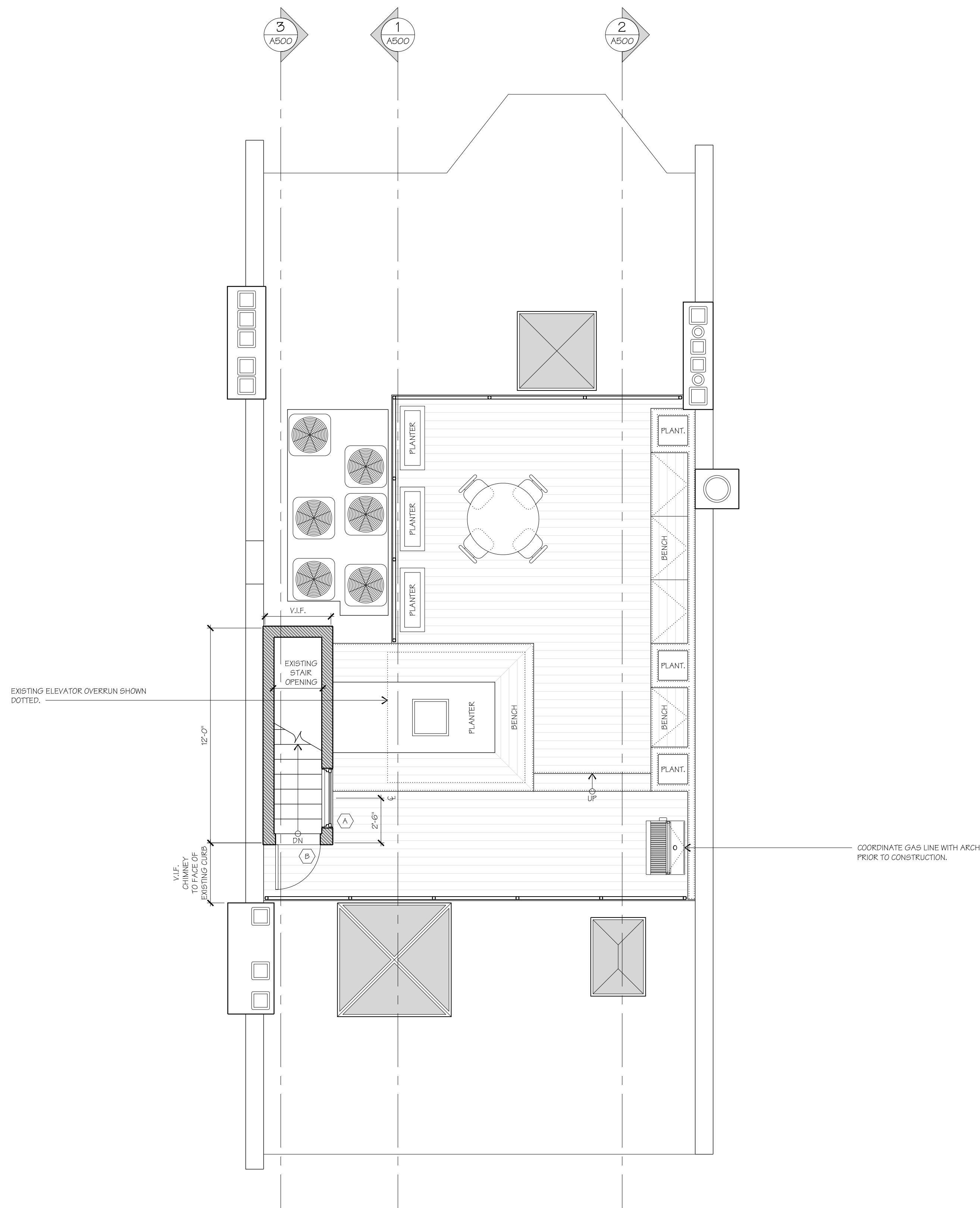
