

# The Learning Project

*Proposed Expansion at  
263 Clarendon Street*  
BBAC Submission  
12/22/2025





# Scope Overview

**Scope with BBAC Pervue:**

1.

New Accessible Entry
2.

New Openings at Rear Yard and Rear Mansard Roof
3.

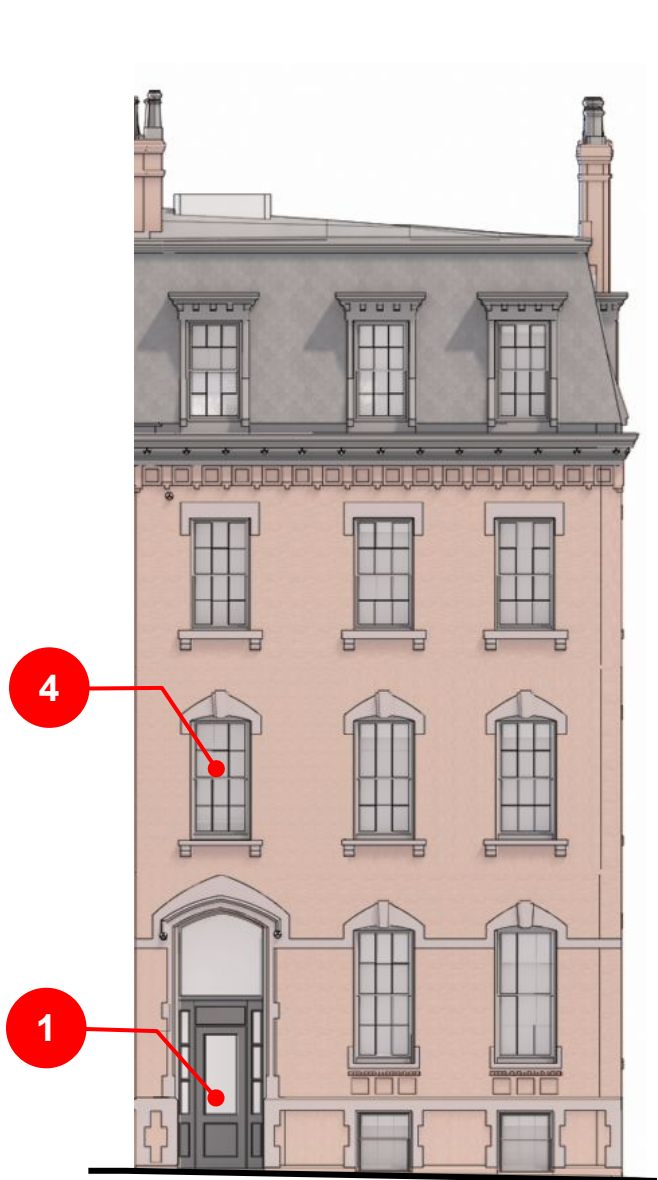
Rear Yard Fence and Steps
4.

Exterior Window Replacements
5.

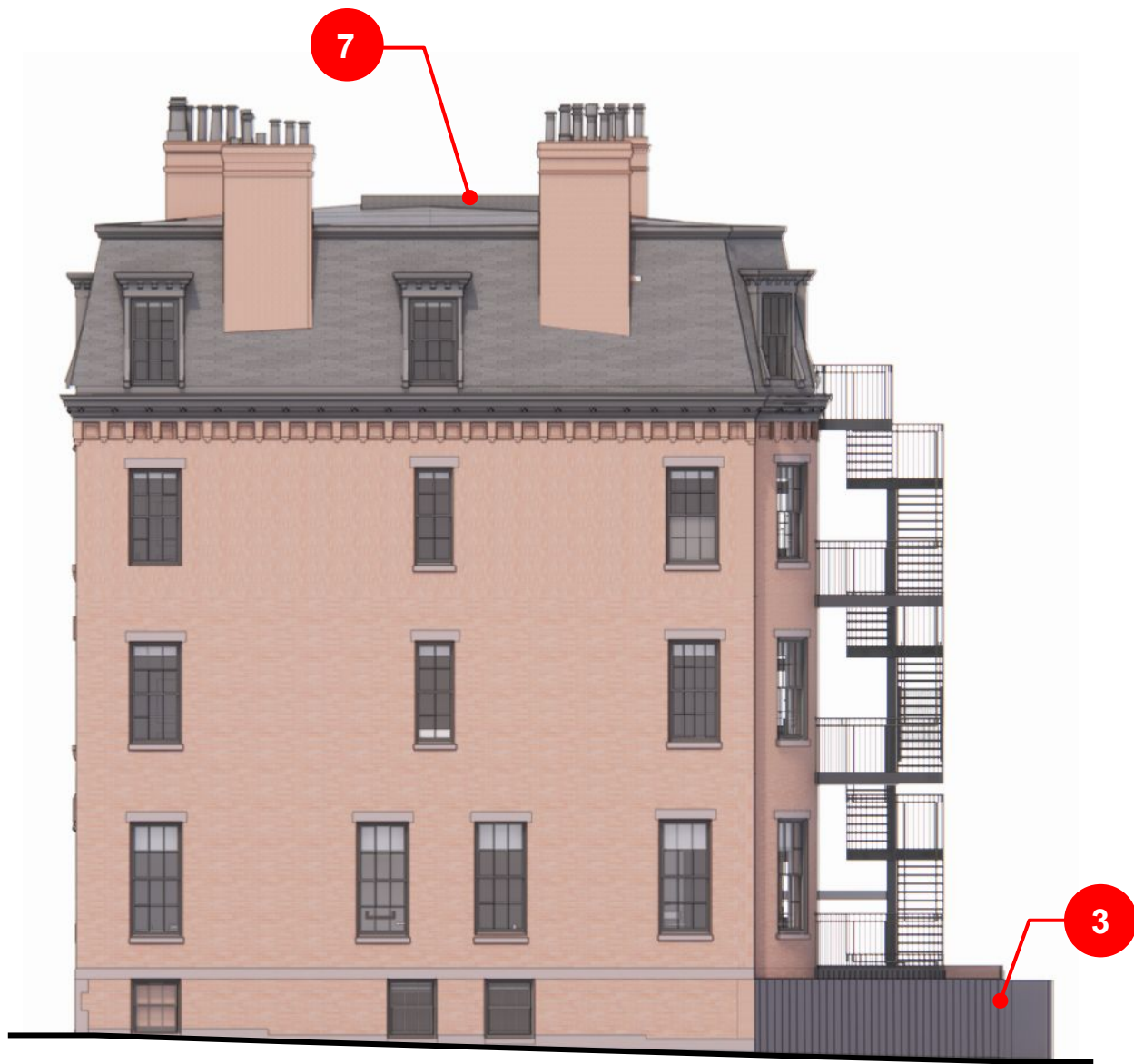
Exterior Stair with egress doors from each level
6.

Small addition within rear yard
7.

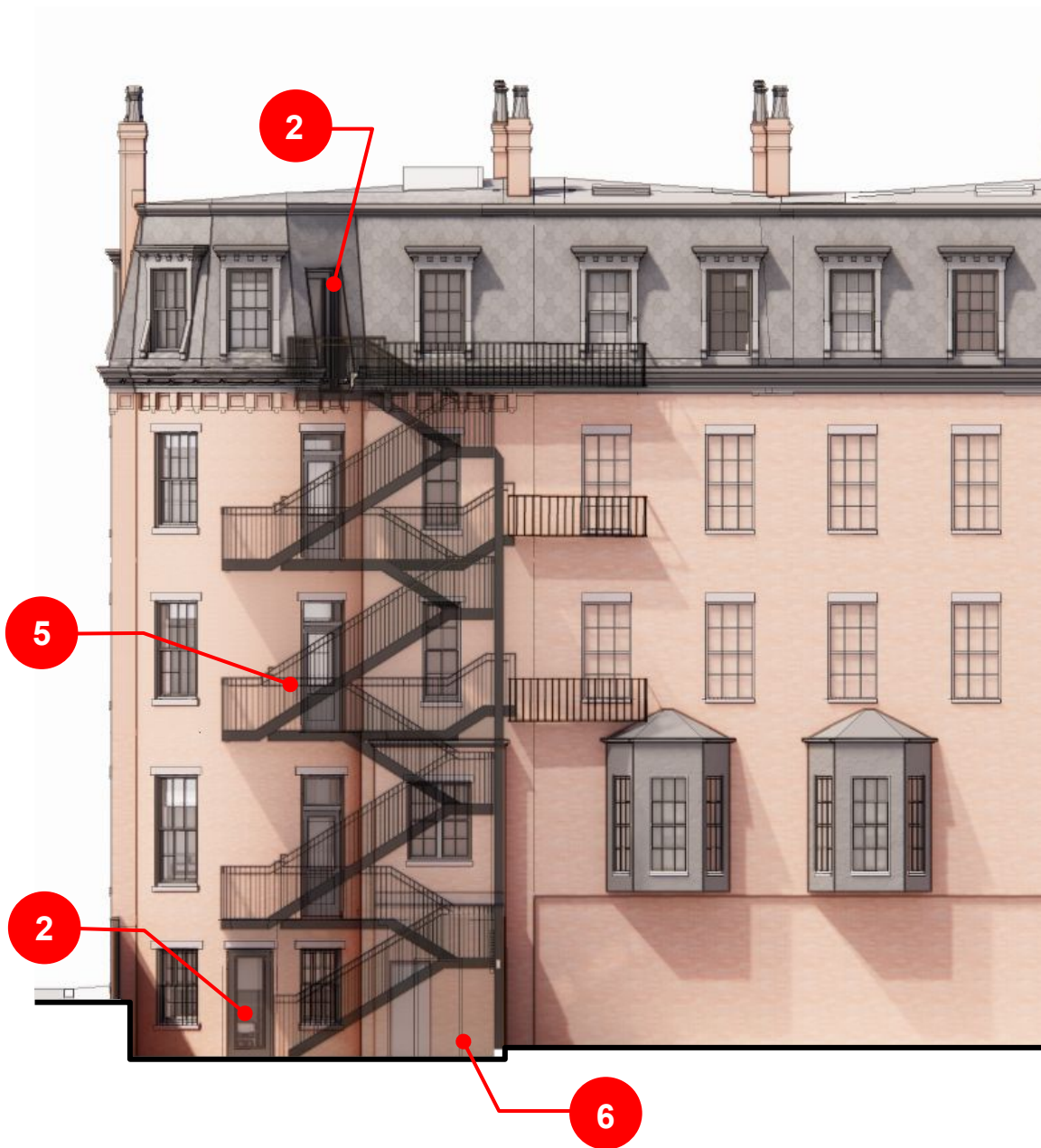
Rooftop Elements; Skylight and Air Intakes



