



**192 MARLBOROUGH ST:  
CORNER OF EXETER  
AND MARLBOROUGH**



**192 MARLBOROUGH ST:  
VIEW ACROSS STREET**





**192 MARLBOROUGH ST:  
VIEW ACROSS STREET**







**192 MARLBOROUGH ST:  
VIEW FROM PUBLIC ALLEY 425**





**192 MARLBOROUGH ST:  
VIEW FROM PUBLIC ALLEY 425**





**192 MARLBOROUGH ST:  
VIEW ON ROOF  
LOOKING NORTH EAST**





**192 MARLBOROUGH ST:  
VIEW ON ROOF LOOKING EAST**





192 MARLBOROUGH ST:  
VIEW ON ROOF LOOKING  
NORTH EAST





**192 MARLBOROUGH ST:  
VIEW ON ROOF LOOKING EAST**



**192 MARLBOROUGH ST:  
VIEW ON ROOF  
LOOKING NORTH EAST**







**192 MARLBOROUGH ST:  
VIEW ON ROOF LOOKING SOUTH WEST**



PREPARED FOR:  
OAK HILL ARCHITECTS  
427 BOSTON POST ROAD  
WESTON, MA 02633

REFERENCES:  
OWNER OF RECORD:  
MARLBOROUGH STREET VENTURES, LLC

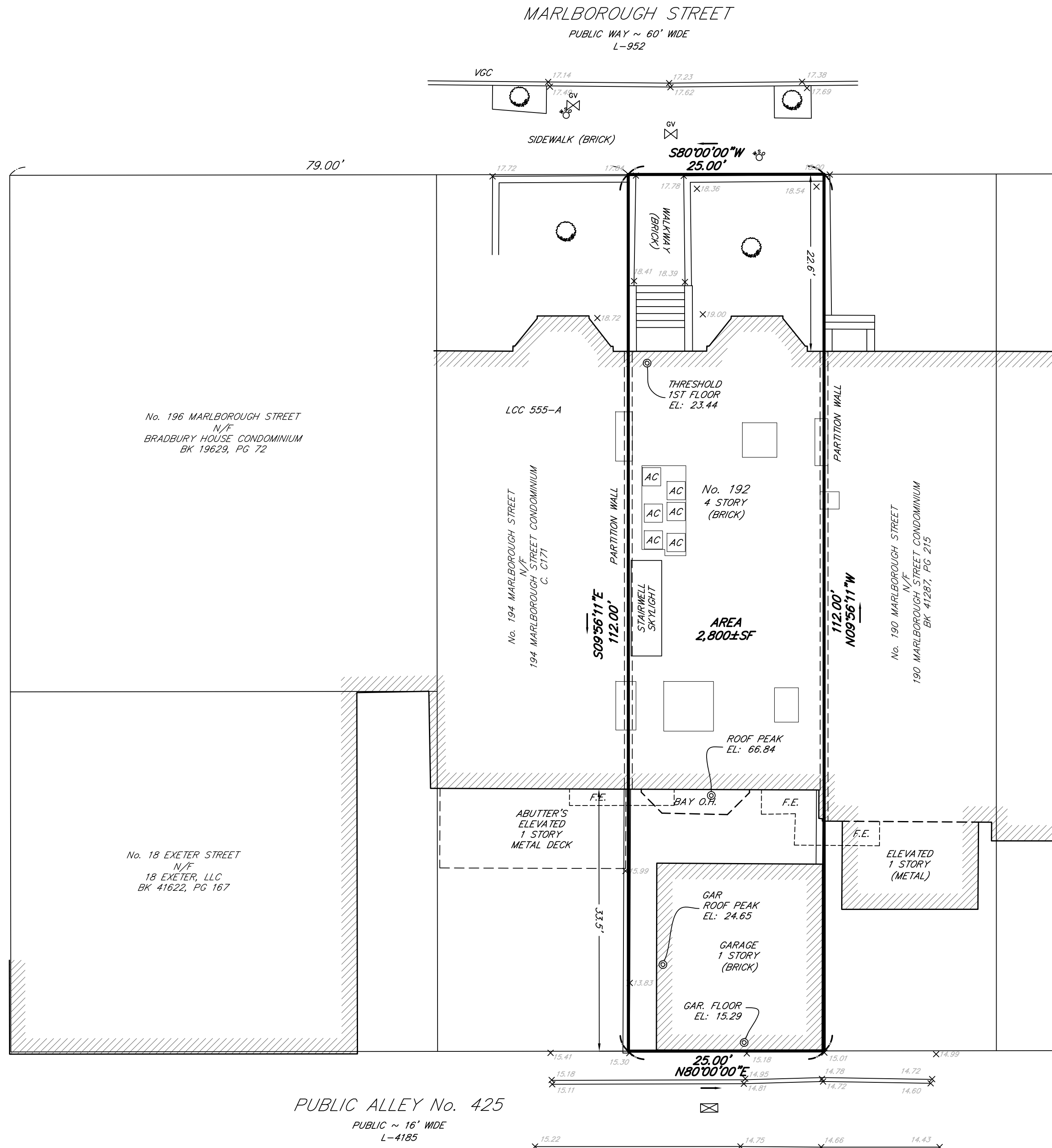
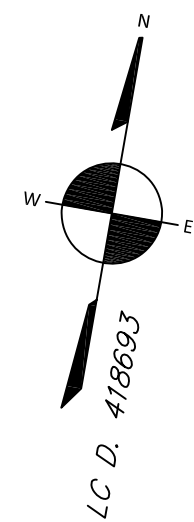
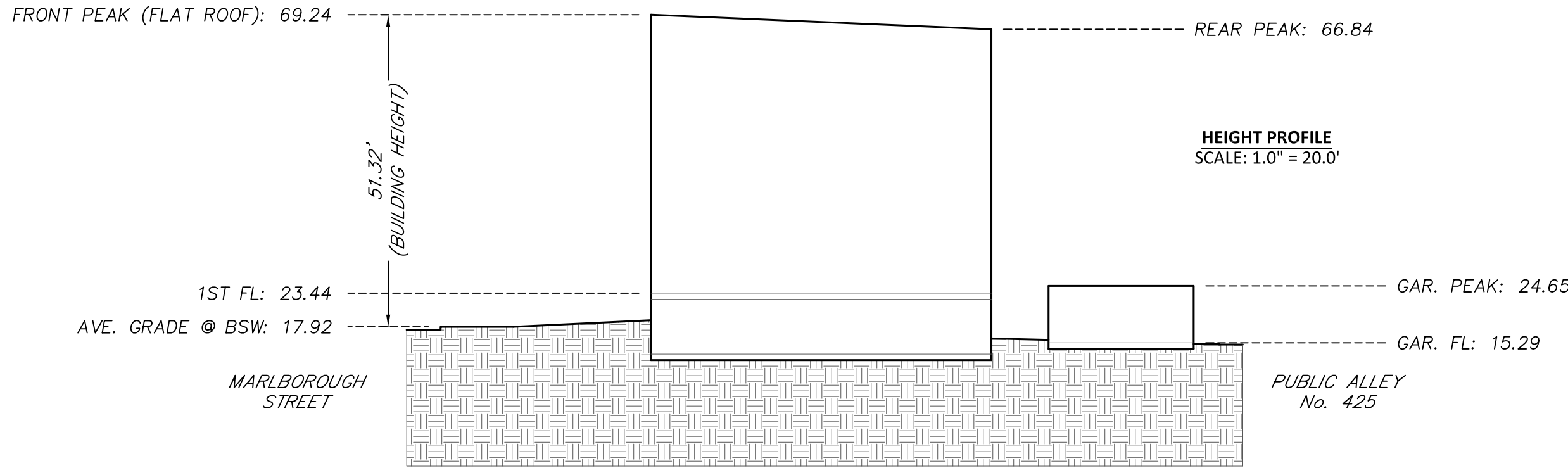
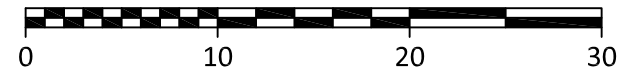
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BK 885, PG END  
BK 2018, PG 69  
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BK 9390, PG 306  
BK 6912, PG 278  
BK 9867, PG 150  
BK 11786, PG 325  
LCC: 555-A  
21807-A  
D. 418693