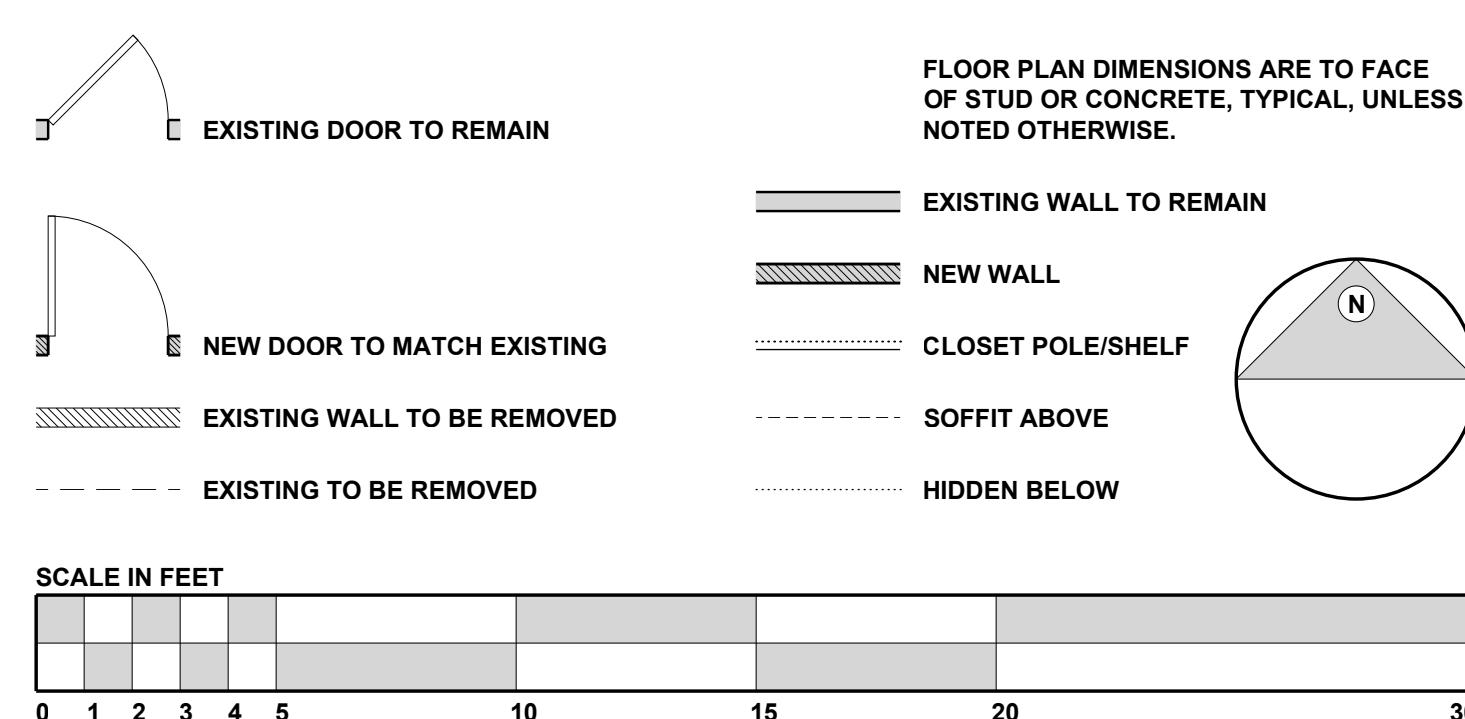
GENERAL DEMOLITION NOTES