View from Clarendon Street



View from Side Alley



View from Back Alley

1

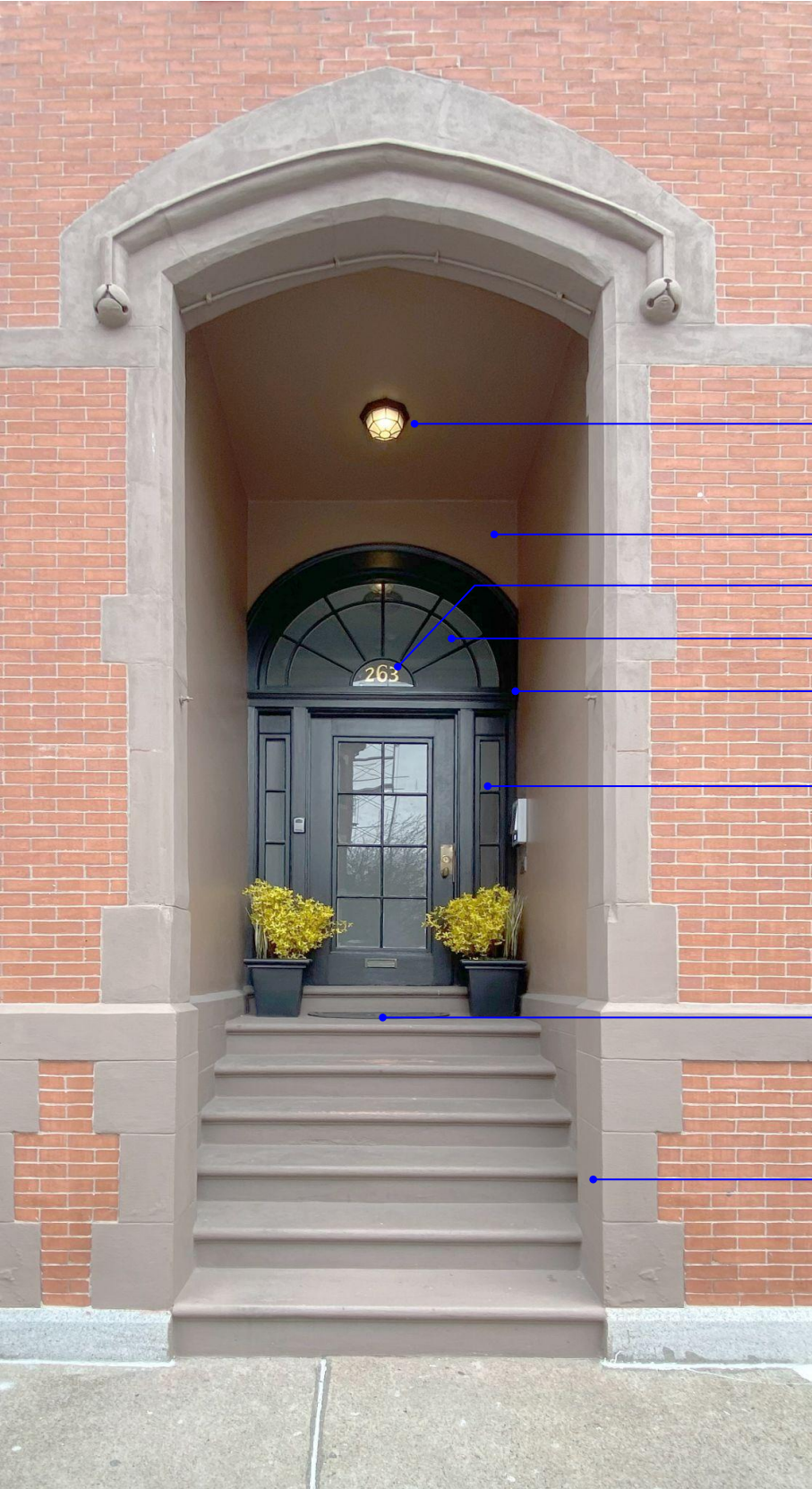
# New Accessible Entry

263 Clarendon



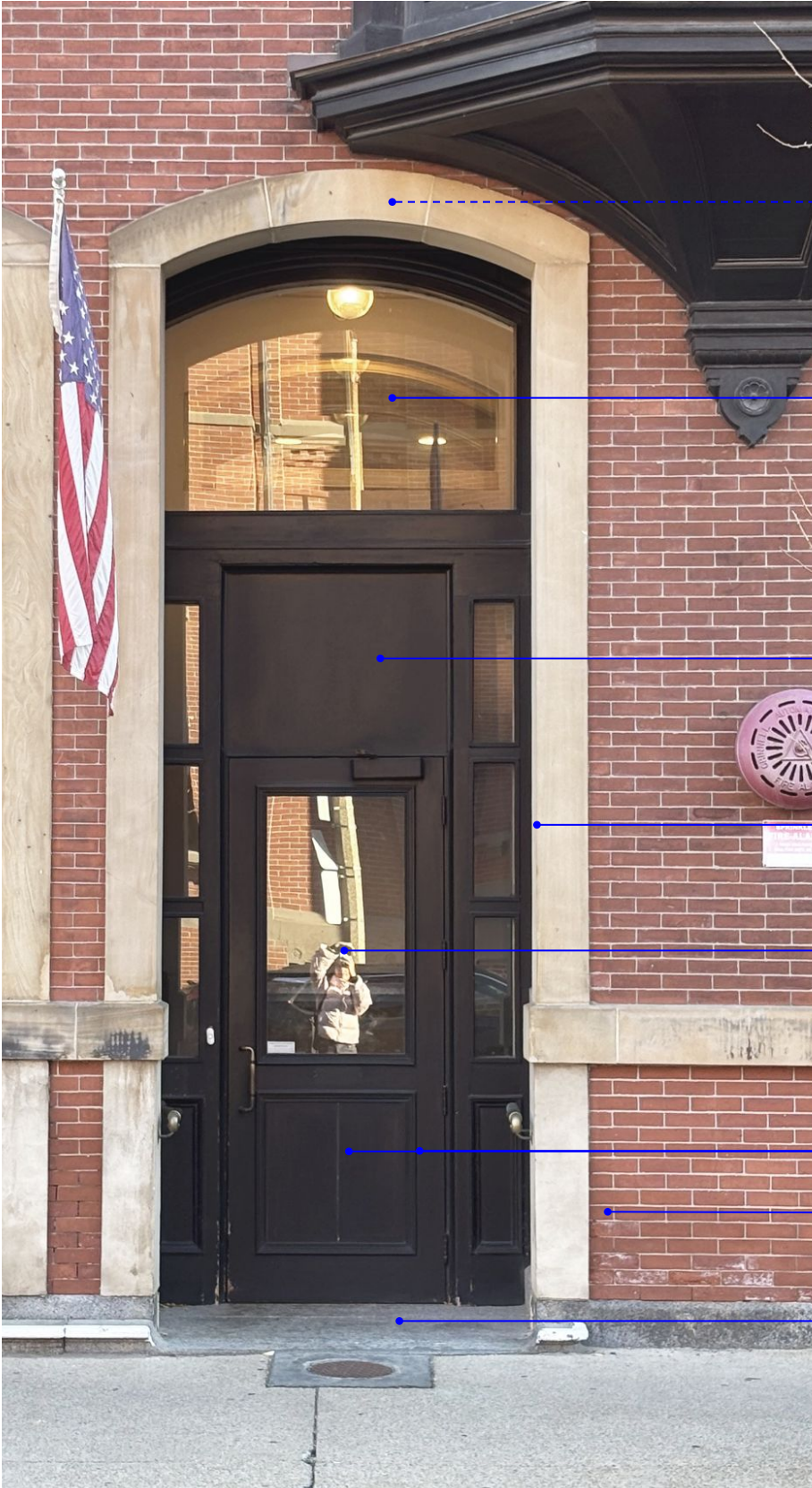
# Entry Condition

263 Clarendon Street - Existing



- Entry Lighting
- Stucco Alcove
- Brass Address Lettering
- Glass Transom
- Door Sash
- Door Sidelite
- Masonry Stoop
- Masonry Quoin Corners

275 Clarendon Street - BBAC Recommendation



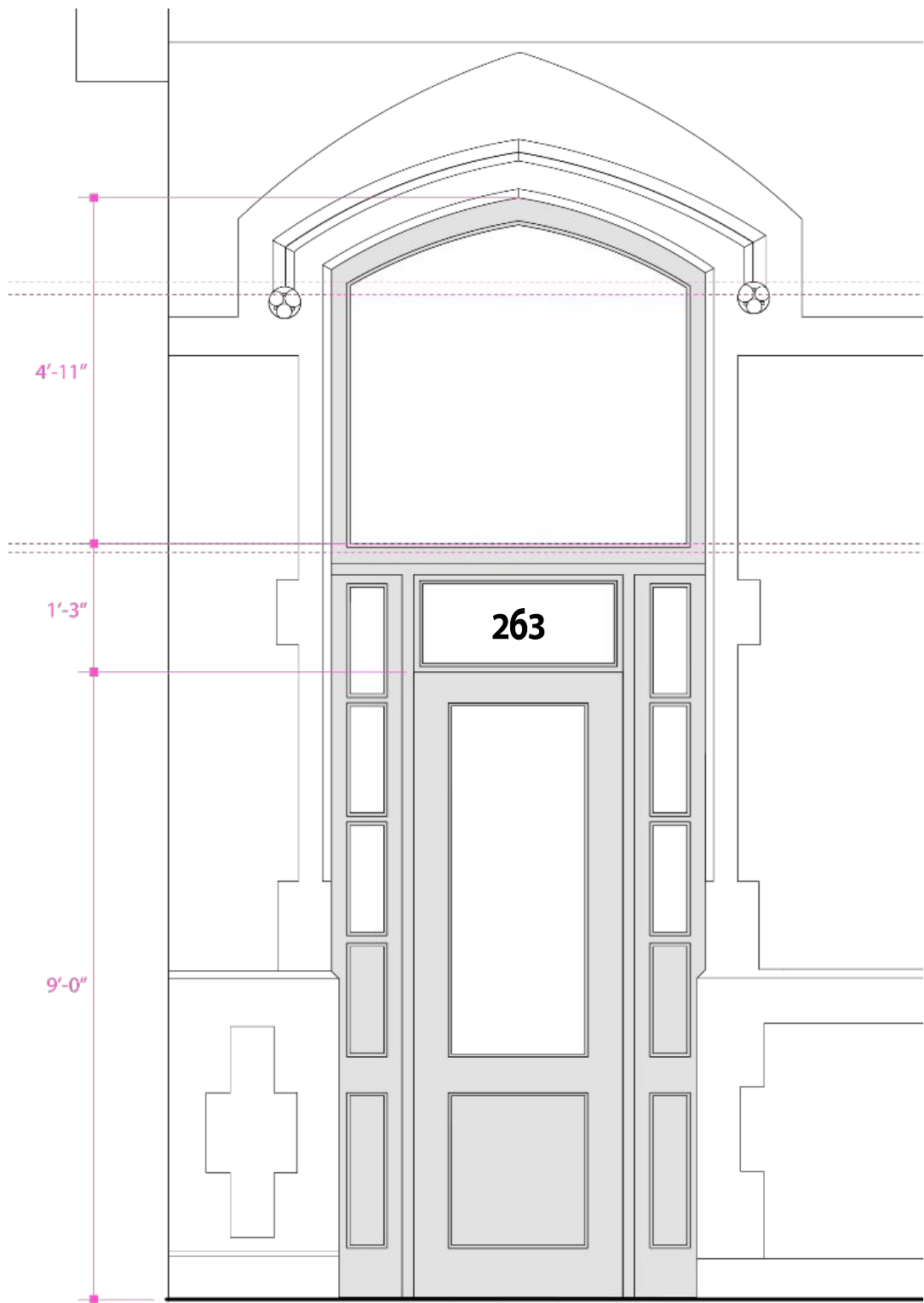
- Recessed Entry Lighting
- Glass Transom
- Solid Transom
- Door Sidelite
- Glass Panel
- Panels
- Masonry Quoin Corners
- Masonry Threshold

This project was presented to the BBAC for advisory review on Jan 8, 2025.