CITY OF BOSTON ENGINEERING RECORDS:  
FB 241, PGS 66-68  
FB 493, PGS 32-25  
FB 571, PGS 46-48  
FB 830, PGS 100-107

L-862  
L-952 MARLBOROUGH STREET  
L-2951 BEACON STREET  
L-4185 PUBLIC ALLEY 425  
L-9925 DARTMOUTH STREET

# SITE PLAN OF LAND LOCATED AT 192 MARLBOROUGH STREET BOSTON, MA

DATE: AUGUST 1, 2025 SCALE: 1.0 INCH = 10.0 FEET

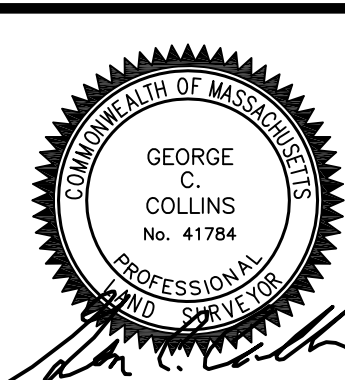


I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JULY 29, 2025 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS  
ZONE: X  
COMMUNITY PANEL: 25025C0077K  
EFFECTIVE DATE: 07/03/2024

BOSTON  
SURVEY, INC.  
UNIT C-4 SHIPWAY PLACE  
CHARLESTOWN, MA 02129  
(617) 242-1313

FIELD: JJH/TK  
DRAFT: RAP  
CHECK: GCC  
DATE: 08/01/25  
JOB # 25-00487





PREPARED FOR:  
OAK HILL ARCHITECTS  
427 BOSTON POST ROAD  
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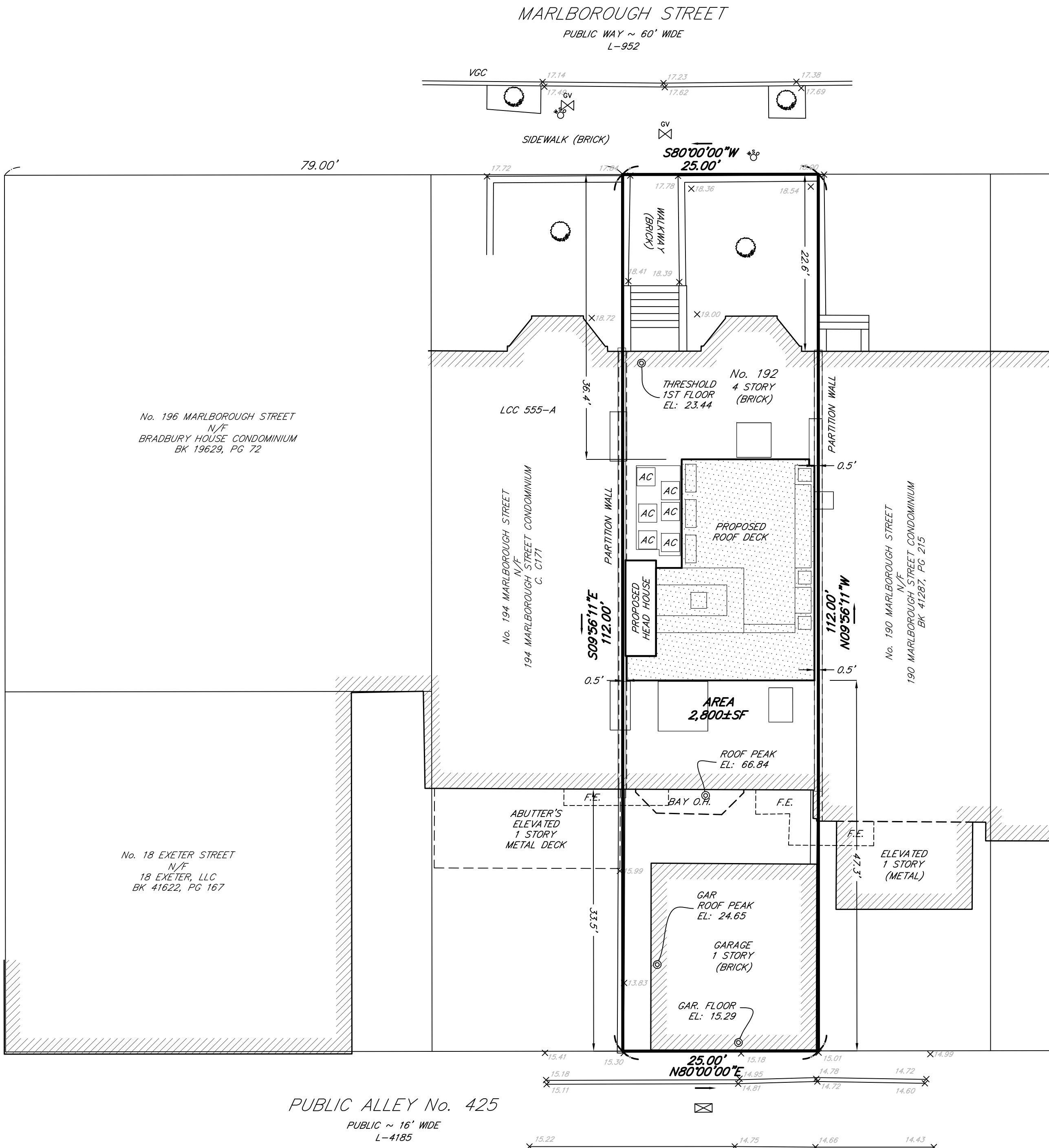
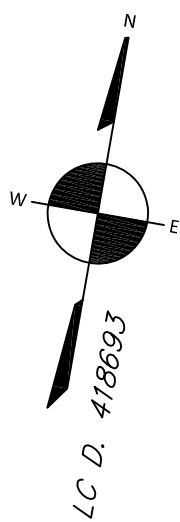
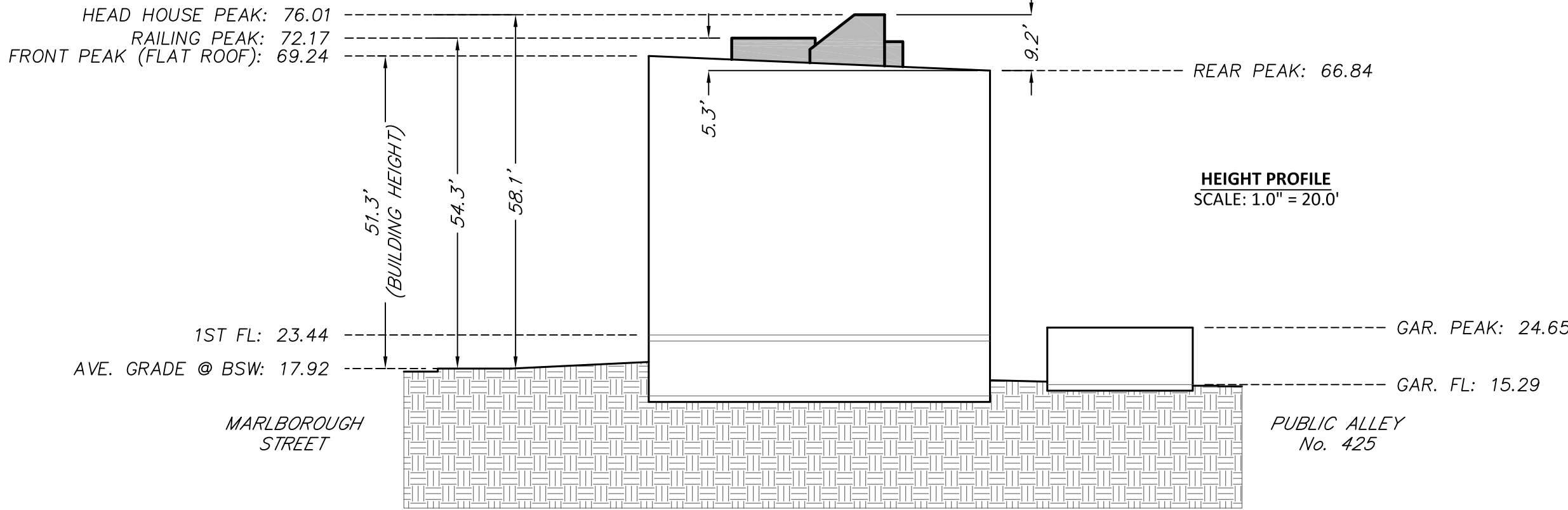
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FB 241, PGS 66-68  
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L-862  
L-952 MARLBOROUGH STREET  
L-2951 BEACON STREET  
L-4185 PUBLIC ALLEY 425  