1. G.C. SHALL BE FULLY RESPONSIBLE FOR PROTECTING ALL EXISTING SURFACES, ITEMS, AND SYSTEMS TO REMAIN, TYPICAL THROUGHOUT. ITEMS DAMAGED BY CONSTRUCTION SHALL BE REPLACED AT G.C.'S EXPENSE.
2. G.C. SHALL REMOVE ALL INDICATED ITEMS. G.C. SHALL DISCARD ALL REMOVED ITEMS NOT SCHEDULED TO BE REUSED, STOCKPILED, OR RETURNED TO OWNER, UNLESS NOTED OTHERWISE, TYPICAL THROUGHOUT.
3. ALL DOORS, TRIM, ARCHITECTURAL ELEMENTS, DECORATIVE LIGHTING, AND ACCESSORIES REMOVED DURING DEMOLITION SHALL BE SAFELY STOCKPILED FOR REUSE, RELOCATION, AND/OR REINSTALLATION. DISCARD REMAINING ITEMS AS DIRECTED. COORDINATE WITH ARCHITECT PRIOR TO COMMENCEMENT OF DEMOLITION, TYPICAL THROUGHOUT.
4. IN ALL ROOMS WHERE PLASTER IS TO BE REMOVED, G.C. SHALL CAREFULLY REMOVE ALL ADJACENT BASE TRIM, CASINGS, AND ANY OTHER MOLDINGS, AND SAVE FOR REUSE/REINSTALLATION OR DISCARD AS DIRECTED, TYPICAL THROUGHOUT.
5. WHERE WOOD TRIM IS SCHEDULED TO TIE INTO OR REPLACE EXISTING, REMOVE REMAINING TRIM AT ENTIRE LENGTH OR RUN, AND PREPARE FOR REPLACEMENT WITH NEW TRIM TO MATCH EXISTING, UNLESS NOTED OTHERWISE, TYPICAL THROUGHOUT.
6. G.C. SHALL REMOVE AND DISCARD ALL OBSOLETE ELECTRICAL, PLUMBING, AND HVAC WORK, INCLUDING BUT NOT LIMITED TO EQUIPMENT, CONTROLS, WIRING, PIPING, BASEBOARD RADIATORS, AND DUCTWORK, RESPECTIVELY, TYPICAL THROUGHOUT.
7. TEMPORARY FACILITIES:
 - A. G.C. SHALL PROVIDE TEMPORARY EXTERIOR TOILET FACILITIES FOR ALL WORKERS, THROUGH ALL PHASES OF THE WORK. COORDINATE LOCATION WITH OWNERS.
 - B. G.C. SHALL PROVIDE HEAVY DUTY OPERABLE DUST BARRIERS AS REQUIRED TO ISOLATE CONSTRUCTION AREAS FROM LIVING AREAS. COORDINATE LOCATIONS WITH OWNER/ARCHITECT.
8. FOR THE PURPOSES OF THIS DRAWING SET AND COMMUNICATION, ALL REFERENCES TO NORTH, SOUTH, EAST, AND WEST SHALL BE "CALLED" NORTH, SOUTH, EAST, AND WEST, WITH NORTH BEING AS INDICATED IN THE FLOOR PLANS.