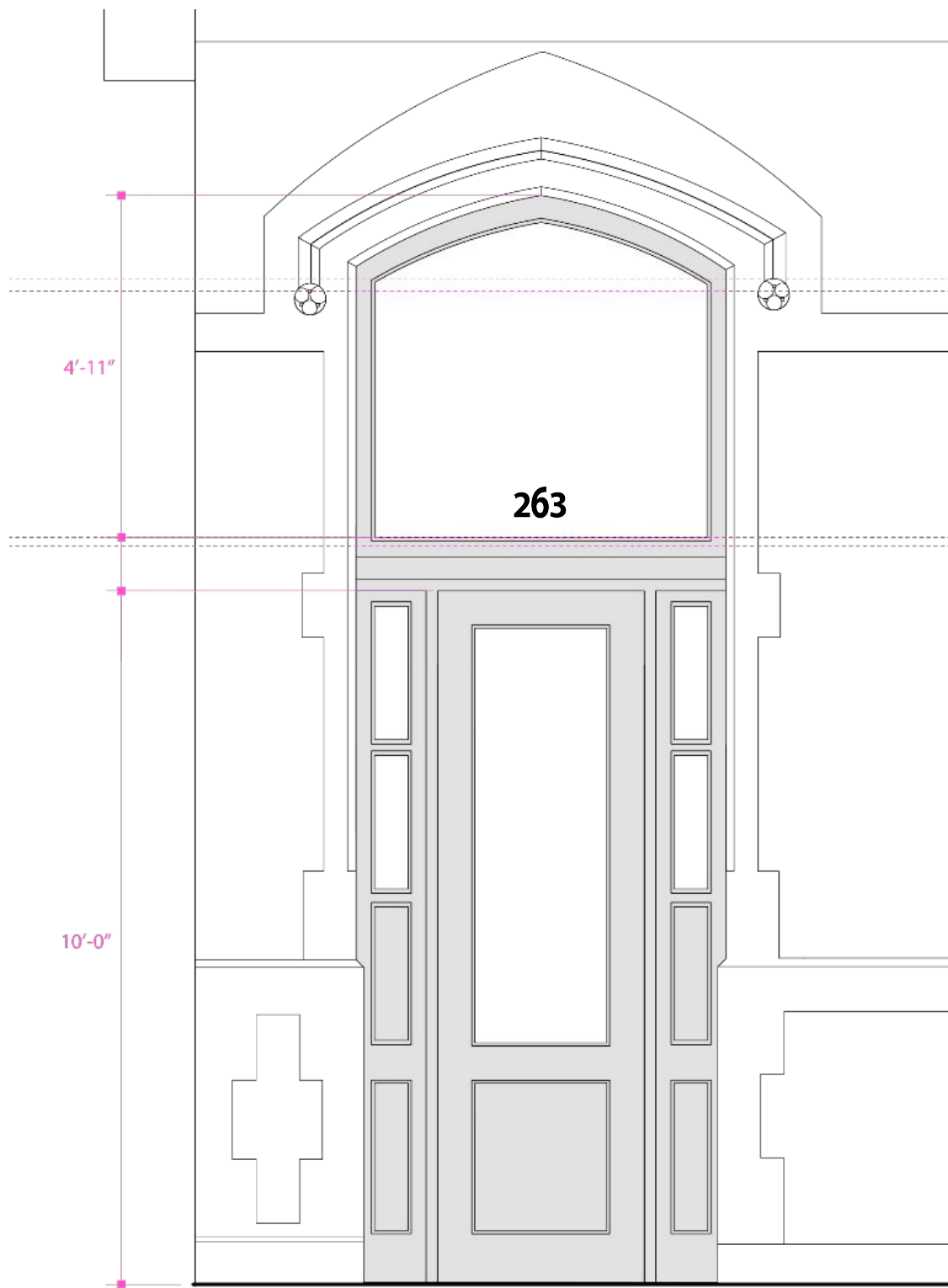
The BBAC recommended that 263 Clarendon matches the design of **275 Clarendon**



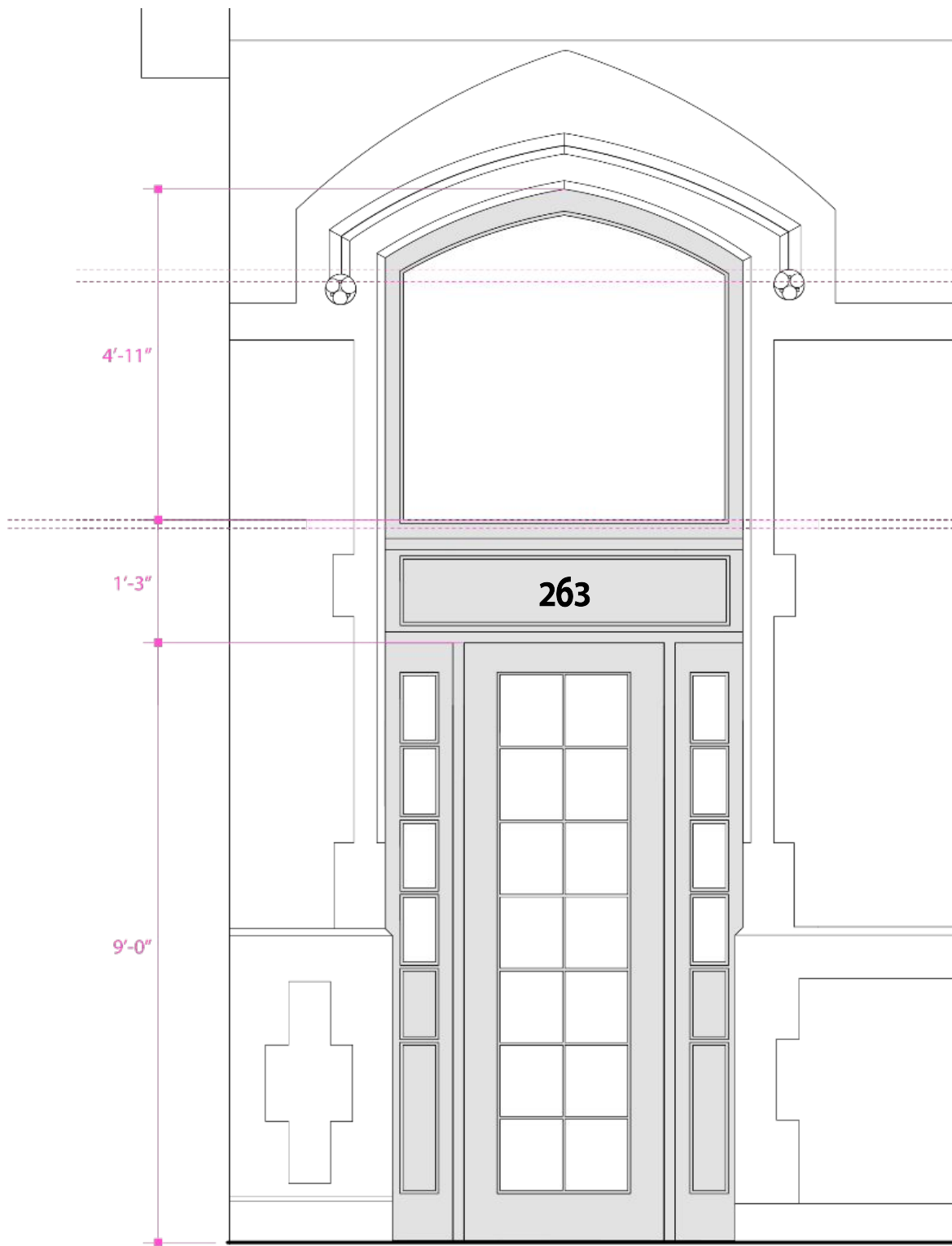
# Entry Condition



Option 1 - 9'-0" Door



Option 2 - 10'-0" Door

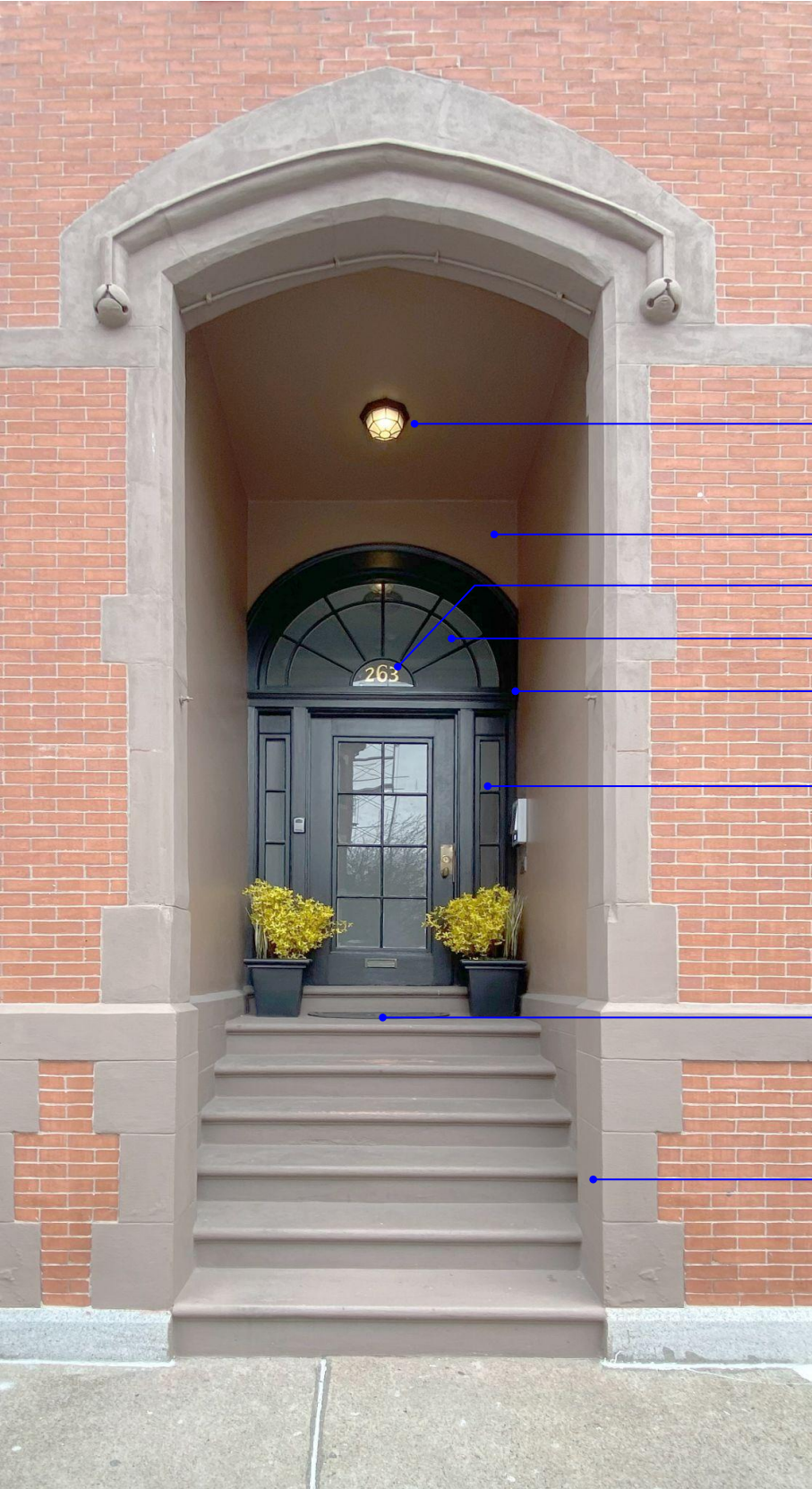


Option 3 - 9'-0" Door



# Existing Condition

Option 1 - 9'-0" Door (Utile preferred)



- Entry Lighting
- Stucco Alcove
- Brass Address Lettering
- Glass Transom
- Door Sash
- Door Sidelite
- Masonry Stoop
- Masonry Quoin Corners



Proposed Entry Design (Option 1)