L-9925 DARTMOUTH STREET

## PROPOSED CONDITIONS PLAN

LOCATED AT  
192 MARLBOROUGH STREET  
BOSTON, MA

DATE: OCTOBER 28, 2025 SCALE: 1.0 INCH = 10.0 FEET



I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JULY 29, 2025 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

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UNIT C-4 SHIPWAY PLACE  
CHARLESTOWN, MA 02129  
(617) 242-1313

FIELD:	JJH/TK
DRAFT:	RAP
CHECK:	GCC
DATE:	10/28/25
JOB #	25-00487



GENERAL DEMOLITION NOTES

1.

G.C. SHALL BE FULLY RESPONSIBLE FOR PROTECTING ALL EXISTING SURFACES, ITEMS, AND SYSTEMS TO REMAIN, TYPICAL THROUGHOUT. ITEMS DAMAGED BY CONSTRUCTION SHALL BE REPLACED AT G.C.'S EXPENSE.
2.

G.C. SHALL REMOVE ALL INDICATED ITEMS. G.C. SHALL DISCARD ALL REMOVED ITEMS NOT SCHEDULED TO BE REUSED, STOCKPILED, OR RETURNED TO OWNER, UNLESS NOTED OTHERWISE, TYPICAL THROUGHOUT.
3.

ALL DOORS, TRIM, ARCHITECTURAL ELEMENTS, DECORATIVE LIGHTING, AND ACCESSORIES REMOVED DURING DEMOLITION SHALL BE SAFELY STOCKPILED FOR REUSE, RELOCATION, AND/OR REINSTALLATION. DISCARD REMAINING ITEMS AS DIRECTED, COORDINATE WITH ARCHITECT PRIOR TO COMMENCEMENT OF DEMOLITION, TYPICAL THROUGHOUT.
4.