GENERAL CONSTRUCTION NOTES

1. G.C. SHALL BE FULLY RESPONSIBLE FOR COORDINATING THE WORK, SEQUENCE, AND SCHEDULE OF ALL CONSTRUCTION INCLUDING THE WORK OF THE GENERAL CONTRACTOR AND ALL SUB-TRADES. ERRORS MADE RESULTING FROM INADEQUATE COORDINATION WILL RESULT IN WORK BEING REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE, TYPICAL THROUGHOUT.
2. UNLESS NOTED OTHERWISE, NEW AND/OR PATCHED INTERIOR WALL CONSTRUCTION SHALL BE 2X4 WOOD STUDS AT 16" O.C. WITH 1/2" GYPSUM BASE AND 1/8" SKIM COAT PLASTER IN ALL FINISHED SPACES. REFER TO NOTES BELOW FOR EXCEPTIONS AND CONDITIONS.
3. UNLESS NOTED OTHERWISE, NEW AND/OR PATCHED CEILINGS SHALL BE 1/2" GYPSUM BASE WITH 1/8" SKIM COAT PLASTER, OVER 1X3 WOOD FURRING, PERPENDICULAR TO JOISTS. REFER TO NOTES BELOW FOR EXCEPTIONS AND CONDITIONS.
4. UNLESS NOTED OTHERWISE, ALL NEW EXTERIOR WOOD WALL CONSTRUCTION SHALL BE 2X6 WOOD STUDS AT 16" O.C. ALL PATCHED/IN-FILLED EXTERIOR WALL CONSTRUCTION SHALL MATCH EXISTING STUD DEPTH FRAMED AT 16" O.C. AT INTERIOR FACE. PROVIDE CONTINUOUS MINIMUM CLASS II VAPOR RETARDER UNDER 1/2" GYPSUM BASE AND 1/8" SKIM COAT PLASTER FINISH, AT EXTERIOR, PROVIDE 1/2" HUBER ENGINEERED WOODS ZIP SYSTEM SHEATHING WITH 'ZIP SYSTEM TAPE' AT ALL JOINTS/SEAMS, OR ARCHITECT APPROVED EQUAL. STANDING SEAM SIDING SHALL BE UNLACQUERED RED COPPER. FOR PRICING PURPOSES, ASSESS 1 1/2" TALL SEAMS SPACED AT 16" O.C. COORDINATE ACTUAL SPACING AND HEIGHT OF SEAMS WITH ARCHITECT, PRIOR TO CONSTRUCTION.
5. UNLESS NOTED OTHERWISE, NEW AND/OR PATCHED "FLAT" ROOFING SHALL BE EPDM ROOFING OVER 5/8" HUBER ENGINEERED WOODS ZIP SYSTEM SHEATHING, OR ARCHITECT APPROVED EQUAL. EPDM ROOFING SHALL BE A FULLY ADHERED SYSTEM INSTALLED PER MANUFACTURER'S RECOMMENDED DETAILS AND SHALL HAVE A MINIMUM 30 YEAR MANUFACTURER'S WARRANTY. CARLISLE, FIRESTONE, OR ARCHITECT APPROVED EQUAL.
6. UNLESS NOTED OTHERWISE, NEW STANDING SEAM ROOFING ASSEMBLY SHALL BE PROFILED 2X10 RAFTERS AT 16" O.C. WITH 5/8" HUBER ENGINEERED WOODS ZIP SYSTEM SHEATHING, OR ARCHITECT APPROVED EQUAL. PROVIDE CONTINUOUS HIGH TEMPERATURE ICE AND WATER SHIELD OVER ENTIRE ROOF SURFACE. STANDING SEAM ROOFING SHALL BE UNLACQUERED RED COPPER. FOR PRICING PURPOSES, ASSESS 1 1/2" TALL SEAMS SPACED AT 16" O.C. COORDINATE ACTUAL SPACING AND HEIGHT OF SEAMS WITH ARCHITECT, PRIOR TO CONSTRUCTION.
7. UNLESS NOTED OTHERWISE, THERMAL INSULATION AT ALL EXISTING EXTERIOR FRAMING EXPOSED DURING THE COURSE OF CONSTRUCTION, AND AT ALL NEW WORK, SHALL BE CLOSED CELL FOAM. INSULATION SHALL BE INSTALLED CONTINUOUSLY BETWEEN JOISTS, STUDS, AND/OR RAFTERS. AT EXISTING EXTERIOR FRAMING EXPOSED DURING THE COURSE OF CONSTRUCTION, CAVITY SHALL BE FILLED WITH NEW INSULATION. AT NEW WORK PROVIDE THE FOLLOWING MINIMUM R VALUES:
 - A. R-30 - FLOORS OVER UNHEATED SPACES
 - B. R-30 - EXTERIOR WALLS
 - C. R-49 - ROOF FRAMING
8. UNLESS NOTED OTHERWISE, ALL METAL FLASHING SHALL BE UNLACQUERED RED COPPER. PROVIDE CONTINUOUS FLASHING AT ALL ROOF EDGES, EXTEND FLASHING UNDERNEATH EPDM COUNTER FLASHING AND TERMINATE BOTTOM END IN DRIP EDGE. PROVIDE CONTINUOUS FLASHING AT ALL INTERSECTIONS OF ROOF AND EXTERIOR WALLS, TOP END OF FLASHING SHALL TIE INTO STANDING SEAM SIDING, BOTTOM END SHALL EXTEND OUT OVER THE TOP OF EPDM ROOFING AND UNDERNEATH EPDM COUNTER FLASHING. COORDINATE ALL INTERSECTIONS OF FLASHING WITH EPDM ROOFING MANUFACTURER'S RECOMMENDED DETAILS AND ARCHITECT PRIOR TO CONSTRUCTION.
9. ALL NEW SUBFLOORING SHALL BE 3/4" HUBER ENGINEERED WOODS 'ADVANTECH', GLUED AND SCREWED TO FRAMING, TYPICAL THROUGHOUT.
10. UNLESS NOTED OTHERWISE, ALL ROUGH FRAMING/BLOCKING THAT IS IN CONTACT WITH MASONRY, CONCRETE, OR SUBJECT TO MOISTURE SHALL BE PRESSURE TREATED LUMBER, TYPICAL.
11. UNLESS NOTED OTHERWISE, ALL EXTERIOR TRIM BOARDS, MOLDINGS, FASCIA, AND WOOD RAILING COMPONENTS, SHALL BE RED CEDAR AND SHALL BE BACKPRIMED, INCLUDING ENDS AND CUTS, ACCORDING TO MANUFACTURER'S SPECIFICATIONS. ALL LOCATIONS WHERE TRIM MAY BE SUBJECT TO STANDING WATER SHALL BE 'ZEEK' OR ARCHITECT APPROVED EQUAL. COORDINATE ALL LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION. COORDINATE PAINT COLORS WITH OWNER AND ARCHITECT.
12. IN ALL CASES, WITHOUT EXCEPTION, INCLUDING THE ABOVE ASSEMBLIES, ALL WORK AND FINISHES SHALL BE FURRED OUT AS REQUIRED TO BE IN PLANE WITH ADJACENT AND/OR ABUTTING SURFACES. ALL SURFACES SHALL BE CONTINUOUS, WITH NO VISIBLE SEAMS OR JOINTS, TYPICAL THROUGHOUT THE WORK.
13. REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING REQUIREMENTS AND SPECIFICATIONS.
14. TEMPORARY FACILITIES
 - A. G.C. SHALL PROVIDE TEMPORARY EXTERIOR TOILET FACILITIES FOR ALL WORKERS, THROUGH ALL PHASES OF THE WORK. COORDINATE LOCATION WITH OWNERS.
 - B. G.C. SHALL PROVIDE HEAVY DUTY OPERABLE DUST BARRIERS AS REQUIRED TO ISOLATE CONSTRUCTION AREAS FROM LIVING AREAS. COORDINATE LOCATIONS WITH OWNER/ARCHITECT.
15. FOR ANY WORK WHERE THERE WILL BE AN ADDITIONAL COST TO THE OWNER, G.C. SHALL NOT PROCEED UNTIL A FORMAL CHANGE ORDER IS APPROVED BY THE OWNER AND THE ARCHITECT.
16. FOR THE PURPOSES OF THIS DRAWING SET AND COMMUNICATION, ALL REFERENCES TO NORTH, SOUTH, EAST, AND WEST SHALL BE "CALLED" NORTH, SOUTH, EAST, AND WEST, WITH NORTH BEING AS INDICATED IN THE FLOOR PLANS.