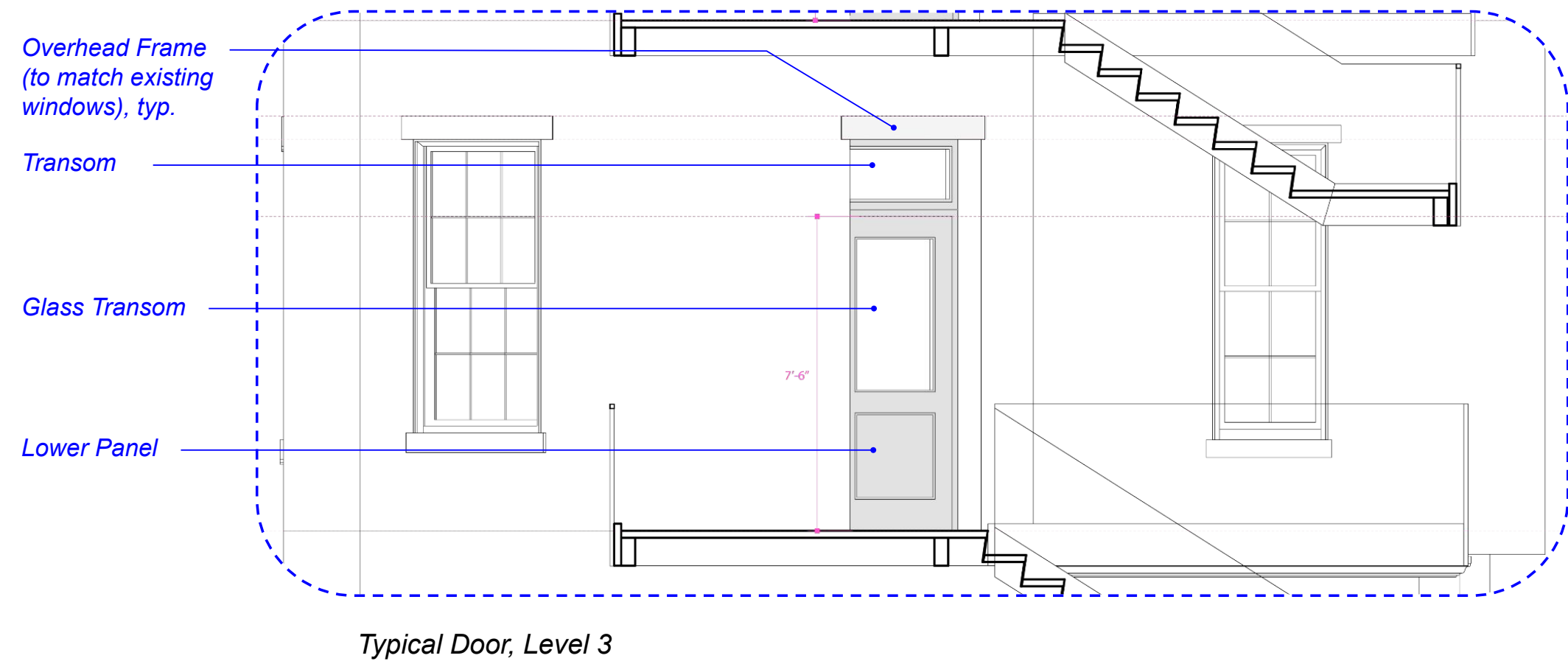
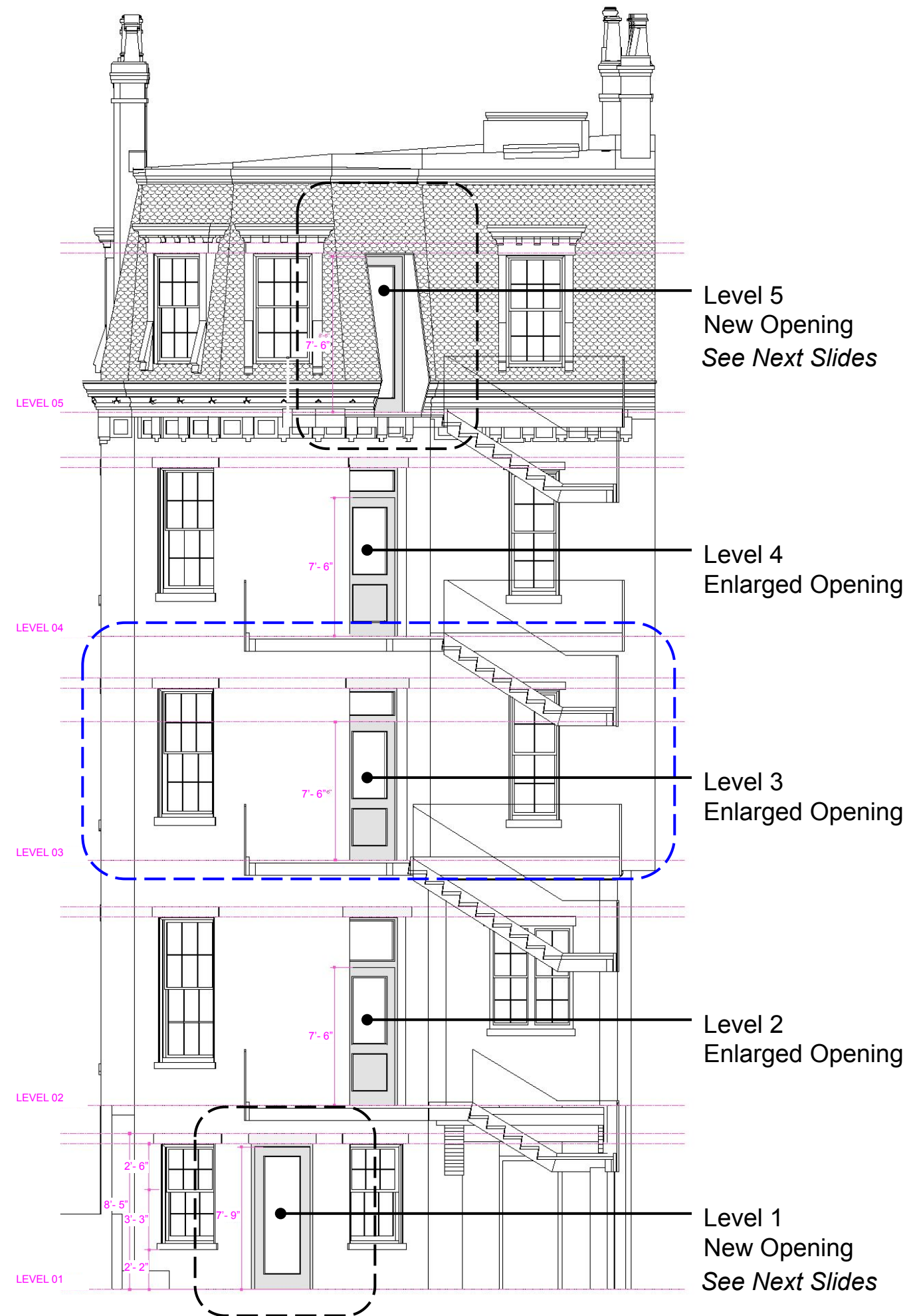
2