IN ALL ROOMS WHERE PLASTER IS TO BE REMOVED, G.C. SHALL CAREFULLY REMOVE ALL ADJACENT BASE TRIM, CASINGS, AND ANY OTHER MOLDINGS, AND SAVE FOR REUSE/REINSTALLATION OR DISCARD AS DIRECTED, TYPICAL THROUGHOUT.
5.

WHERE WOOD TRIM IS SCHEDULED TO TIE INTO OR REPLACE EXISTING, REMOVE REMAINING TRIM AT ENTIRE LENGTH OR RUN, AND PREPARE FOR REPLACEMENT WITH NEW TRIM TO MATCH EXISTING, UNLESS NOTED OTHERWISE, TYPICAL THROUGHOUT.
6.

G.C. SHALL REMOVE AND DISCARD ALL OBSOLETE ELECTRICAL, PLUMBING, AND HVAC WORK, INCLUDING BUT NOT LIMITED TO EQUIPMENT, CONTROLS, WIRING, PIPING, BASEBOARD RADIATORS, AND DUCTWORK, RESPECTIVELY, TYPICAL THROUGHOUT.
7.

TEMPORARY FACILITIES:

A.

G.C. SHALL PROVIDE TEMPORARY EXTERIOR TOILET FACILITIES FOR ALL WORKERS, THROUGH ALL PHASES OF THE WORK. COORDINATE LOCATION WITH OWNERS.

B.

G.C. SHALL PROVIDE HEAVY DUTY OPERABLE DUST BARRIERS AS REQUIRED TO ISOLATE CONSTRUCTION AREAS FROM LIVING AREAS. COORDINATE LOCATIONS WITH OWNER/ARCHITECT.
8.

FOR THE PURPOSES OF THIS DRAWING SET AND COMMUNICATION, ALL REFERENCES TO NORTH, SOUTH, EAST, AND WEST SHALL BE "CALLED" NORTH, SOUTH, EAST, AND WEST, WITH NORTH BEING AS INDICATED IN THE FLOOR PLANS.

GENERAL CONSTRUCTION NOTES

1.

G.C. SHALL BE FULLY RESPONSIBLE FOR COORDINATING THE WORK, SEQUENCE, AND SCHEDULE OF ALL CONSTRUCTION INCLUDING THE WORK OF THE GENERAL CONTRACTOR AND ALL SUB-TRADES. ERRORS MADE RESULTING FROM INADEQUATE COORDINATION WILL RESULT IN WORK BEING REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE, TYPICAL THROUGHOUT.
2.

UNLESS NOTED OTHERWISE, NEW AND/OR PATCHED INTERIOR WALL CONSTRUCTION SHALL BE 2x4 WOOD STUDS AT 16" O.C., WITH 1/2" GYPSUM BASE AND 1/8" SKIM COAT PLASTER IN ALL FINISHED SPACES. REFER TO NOTES BELOW FOR EXCEPTIONS AND CONDITIONS.
3.

UNLESS NOTED OTHERWISE, NEW AND/OR PATCHED CEILINGS SHALL BE 1/2" GYPSUM BASE WITH 1/8" SKIM COAT PLASTER, OVER 1x3 WOOD FURRING, PERPENDICULAR TO JOISTS. REFER TO NOTES BELOW FOR EXCEPTIONS AND CONDITIONS.
4.

UNLESS NOTED OTHERWISE, ALL NEW EXTERIOR WOOD WALL CONSTRUCTION SHALL BE 2x6 WOOD STUDS AT 16" O.C. ALL PATCHED/IN-FILLED EXTERIOR WALL CONSTRUCTION SHALL MATCH EXISTING STUD DEPTH FRAMED AT 16" O.C. AT INTERIOR FACE, PROVIDE CONTINUOUS MINIMUM CLASS II VAPOR RETARDER UNDER 1/2" GYPSUM BASE AND 1/8" SKIM COAT PLASTER FINISH. AT EXTERIOR, PROVIDE 1/2" HUBER ENGINEERED WOODS 'ZIP SYSTEM SHEATHING' WITH 'ZIP SYSTEM TAPE' AT ALL JOINTS/SEAMS, OR ARCHITECT APPROVED EQUAL. STANDING SEAM SIDING SHALL BE UNLACQUERED RED COPPER. FOR PRICING PURPOSES, ASSUME 1 1/2" TALL SEAMS SPACED AT 18" O.C. COORDINATE ACTUAL SPACING AND HEIGHT OF SEAMS WITH ARCHITECT, PRIOR TO CONSTRUCTION.
5.

UNLESS NOTED OTHERWISE, NEW AND OR PATCHED "FLAT" ROOFING SHALL BE EPDM ROOFING OVER 5/8" HUBER ENGINEERED WOODS 'ZIP SYSTEM SHEATHING', OR ARCHITECT APPROVED EQUAL. EPDM ROOFING SHALL BE A FULLY ADHERED SYSTEM INSTALLED PER MANUFACTURER'S RECOMMENDED DETAILS AND SHALL HAVE A MINIMUM 30 YEAR MANUFACTURER'S WARRANTY, CARLISLE, FIRESTONE, OR ARCHITECT APPROVED EQUAL.
6.

UNLESS NOTED OTHERWISE, NEW STANDING SEAM ROOFING ASSEMBLY SHALL BE PROFILED 2x10 RAFTERS AT 16" O.C. WITH 5/8" HUBER ENGINEERED WOODS 'ZIP SYSTEM SHEATHING', OR ARCHITECT APPROVED EQUAL. PROVIDE CONTINUOUS HIGH TEMPERATURE ICE AND WATER SHIELD OVER ENTIRE ROOF SURFACE. STANDING SEAM ROOFING SHALL BE UNLACQUERED RED COPPER. FOR PRICING PURPOSES, ASSUME 1 1/2" TALL SEAMS SPACED AT 18" O.C. COORDINATE ACTUAL SPACING AND HEIGHT OF SEAMS WITH ARCHITECT, PRIOR TO CONSTRUCTION.
7.