DRAWING LEGEND



DEMOLITION SCOPE NOTES

1. REMOVE/DISCARD ROOFING MEMBRANE AND SHEATHING AS REQUIRED TO ACCOMMODATE THE WORK.
2. REMOVE/DISCARD OPERABLE SKYLIGHT AND ASSOCIATED TRACK.
3. REMOVE/RELOCATE DUCTWORK AND PIPING AS REQUIRED TO ACCOMMODATE THE WORK. COORDINATE WITH ARCHITECT PRIOR TO DEMOLITION.
4. MODIFY EXISTING STAIR AND OPENING AS REQUIRED TO ACCOMMODATE THE WORK.

CONSTRUCTION SCOPE NOTES

1. PROVIDE/INSTALL NEW MEMBRANE ROOFING AND SHEATHING INDICATED.
2. PROVIDE/INSTALL NEW HEADHOUSE INDICATED.
3. PROVIDE/INSTALL DECKING, STEPS, BENCHES, AND PLANTERS ON P.T. FRAMING INDICATED.
4. PROVIDE/INSTALL CUSTOM DECORATIVE METAL RAILING INDICATED.
5. PROVIDE/INSTALL SCHEDULED WINDOW AND PATIO DOOR.

WINDOW/PATIO DOOR SCHEDULE

KEY	FRAME WIDTH	FRAME HEIGHT	MODEL NUMBER	LITES	NOTES
A	3'-4"	3'-8 1/16"	UAWN 4044	1	
B	2'-7 7/16"	6'-10"	UOFDG2 2668	1	

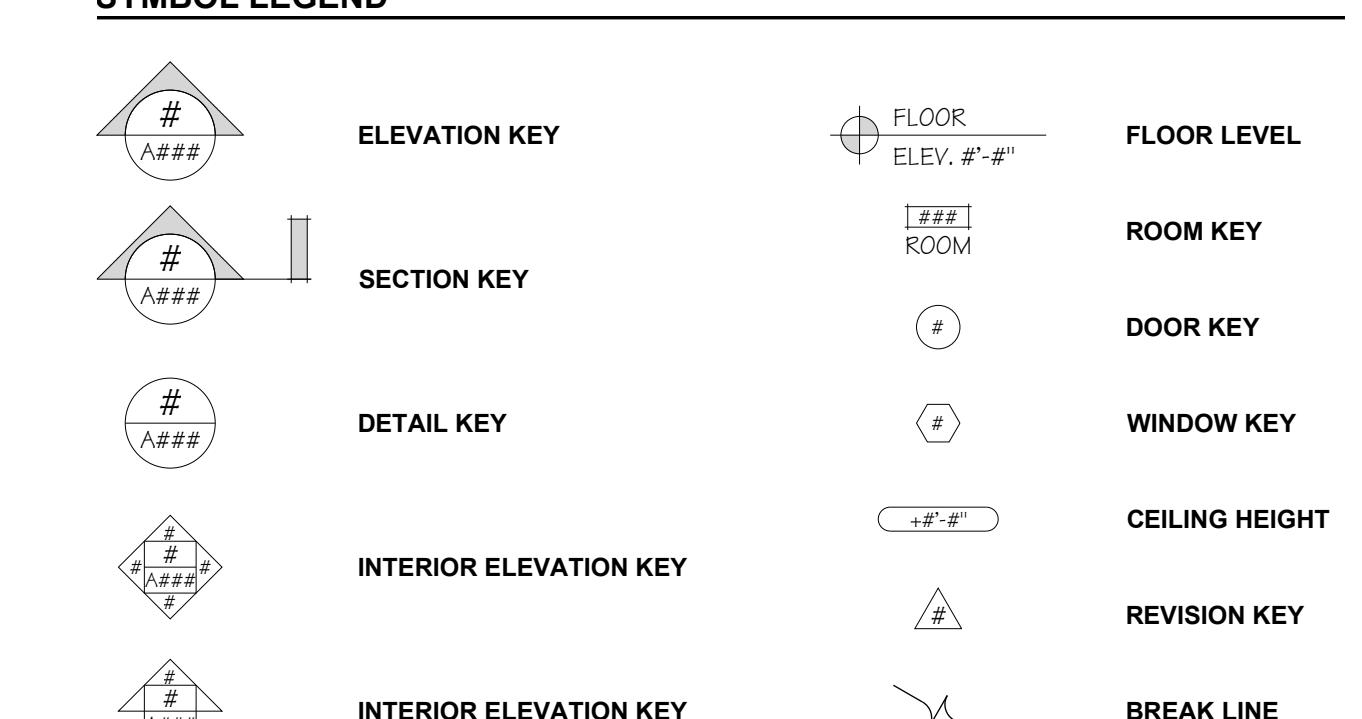
GENERAL WINDOW NOTES

1. G.C. SHALL VERIFY ALL QUANTITIES, SWINGS, DIMENSIONS, AND ROUGH OPENING REQUIREMENTS AND CLEARANCES.
2. UNLESS NOTED OTHERWISE, ALL WINDOWS SHALL BE MARVIN WINDOWS AND SHALL HAVE THE FOLLOWING:
 - A. DOUBLE PANE, LOW-E, INSULATED GLASS.
 - B. MIL FINISH SPACER BARS.
 - C. OUTSIDE OF ALL WINDOW SASHES AND FRAMES SHALL BE CLAD, ASSUME STANDARD COLOR. ACTUAL COLOR SHALL BE SELECTED BY OWNER. INSIDE OF ALL WINDOW SASHES AND FRAMES SHALL BE FACTORY PRIMED WOOD.
 - D. ALL WINDOWS SHALL HAVE EXTENSION JAMB'S, U.N.O.
 - E. INTERIOR WOOD SCREENS, CLAD EXTERIOR SCREENS.
3. WINDOWS SHALL HAVE MIN. TWO (2) 2x6 HEADERS WITH MIN. 4" BEARING ON EACH SIDE.
4. HARDWARE FINISH SHALL BE SELECTED BY OWNER. PROVIDE FULL RANGE OF OPTIONS FOR OWNER APPROVAL.
5. ALL WINDOWS LOCATED AT WINDOWS SEATS, TUB DECKS, AND ALL WINDOWS WITHIN A 24" ARC OF ANY DOOR EDGE SHALL BE TEMPERED GLASS. G.C. SHALL COORDINATE ANY ADDITIONAL LOCATIONS WHERE TEMPERED GLASS IS REQUIRED BY CODE.
6. ALL WINDOWS INCLUDING OVAL AND ROUND WINDOWS SHALL RECEIVE PROPER HEAD AND SILL FLASHING ACCORDING TO BEST CONSTRUCTION STANDARDS. FLASHING SHALL BE LEAD COATED COPPER OR UNLACQUERED RED COPPER.
7. ALL REFERENCED WINDOW HEAD HEIGHTS ARE FROM FINISHED FLOOR TO UNDERSIDE OF FINISHED HEAD OF INTERIOR WINDOW FRAME AND SHALL BE CONSISTENT PER ROOM, TYPICAL THROUGHOUT, U.N.O.