# New Rear Doors

263 Clarendon

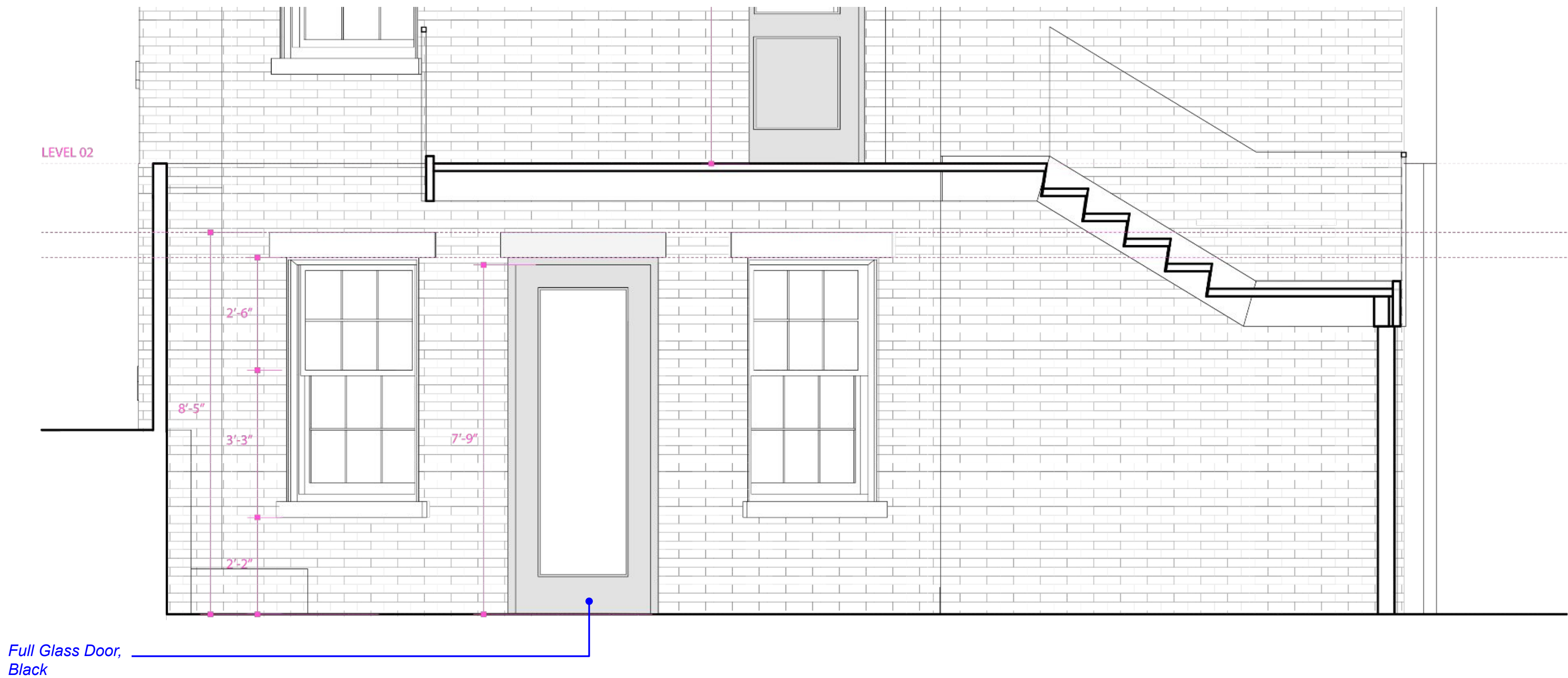


# Rear Doors





# Rear Doors - Level 01





# Rear Doors - Level 01





# Level 05 Roof - Existing



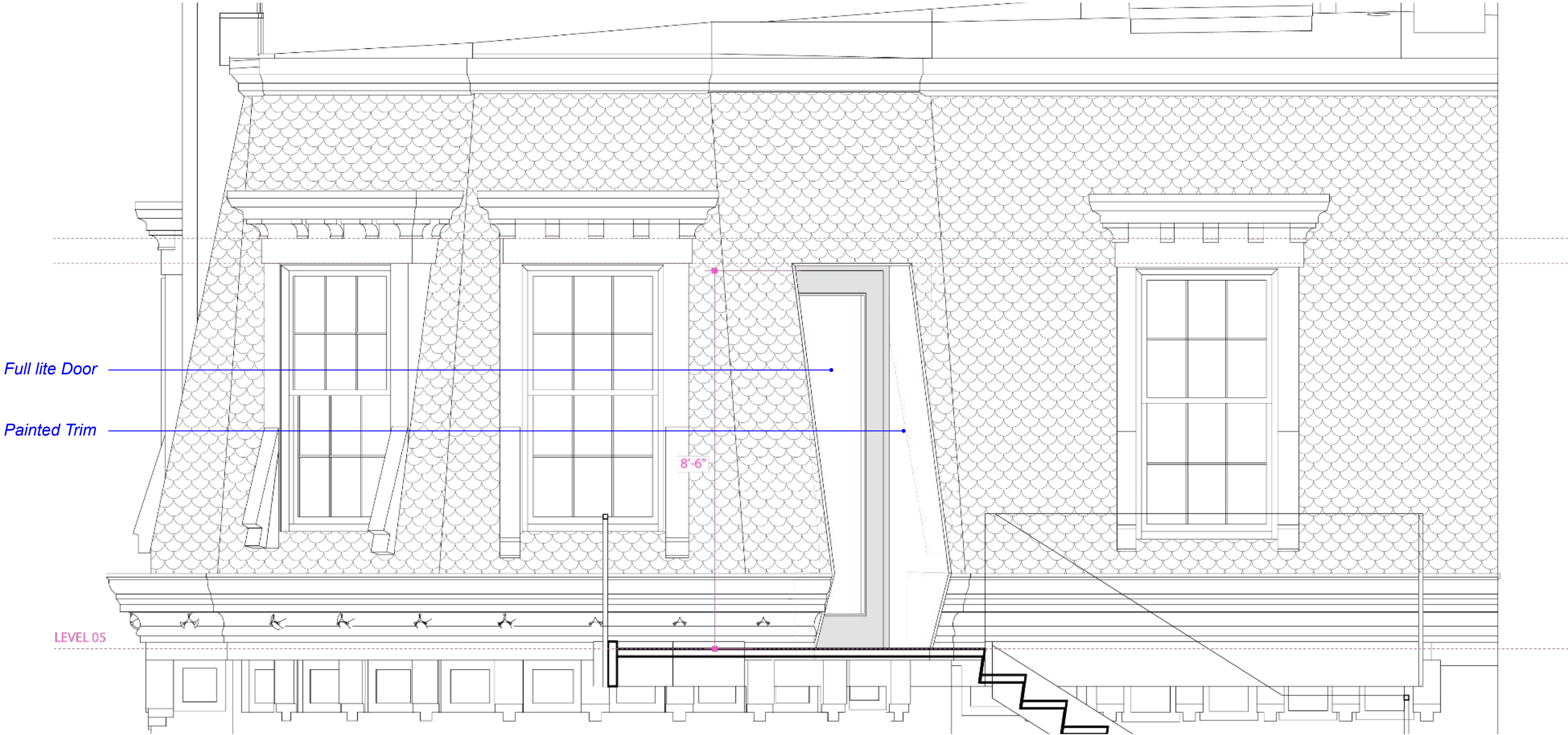


# Rear Doors - Level 05 - Option 1, New Dormer





# Rear Doors - Level 05 - Option 2, Minimal Opening





# Rear Doors - Level 05 - Option 2, Minimal Opening





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# Rear Fence and Steps

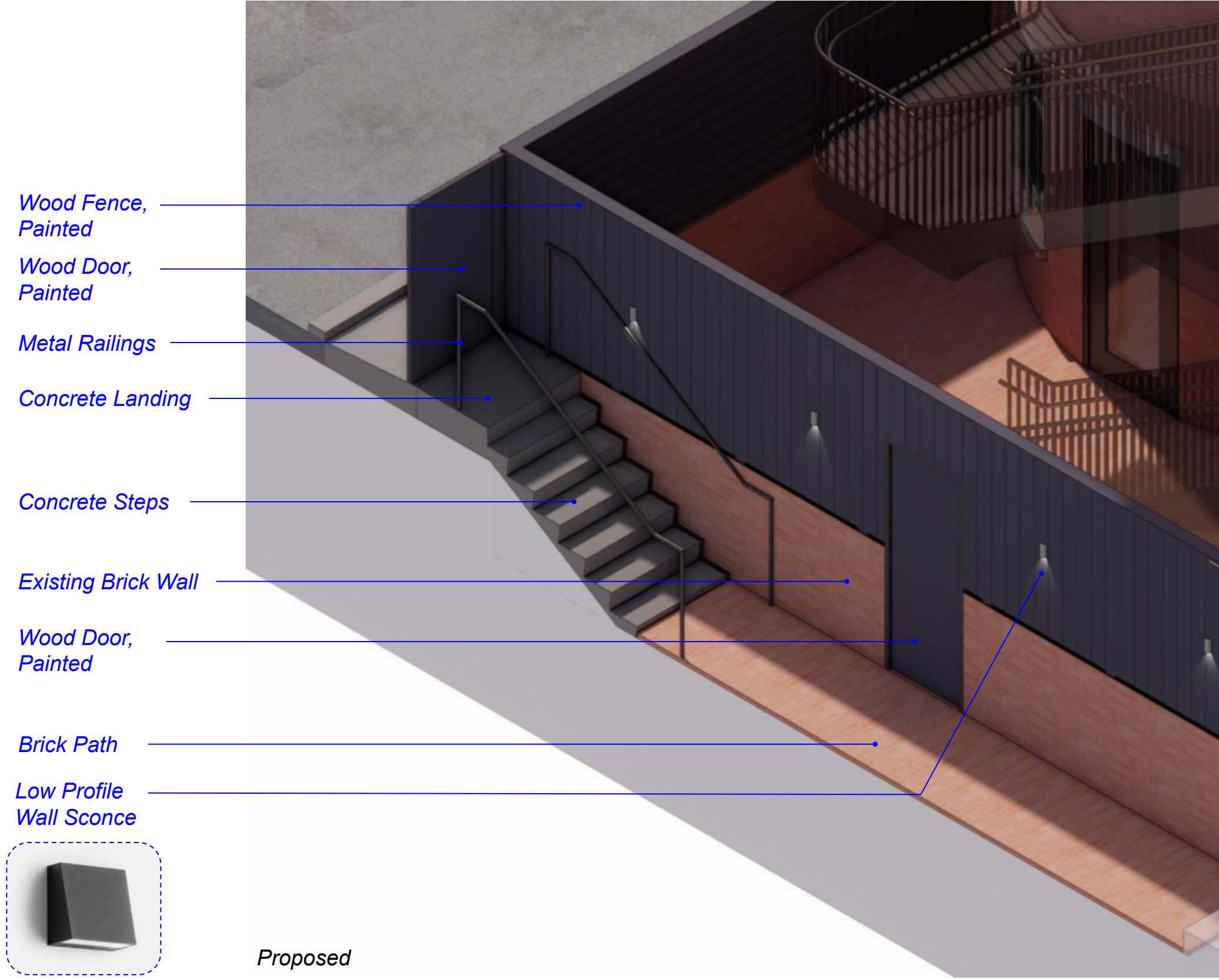
263 Clarendon



# Backyard Fence



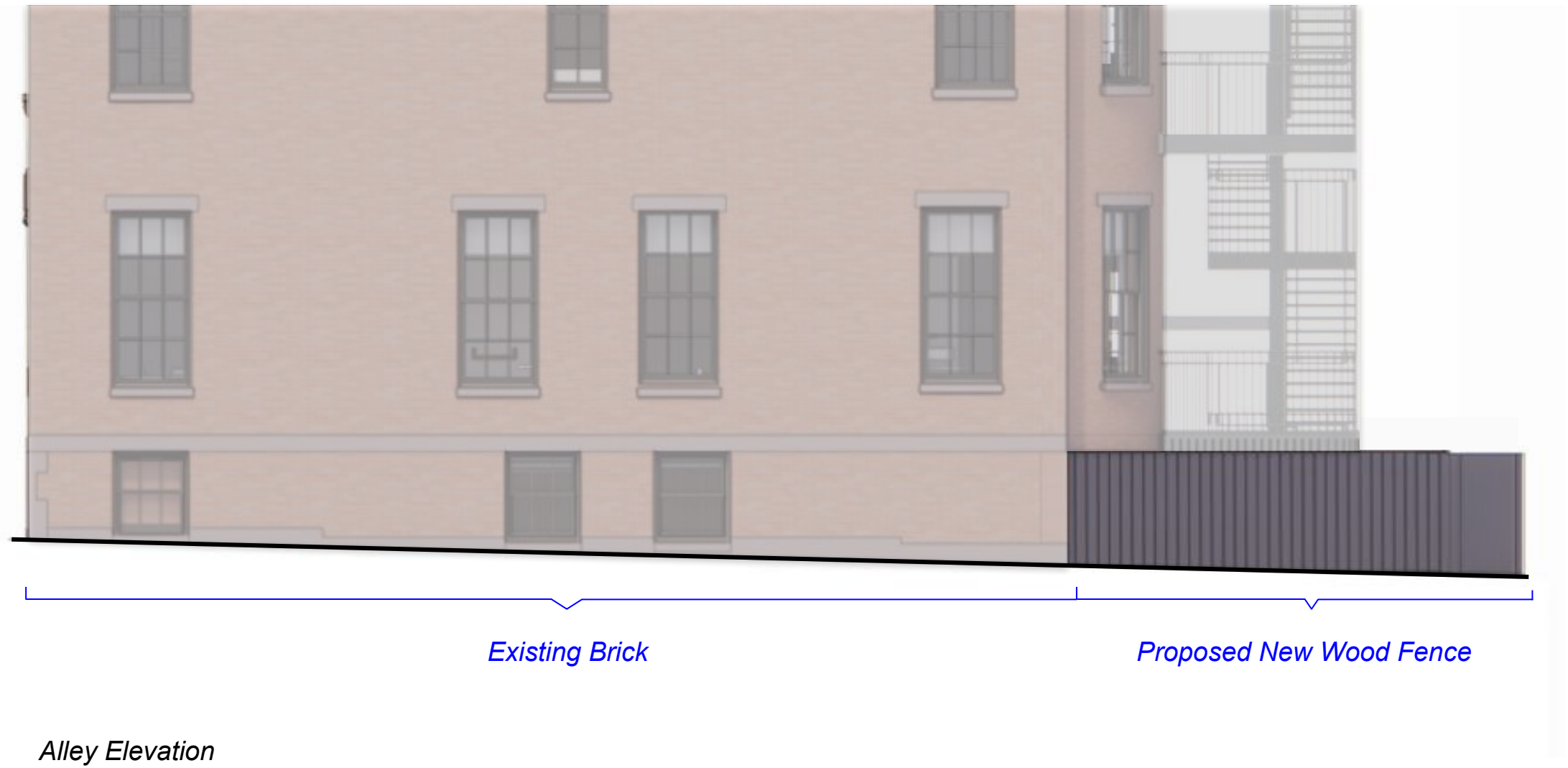
Existing



Proposed