UNLESS NOTED OTHERWISE, THERMAL INSULATION AT ALL EXISTING EXTERIOR FRAMING EXPOSED DURING THE COURSE OF CONSTRUCTION, AND AT ALL NEW WORK, SHALL BE CLOSED CELL FOAM. INSULATION SHALL BE INSTALLED CONTINUOUSLY BETWEEN JOISTS, STUDS, AND/OR RAFTERS. AT EXISTING EXTERIOR FRAMING EXPOSED DURING THE COURSE OF CONSTRUCTION, CAVITY SHALL BE FILLED WITH NEW INSULATION. AT NEW WORK PROVIDE THE FOLLOWING MINIMUM R VALUES:

A.

R-30 – FLOORS OVER UNHEATED SPACES

B.

R-30 – EXTERIOR WALLS

C.

R-49 – ROOF FRAMING
8.

UNLESS NOTED OTHERWISE, ALL METAL FLASHING SHALL BE UNLACQUERED RED COPPER. PROVIDE CONTINUOUS FLASHING AT ALL ROOF EDGES, EXTEND FLASHING UNDERNEATH EPDM COUNTER FLASHING AND TERMINATE BOTTOM END IN DRIP EDGE. PROVIDE CONTINUOUS FLASHING AT ALL INTERSECTIONS OF ROOF AND EXTERIOR WALLS. TOP END OF FLASHING SHALL TIE INTO STANDING SEAM SIDING, BOTTOM END SHALL EXTEND OUT OVER THE TOP OF EPDM ROOFING AND UNDERNEATH EPDM COUNTER FLASHING. COORDINATE ALL INTERSECTIONS OF FLASHING WITH EPDM ROOFING MANUFACTURER'S RECOMMENDED DETAILS AND ARCHITECT PRIOR TO CONSTRUCTION.
9.

ALL NEW SUBFLOORING SHALL BE 3/4" HUBER ENGINEERED WOODS 'ADVANTECH', GLUED AND SCREWED TO FRAMING, TYPICAL THROUGHOUT.
10.

UNLESS NOTED OTHERWISE, ALL ROUGH FRAMING/BLOCKING THAT IS IN CONTACT WITH MASONRY, CONCRETE, OR SUBJECT TO MOISTURE SHALL BE PRESSURE TREATED LUMBER, TYPICAL.
11.

UNLESS NOTED OTHERWISE, ALL EXTERIOR TRIM BOARDS, MOLDINGS, FASCIA, AND WOOD RAILING COMPONENTS, SHALL BE RED CEDAR AND SHALL BE BACKPRIMED, INCLUDING ENDS AND CUTS, ACCORDING TO MANUFACTURER'S SPECIFICATIONS. ALL LOCATIONS WHERE TRIM MAY BE SUBJECT TO STANDING WATER SHALL BE 'AZEK' OR ARCHITECT APPROVED EQUAL, COORDINATE ALL LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION. COORDINATE PAINT COLORS WITH OWNER AND ARCHITECT.
12.

IN ALL CASES, WITHOUT EXCEPTION, INCLUDING THE ABOVE ASSEMBLIES, ALL WORK AND FINISHES SHALL BE FURRED OUT AS REQUIRED TO BE IN PLANE WITH ADJACENT AND/OR ABUTTING SURFACES. ALL SURFACES SHALL BE CONTINUOUS, WITH NO VISIBLE SEAMS OR JOINTS, TYPICAL THROUGHOUT THE WORK.
13.

REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING REQUIREMENTS AND SPECIFICATIONS.
14.

TEMPORARY FACILITIES

A.

G.C. SHALL PROVIDE TEMPORARY EXTERIOR TOILET FACILITIES FOR ALL WORKERS, THROUGH ALL PHASES OF THE WORK. COORDINATE LOCATION WITH OWNERS.

B.

G.C. SHALL PROVIDE HEAVY DUTY OPERABLE DUST BARRIERS AS REQUIRED TO ISOLATE CONSTRUCTION AREAS FROM LIVING AREAS. COORDINATE LOCATIONS WITH OWNER/ARCHITECT.
15.

FOR ANY WORK WHERE THERE WILL BE AN ADDITIONAL COST TO THE OWNER, G.C. SHALL NOT PROCEED UNTIL A FORMAL CHANGE ORDER IS APPROVED BY THE OWNER AND THE ARCHITECT.
16.

FOR THE PURPOSES OF THIS DRAWING SET AND COMMUNICATION, ALL REFERENCES TO NORTH, SOUTH, EAST, AND WEST SHALL BE "CALLED" NORTH, SOUTH, EAST, AND WEST, WITH NORTH BEING AS INDICATED IN THE FLOOR PLANS.

DRAWING LEGEND

EXISTING DOOR TO REMAIN

NEW DOOR TO MATCH EXISTING

EXISTING WALL TO BE REMOVED

EXISTING TO BE REMOVED

FLOOR PLAN DIMENSIONS ARE TO FACE OF STUD OR CONCRETE, TYPICAL, UNLESS NOTED OTHERWISE.

EXISTING WALL TO REMAIN

NEW WALL

CLOSET POLE/SHELF

SOFFIT ABOVE

HIDDEN BELOW

N

SCALE IN FEET

0

1

2

3

4

5

10

15

20

30

DEMOLITION SCOPE NOTES

1.

REMOVE/DISCARD ROOFING MEMBRANE AND SHEATHING AS REQUIRED TO ACCOMMODATE THE WORK.

2.

REMOVE/DISCARD OPERABLE SKYLIGHT AND ASSOCIATED TRACK.

3.

REMOVE/RELOCATE DUCTWORK AND PIPING AS REQUIRED TO ACCOMMODATE THE WORK. COORDINATE WITH ARCHITECT PRIOR TO DEMOLITION.

4.

MODIFY EXISTING STAIR AND OPENING AS REQUIRED TO ACCOMMODATE THE WORK.

CONSTRUCTION SCOPE NOTES

1.

PROVIDE/INSTALL NEW MEMBRANE ROOFING AND SHEATHING INDICATED.

2.

PROVIDE/INSTALL NEW HEADHOUSE INDICATED.

3.

PROVIDE/INSTALL DECKING, STEPS, BENCHES, AND PLANTERS ON P.T. FRAMING INDICATED.

4.

PROVIDE/INSTALL CUSTOM DECORATIVE METAL RAILING INDICATED.

5.

PROVIDE/INSTALL SCHEDULED WINDOW AND PATIO DOOR.