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	N.I.C.	NOT IN CONTRACT
ADD.	ADDENDUM	N.T.S.	NOT TO SCALE
ADJ.	ADJUSTABLE	O.U.	OVERALL
AFF	ABOVE FINISHED FLOOR	O.C.	ON CENTER
A&M	ANDERSON & MCQUAID	OPP.	OPPOSITE
APPROX.	APPROXIMATELY	PDR.	POWDER
AVG.	AVERAGE	PR.	PAIR
BAL.	BALANCE	PREP.	PREPARE
BIT.	BITUMINOUS	P.T.	PRESSURE TREATED
BLDG.	BUILDING	R.	RADUS
CATV	CABLE TELEVISION	RCP.	REFLECTED CEILING PLAN
CDX	EXTERIOR GRADE PLYWOOD	RD.	REFRIGERATOR DRAWER
CL.	CENTERLINE	REF.	REFRIGERATOR
CONT.	CONTINUED	R.H.	RIGHT HAND
COORD.	COORDINATE	R.	ROOM
D	DRYER	RO.	ROUGH OPENING
DEMO	DEMOLITION	SF.	SQUARE FOOT
D.H.	DOUBLE HANGING	SH.	SHELVING
DIA.	DIAMETER	S.H.	SINGLE HANGING
DN	DOWN	SIM.	SIMILAR
D.R.	DRYING RACK	SPEC.	SPECIFICATIONS
DR.	DRAWERS	STD.	SIMULATED TRUE DIVIDED LITE
DW.	DISHWASHER	STOR.	STORAGE
E.F.	EXTERIOR FRAMING	SY.	SQUARE YARD
ELEV.	ELEVATION	T.C.	TRASH COMPACTOR
EQ.	EQUAL	TDL.	TRUE DIVIDED LITE
EX.	EXISTING	TEMP.	TEMPORARY
FO.	FRAME OPENING	THK.	THICK
FU.	FACE	TME.	TO MATCH EXISTING
GFI	GROUND FAULT INTERRUPT	TV.	TELEVISION
G.C.	GENERAL CONTRACTOR	TYP.	Typical
GWB	GYPSUM BASE	UNO.	UNLESS NOTED OTHERWISE
HR.	HOURS	UNU.	UNLESS OTHERWISE NOTED
HVAC	HEATING VENTILATION & AIR CONDITIONING	VAC.	VACUUM
INFO.	INFORMATION	VEN.	VENeer
L.H.	LEFT HAND	VEST.	VESTIBULE
L.F.	LINEAR FOOT	V.I.F.	VERIFY IN FIELD
LIN.	LINEN	W.	WASHING MACHINE
MAX.	MAXIMUM	W.C.	WATER CLOSET
MDF	MEDIUM DENSITY FIBERBOARD	WD.	WARMING DRAWER
MDO	MEDIUM DENSITY OVERLAY	W/D.	WASHER / DRYER
M.E.P.	MECHANICAL / ELECTRICAL / PLUMBING	W/	WITH
MIN.	MINIMUM	WH.	WATER HEATER
MO.	MASONRY OPENING	W.O.	WALL OVEN
M.O.	MICROWAVE OVEN	W/O.	WITHOUT
		YD.	YARD

SYMBOL LEGEND



ARCHITECTURE & INTERIORS

781.899.1530 T 781.899.1580 F
472 Boston Post Road
Weston, Massachusetts 02493
www.oakhillarchitects.com

PROJECT
The Monroe Residence
192 Marlborough Street
Boston, Massachusetts

GENERAL NOTES
The following notes apply to all work of the General Contractor and all sub-trades, typical throughout.

A. All work performed shall be in full compliance with all applicable Local, State, National, Life Safety, and Energy Codes.

B. General Contractor shall be responsible for obtaining all Permits, Inspections, and Sign-offs as required to complete the scope of work indicated in the Construction Drawings and Specifications.

C. General Contractor shall be responsible for coordinating the work of all trades, including, but not limited to: sequencing of work; proper clearances; dimensional requirements; and design intent.

D. Prior to commencing construction, General Contractor shall lay out the entire work in the field to verify all existing conditions and dimensional requirements. Any conflict, discrepancy, or apparent error in the drawings, existing conditions, and/or the specifying of a product, material; or means of assembly, shall be immediately pointed out to the Architect. Failure to verify all conditions and coordinate all work will result in replacement of incorrect items at the General Contractor's expense.

E. Drawings shall not be scaled for sizes or dimensions. Architect and Owner assume no responsibility for the use of incorrect scales.

F. For all drawings, specifications, and information contained therein, Oak Hill Architects, Inc. reserves all common law, statutory, and other reserved rights, including copyrights.

SUBMISSIONS / REVISIONS

Progress

August 29, 2025 - Not For Construction

SHEET TITLE

Roof Plan

A101

ARCHITECTURE & INTERIORS

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REGISTRATION

SUBMISSIONS / REVISIONS

Progress

August 29, 2025 - Not For Construction

SHEET TITLE

Sections

DRAWN JW

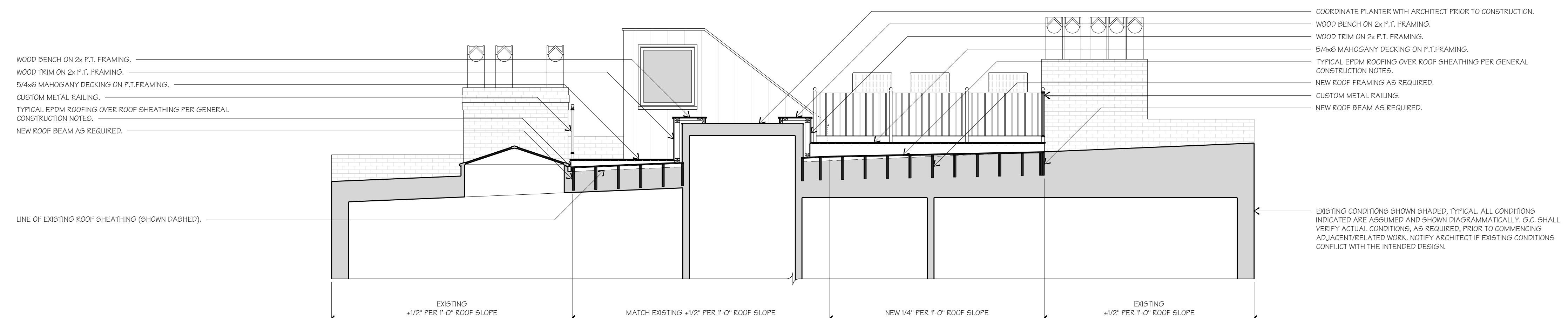
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PROJECT NUMBER 241209