# Exterior Fence





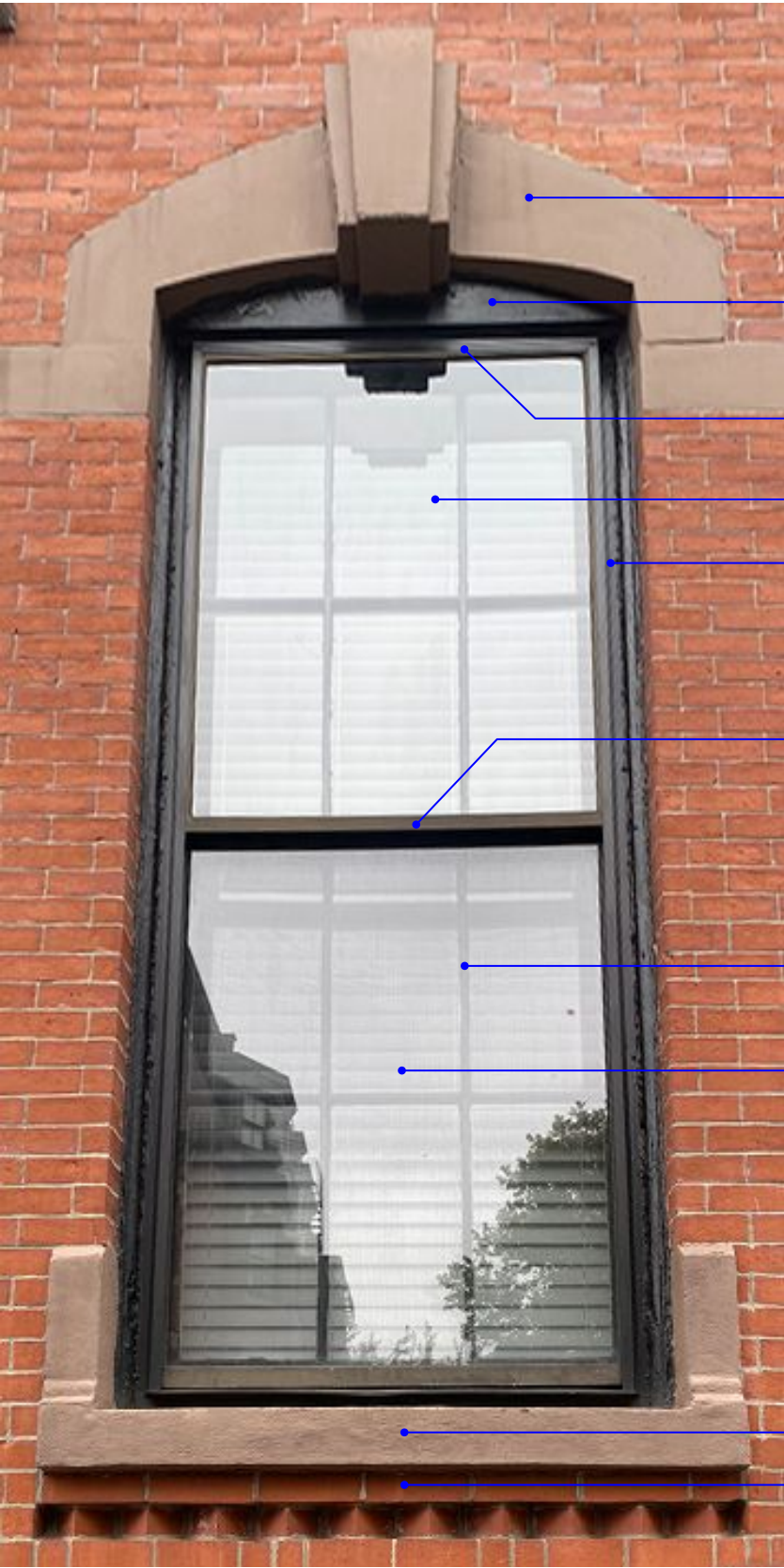
4

# Exterior Windows

263 Clarendon



# Exterior Windows



Lintel

Window Pane

Sash

Window Pane

Exterior Storm Window

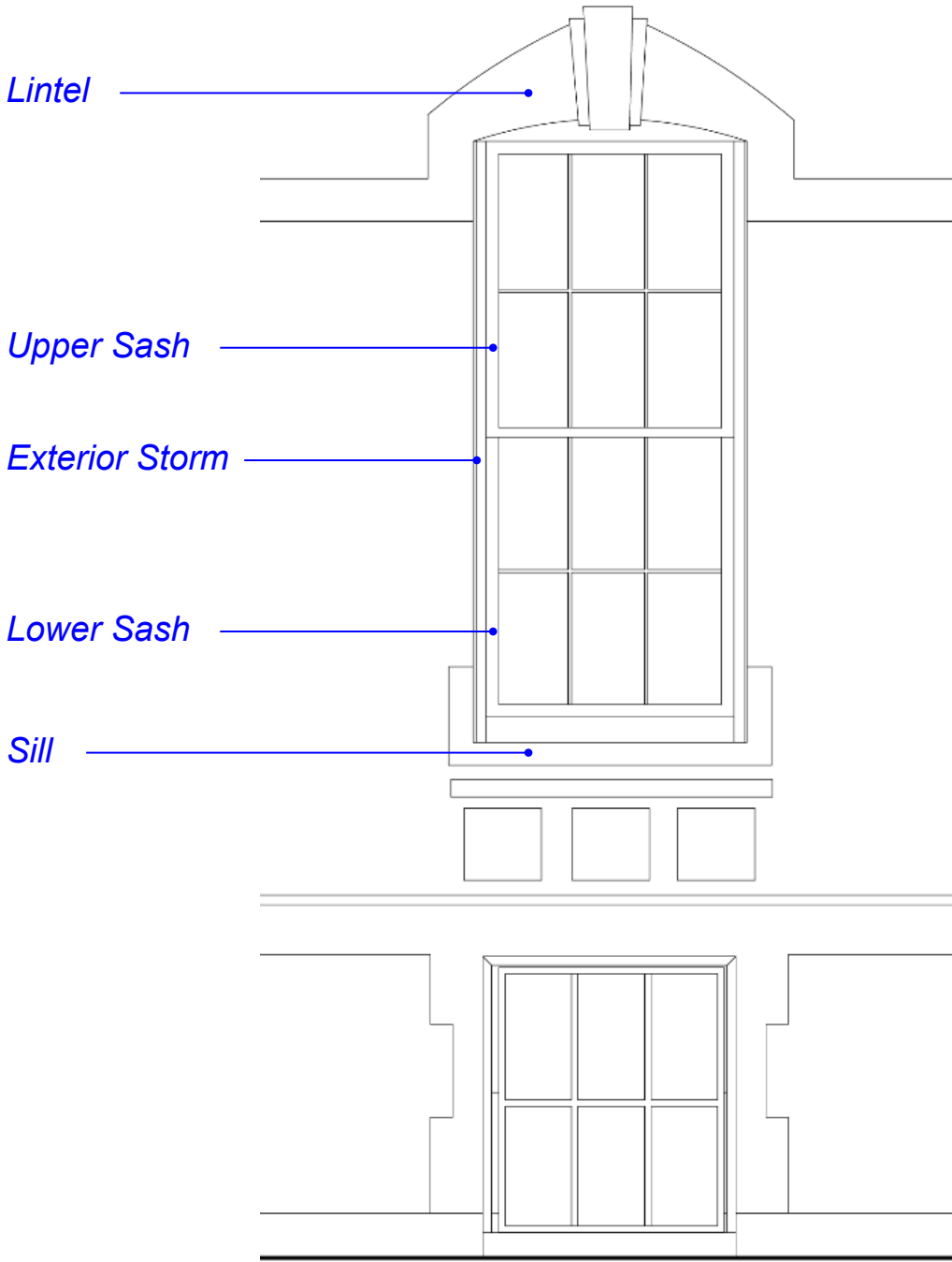
Sash

Muntins

Window Pane

Sill

Apron



Existing Condition



New Windows at 320 Marlborough Street

This project proposes **replacing all exterior windows** with new wood windows.

- Painted black
- True divided Lite glass
- Historic bevelled/moulded profiles
- Remove exterior storm windows

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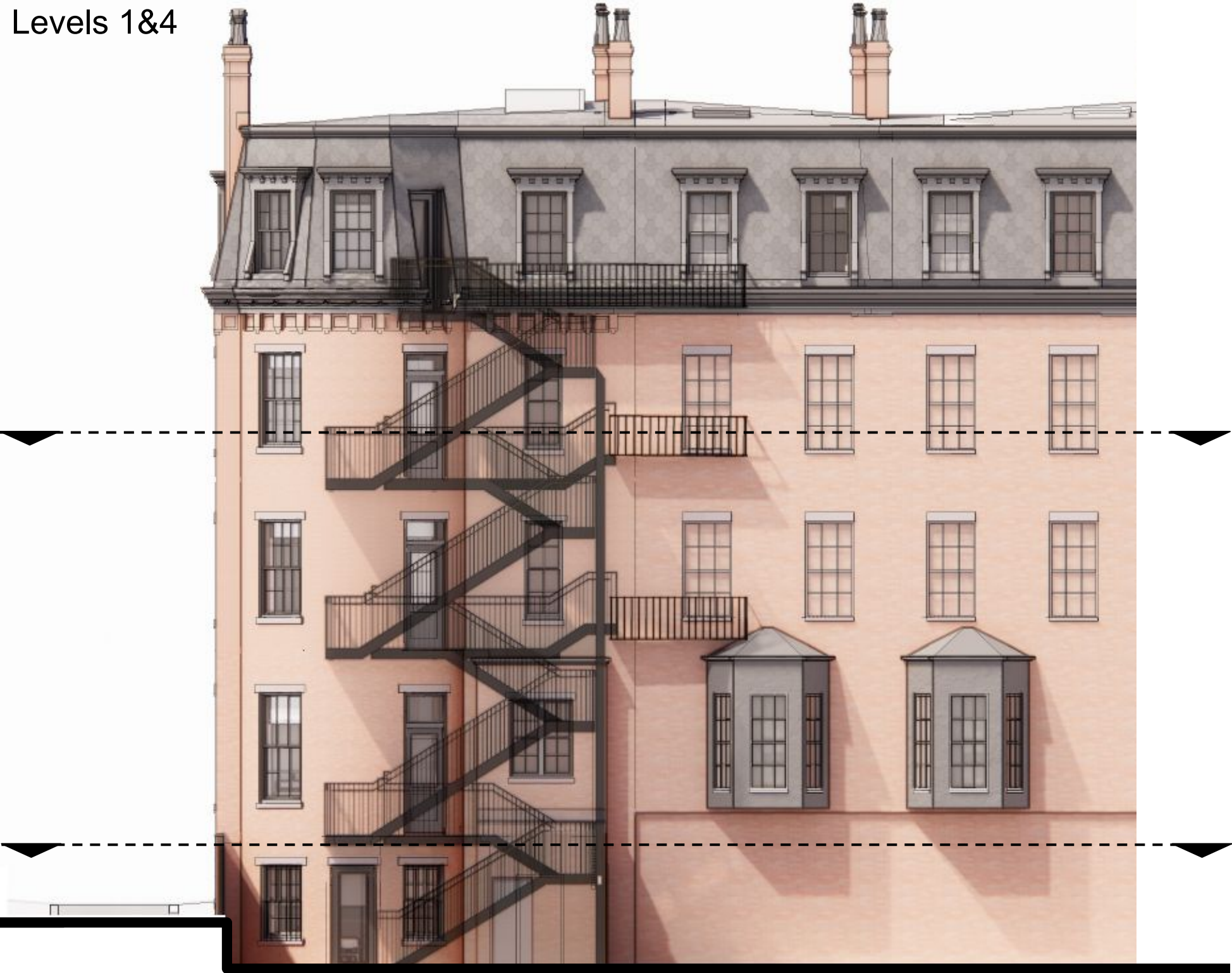
# Rear Stair