WINDOW/PATIO DOOR SCHEDULE

KEY	FRAME WIDTH	FRAME HEIGHT	MODEL NUMBER	LITES	NOTES
(A)	3'-4"	3'-8 1/16"	UAWN 4044	1	
(B)	2'-7 7/16"	6'-10"	UOPDG2 2666	1	

GENERAL WINDOW NOTES

1.

G.C. SHALL VERIFY ALL QUANTITIES, SWINGS, DIMENSIONS, AND ROUGH OPENING REQUIREMENTS AND CLEARANCES.

2.

UNLESS NOTED OTHERWISE, ALL WINDOWS SHALL MARVIN WINDOWS AND SHALL HAVE THE FOLLOWING:

A.

DOUBLE PANED, LOW-E, INSULATED GLASS.

B.

MILL FINISH SPACER BARS.

C.

OUTSIDE OF ALL WINDOW SASHES AND FRAMES SHALL BE CLAD, ASSUME STANDARD COLOR. ACTUAL COLOR SHALL BE SELECTED BY OWNER. INSIDE OF ALL WINDOW SASHES AND FRAMES SHALL BE FACTORY PRIMED WOOD.

D.

ALL WINDOWS SHALL HAVE EXTENSION JAMBS, U.N.O.

E.

INTERIOR WOOD SCREENS, CLAD EXTERIOR SCREENS.

3.

WINDOWS SHALL HAVE MIN. TWO (2) 2x6 HEADERS WITH MIN. 4" BEARING ON EACH SIDE.

4.

HARDWARE FINISH SHALL BE SELECTED BY OWNER. PROVIDE FULL RANGE OF OPTIONS FOR OWNER APPROVAL

5.

ALL WINDOWS LOCATED AT WINDOWS SEATS, TUB DECKS, AND ALL WINDOWS WITHIN A 24" ARC OF ANY DOOR EDGE SHALL BE TEMPERED GLASS. G.C. SHALL COORDINATE ANY ADDITIONAL LOCATIONS WHERE TEMPERED GLASS IS REQUIRED BY CODE.

6.

ALL WINDOWS INCLUDING OVAL AND ROUND WINDOWS SHALL RECEIVE PROPER HEAD AND BILL FLASHING ACCORDING TO BEST CONSTRUCTION STANDARDS. FLASHING SHALL BE LEAD COATED COPPER OR UNLACQUERED RED COPPER.

7.

ALL REFERENCED WINDOW HEAD HEIGHTS ARE FROM FINISHED FLOOR TO UNDERSIDE OF FINISHED HEAD OF INTERIOR WINDOW FRAME AND SHALL BE CONSISTENT PER ROOM, TYPICAL THROUGHOUT, U.N.O.

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	N.I.C.	NOT IN CONTRACT
ADD.	ADDENDUM	N.T.S.	NOT TO SCALE
ADJ.	ADJUSTABLE	O.U.	OVERALL
AFF	ABOVE FINISHED FLOOR	O.C.	ON CENTER
A&M	ANDERSON & MCQUAID	OPP.	OPPOSITE
APPROX.	APPROXIMATELY	PDR.	POWDER
AVG.	AVERAGE	PR.	PAIR
BAL.	BALANCE	PREP.	PREPARE
BIT.	BITUMINOUS	P.T.	PRESSURE TREATED
BLDG.	BUILDING	R	RADIUS
CATV	CABLE TELEVISION	RCP	REFLECTED CEILING PLAN
CDX	EXTERIOR GRADE PLYWOOD	RD	REFRIGERATOR DRAWER
C.L.	CENTERLINE	REF.	REFRIGERATOR
CONT.	CONTINUED	R.H.	RIGHT HAND
COORD.	COORDINATE	R.	ROOM
D	DRYER	RO	ROUGH OPENING
DEMO	DEMOLITION	SF	SQUARE FOOT
D.H.	DOUBLE HANGING	SH.	SHELVING
DIA.	DIAMETER	S.H.	SINGLE HANGING
DN	DOWN	SIM.	SIMILAR
D.R.	DRYING RACK	SPEC.	SPECIFICATIONS
DR.	DRAWERS	STDL	SIMULATED TRUE DIVIDED LITE
DW	DISHWASHER	STOR.	STORAGE
E.F.	EXTERIOR FRAMING	SY	SQUARE YARD
ELEV.	ELEVATION	T.C.	TRASH COMPACTOR
EQ.	EQUAL	TDL	TRUE DIVIDED LITE
EX.	EXISTING	TEMP.	TEMPORARY
FO	FRAME OPENING	THK.	THICK
FURN.	FURNACE	TME	TO MATCH EXISTING
GFI	GROUND FAULT INTERRUPT	TV	TELEVISION
G.C.	GENERAL CONTRACTOR	TYP.	TYPICAL
GWB	GYPSUM BASE	UNO	UNLESS NOTED OTHERWISE
HR.	HOUR	UNO	UNLESS OTHERWISE NOTED
HVAC	HEATING VENTILATION & AIR CONDITIONING	VAC.	VACUUM
INFO.	INFORMATION	VEN.	VENEER
L.H.	LEFT HAND	VEST.	VESTIBULE
L.F.	LINEAR FOOT	V.I.F.	VERIFY IN FIELD
LIN.	LINEN	W	WASHING MACHINE
VAX.	VAXIUM	W.C.	WATER CLOSET
VDF	MEDIUM DENSITY FIBERBOARD	WD	WARMING DRAWER
VDO	MEDIUM DENSITY OVERLAY	WD	WASHER / DRYER
V.E.P.	MECHANICAL / ELECTRICAL / PLUMBING	W	WITH
MIN.	MINIMUM	WH	WATER HEATER
MO	MASONRY OPENING	WO.	WALL OVEN
M.O.	MICROWAVE OVEN	W/O	WITHOUT
		YD.	YARD

SYMBOL LEGEND

<div># A# # #</div>	ELEVATION KEY	<div>FLOOR ELEV. #'-#"</div>	FLOOR LEVEL
<div># A# # #</div>	SECTION KEY	<div># # # ROOM</div>	ROOM KEY
<div># A# # #</div>	DETAIL KEY	<div>#</div>	DOOR KEY
<div># A# # #</div>	INTERIOR ELEVATION KEY	<div>#</div>	WINDOW KEY
<div># A# # #</div>	INTERIOR ELEVATION KEY	<div>+#'-#"</div>	CEILING HEIGHT
<div># A# # #</div>	INTERIOR ELEVATION KEY	<div>#</div>	REVISION KEY
<div># A# # #</div>	INTERIOR ELEVATION KEY	<div>↗</div>	BREAK LINE

Oak Hill  
ARCHITECTS

ARCHITECTURE & INTERIORS

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Weston, Massachusetts 02493  
www.oakhillarchitects.com

PROJECT

The Monroe  
Residence  
192 Marlborough Street  
Boston, Massachusetts

GENERAL NOTES

The following notes apply to all work of the General Contractor and all sub-trades, typical throughout.