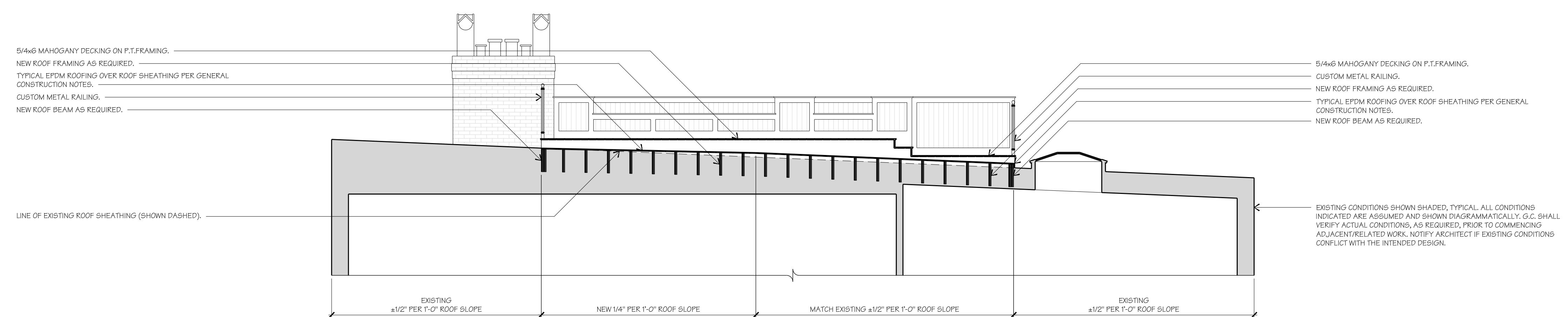
DATE 01/28/25

SHEET

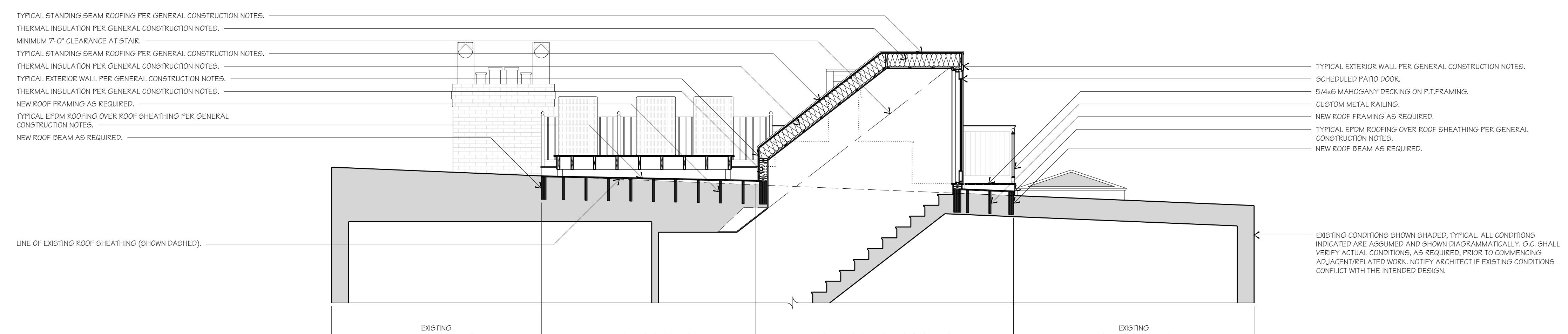
A500



1 SECTION
A500 SCALE: 1/4"=1'-0"



2 SECTION
A500 SCALE: 1/4"=1'-0"



3 SECTION
A500 SCALE: 1/4"=1'-0"

ARCHITECTURE & INTERIORS

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PROJECT

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REGISTRATION

SUBMISSIONS / REVISIONS

BBAC Submission

November 10, 2025 - Not For Construction

SHEET TITLE

**Proposed Visibility
Diagram**

DRAWN	JW
CHECKED	AR
PROJECT NUMBER	241209
DATE	01/28/25
SHEET	

A500