263 Clarendon

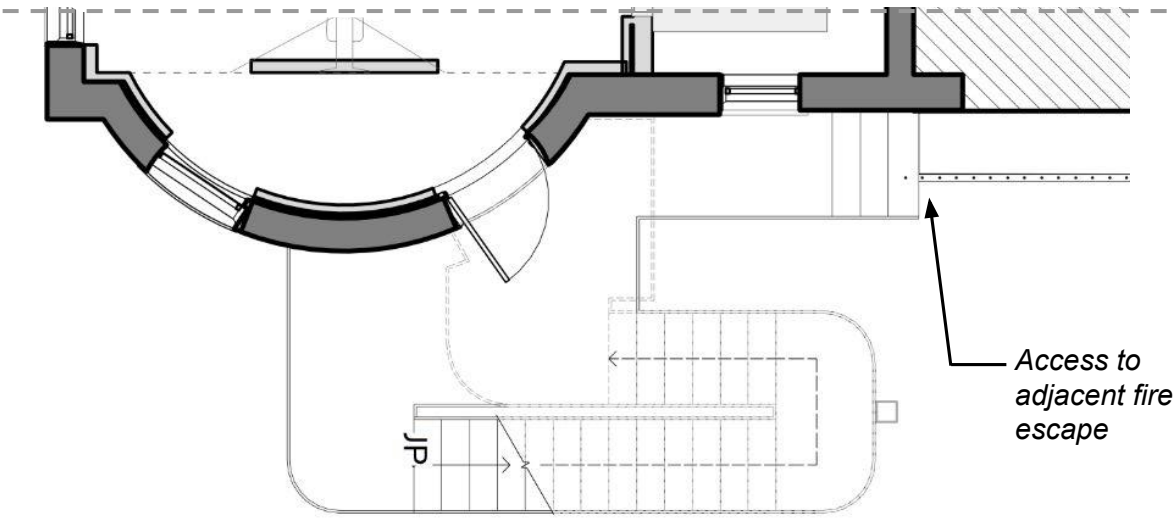


# Rear Stairs

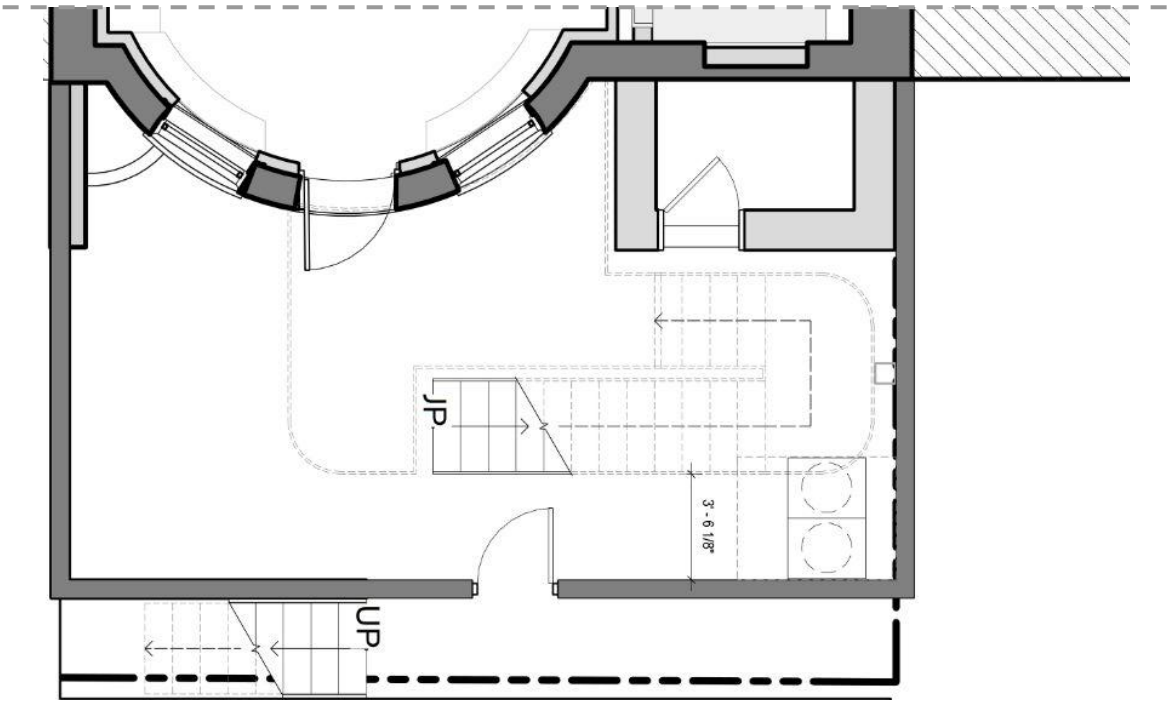
Levels 1&4



Elevation



Typical Level

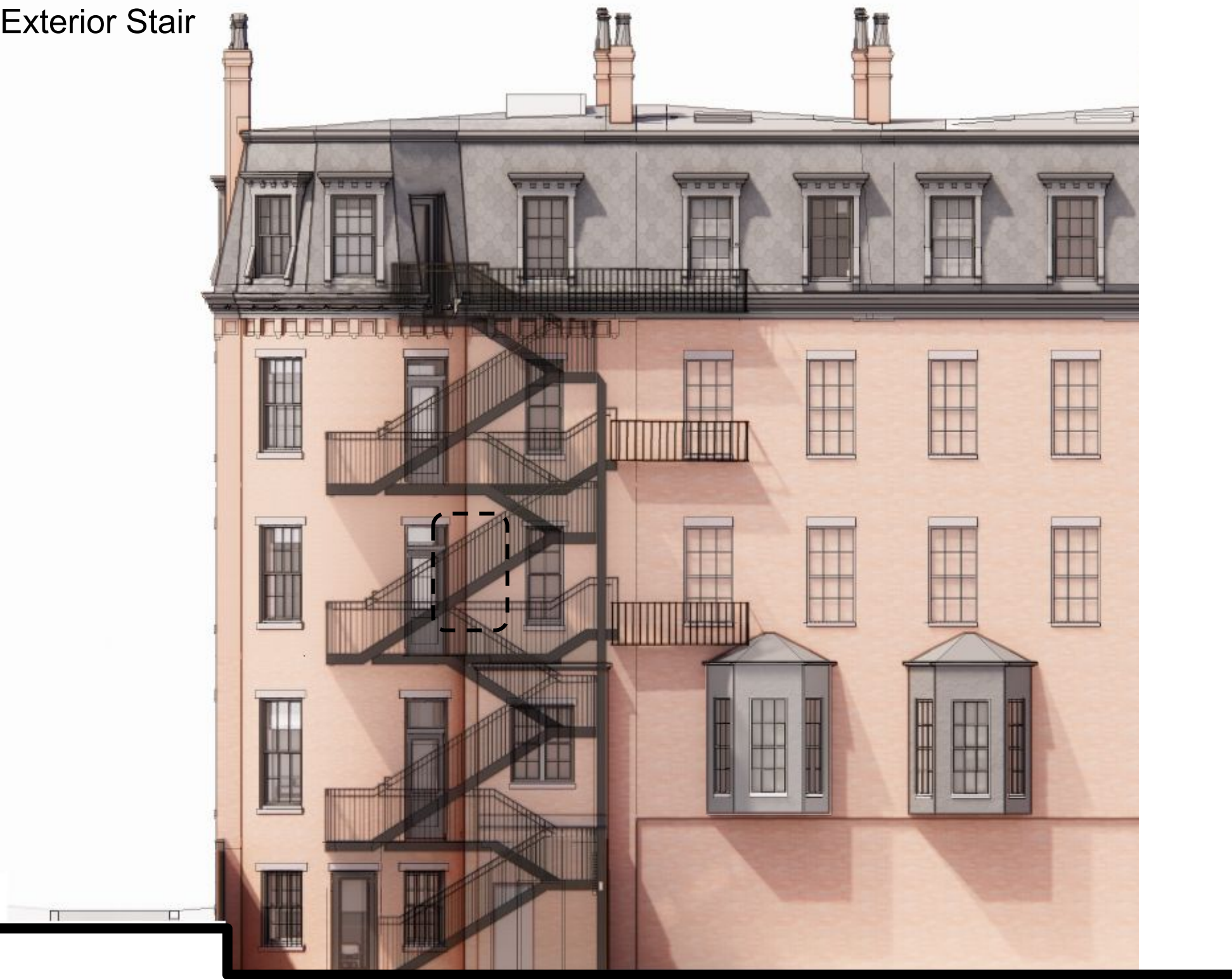


Level 01

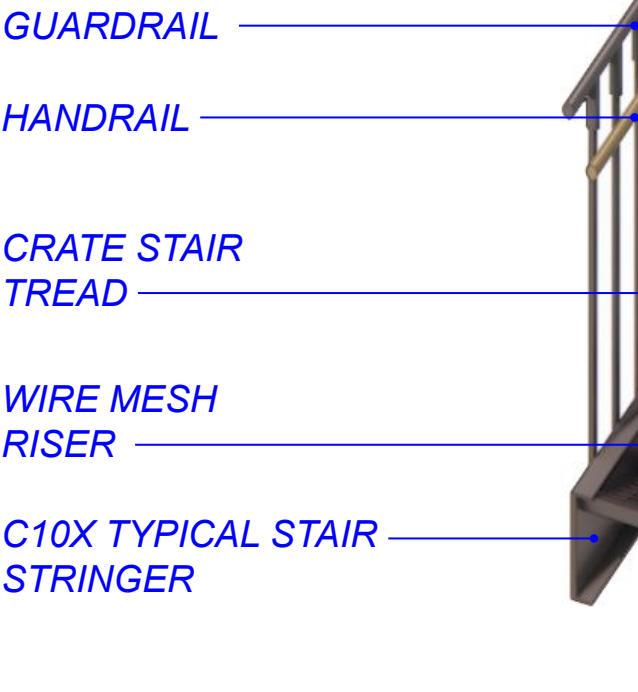


# Rear View

Exterior Stair



Elevation



Enlarged Stair Axonometric



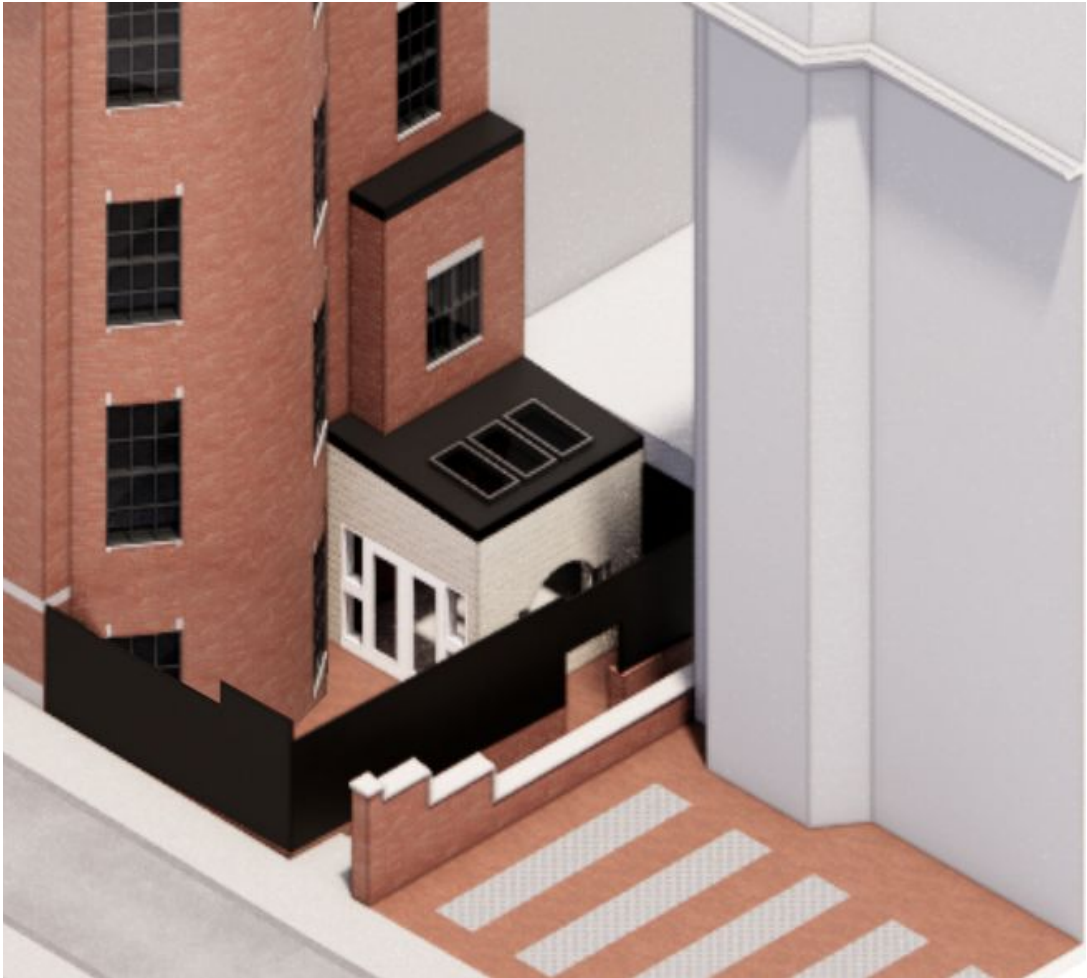
6

# Rear Addition

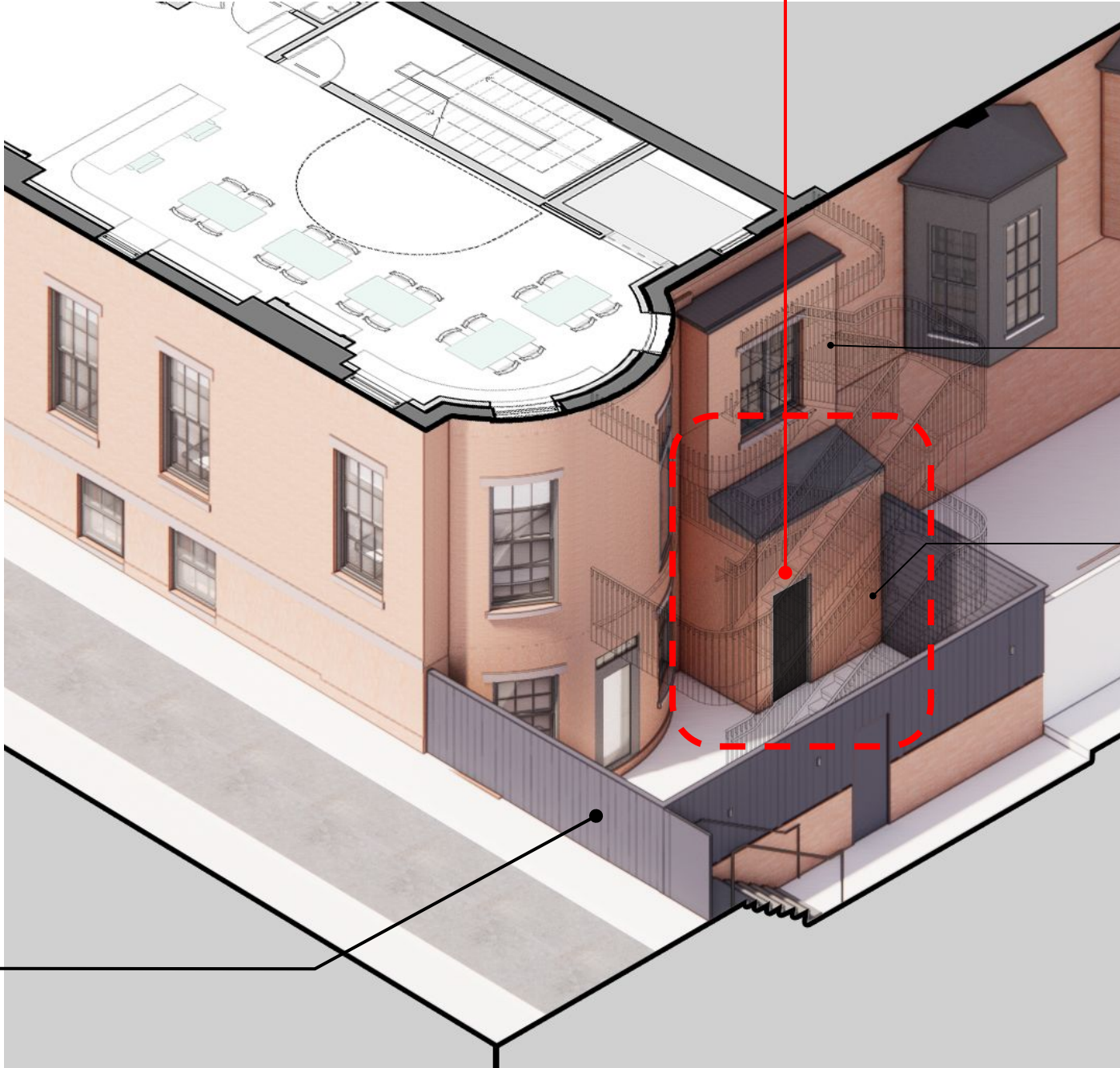
263 Clarendon

# Rear Addition and Fence

Previous SD Option



Existing