A. All work performed shall be in full compliance with all applicable Local, State, National, Life Safety, and Energy Codes.

B. General Contractor shall be responsible for obtaining all Permits, Inspections, and Sign-offs as required to complete the scope of work indicated in the Construction Drawings and Specifications.

C. General Contractor shall be responsible for coordinating the work of all trades, including, but not limited to: sequencing of work; proper clearances; dimensional requirements; and design intent.

D. Prior to commencing construction, General Contractor shall lay out the entire work in the field to verify all existing conditions and dimensional requirements. Any conflict, discrepancy, or apparent error in the drawings, existing conditions, and/or the specifying of a product, material; or means of assembly, shall be immediately pointed out to the Architect. Failure to verify all conditions and coordinate all work will result in replacement of incorrect items at the General Contractor's expense.

E. Drawings shall not be scaled for sizes or dimensions. Architect and Owner assume no responsibility for the use of incorrect scales.

F. For all drawings, specifications, and information contained therein, Oak Hill Architects, Inc. reserves all common law, statutory, and other reserved rights, including copyrights.

REGISTRATION

SUBMISSIONS / REVISIONS

Progress

August 29, 2025 - Not For Construction

SHEET TITLE

Roof Plan

DRAWN JW

CHECKED AR

PROJECT NUMBER 241209

DATE 01/28/25

SHEET

A101

J:\01\N.WELL\_08/29/2025\_P1932\_MARLBOROUGH STREET\DRAWINGS\02\_DESIGN\DEVELOPMENT\A101 - ROOF PLAN.rvt



ARCHITECTURE & INTERIORS

781.899.1530 T 781.899.1580 F  
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Progress

August 29, 2025 - Not For Construction

SHEET TITLE

Sections

DRAWN JW

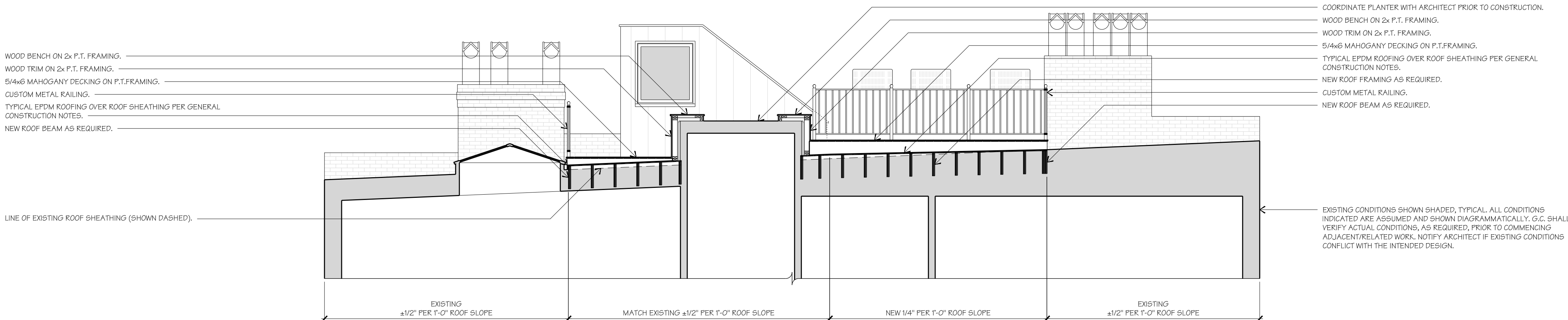
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PROJECT NUMBER 241209

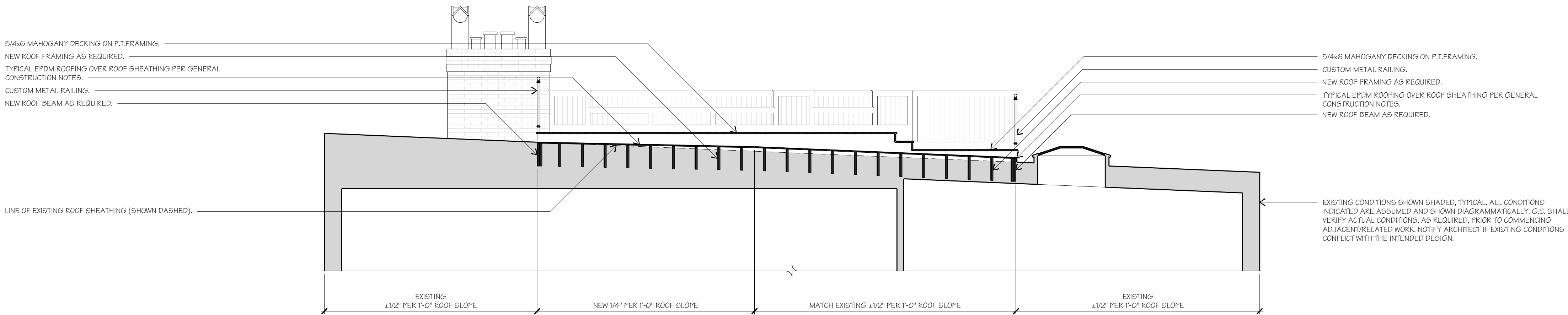
DATE 01/28/25

SHEET

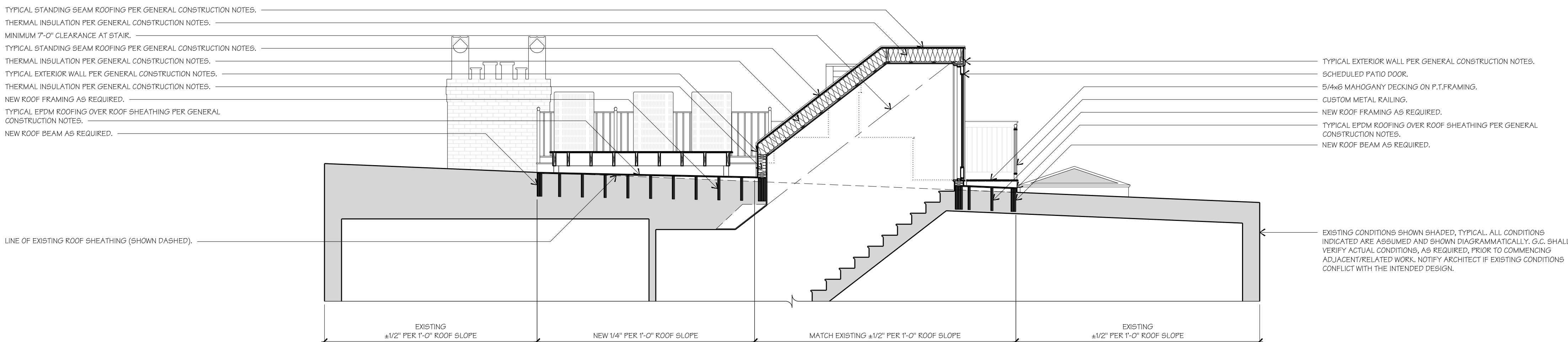
A500



1 SECTION  
A500 SCALE: 1/4"=1'-0"



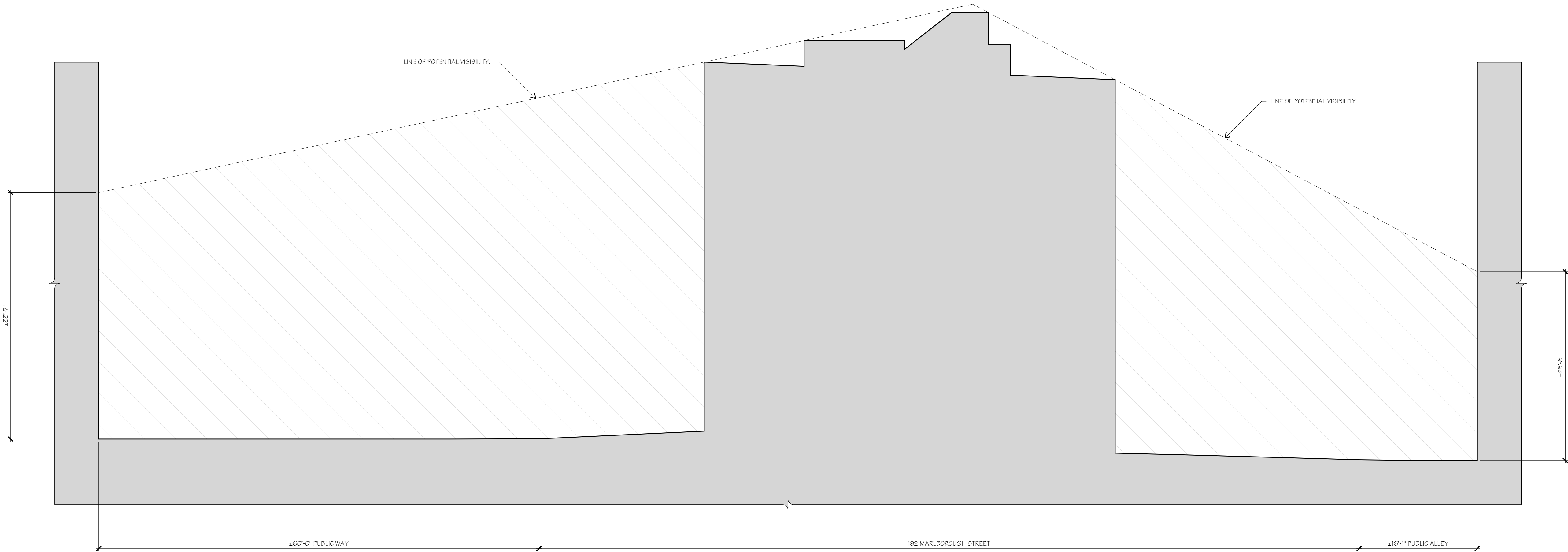
2 SECTION  
A500 SCALE: 1/4"=1'-0"



3 SECTION  
A500 SCALE: 1/4"=1'-0"



JUSTIN WELI, 11/10/2025, P:\192 MARLBOROUGH STREET\DRAWINGS\03\_DESIGN\DEVELOPMENT\251110 VIEW DIAGRAM\251110 VIEW DIAGRAM.DWG



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GENERAL NOTES

The following notes apply to all work of the General Contractor and all sub-trades, typical throughout.

A. All work performed shall be in full compliance with all applicable Local, State, National, Life Safety, and Energy Codes.

B. General Contractor shall be responsible for obtaining all Permits, Inspections, and Sign-offs as required to complete the scope of work indicated in the Construction Drawings and Specifications.

C. General Contractor shall be responsible for coordinating the work of all trades, including, but not limited to: sequencing of work; proper clearances; dimensional requirements; and design intent.

D. Prior to commencing construction, General Contractor shall lay out the entire work in the field to verify all existing conditions and dimensional requirements. Any conflict, discrepancy, or apparent error in the drawings, existing conditions, and/or the specifying of a product, material; or means of assembly, shall be immediately pointed out to the Architect. Failure to verify all conditions and coordinate all work will result in replacement of incorrect items at the General Contractor's expense.

E. Drawings shall not be scaled for sizes or dimensions. Architect and Owner assume no responsibility for the use of incorrect scales.

F. For all drawings, specifications, and information contained therein, Oak Hill Architects, Inc. reserves all common law, statutory, and other reserved rights, including copyrights.

REGISTRATION

SUBMISSIONS / REVISIONS

BBAC Submission

November 10, 2025 - Not For Construction

SHEET TITLE

Proposed Visibility  
Diagram

DRAWN JW

CHECKED AR

PROJECT NUMBER 241209

DATE 01/28/25

SHEET

A500