*Additional interior coordination in progress. Utile still determining whether this addition is required, and extents.*

Existing Bump out To remain

Mechanical Room

New Wood Fence

Proposed



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# Rooftop Elements

263 Clarendon



# Skylight

Existing Condition at 263 Clarendon

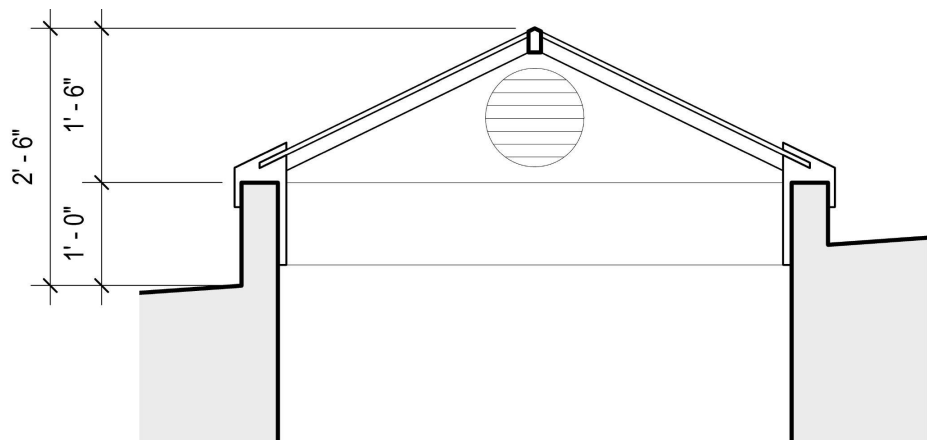
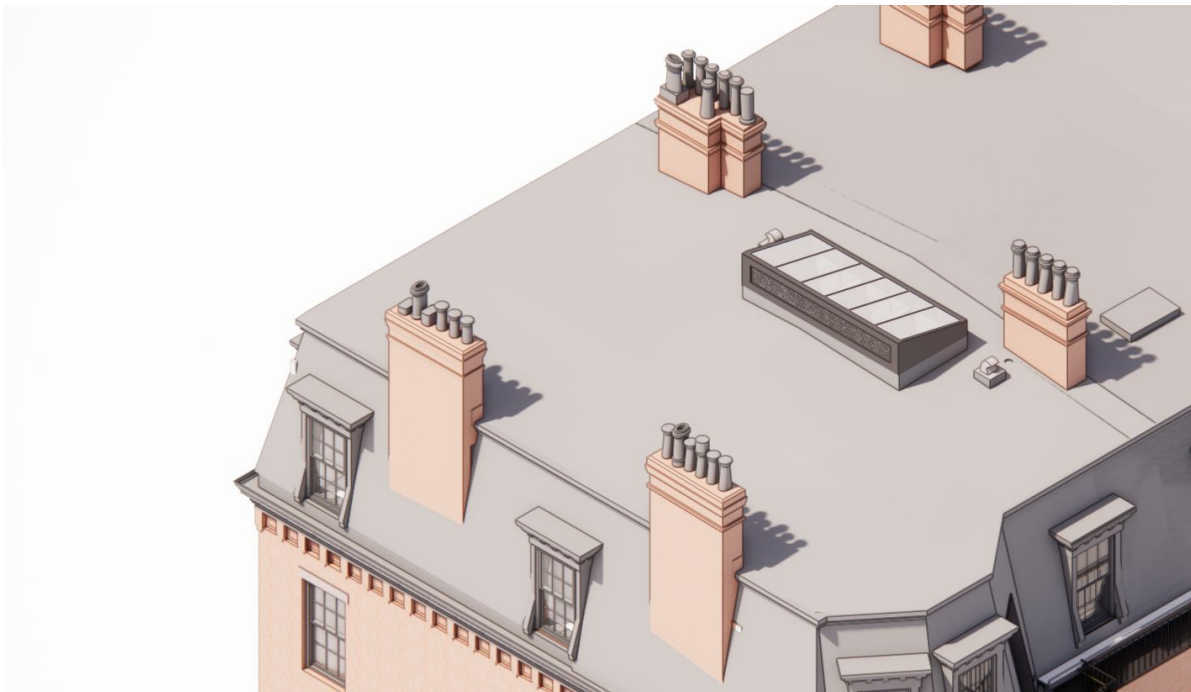
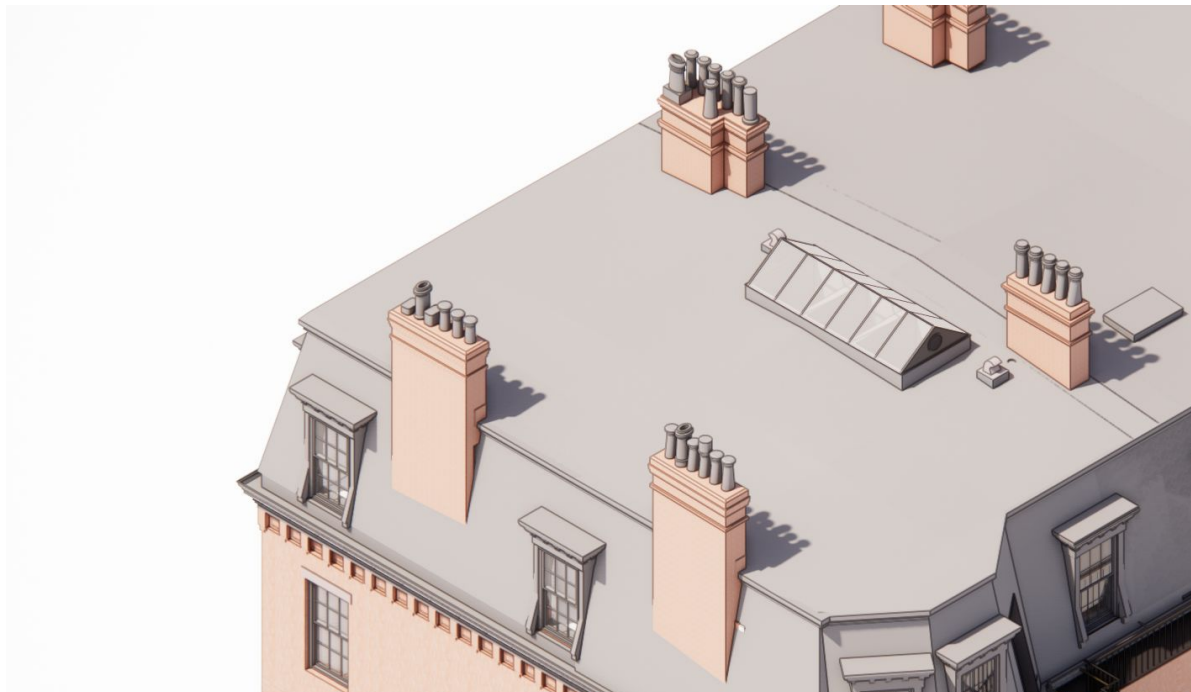


***The existing Skylight is failing. A new skylight must be provided.  
This skylight will be minimally visible from the street level.***

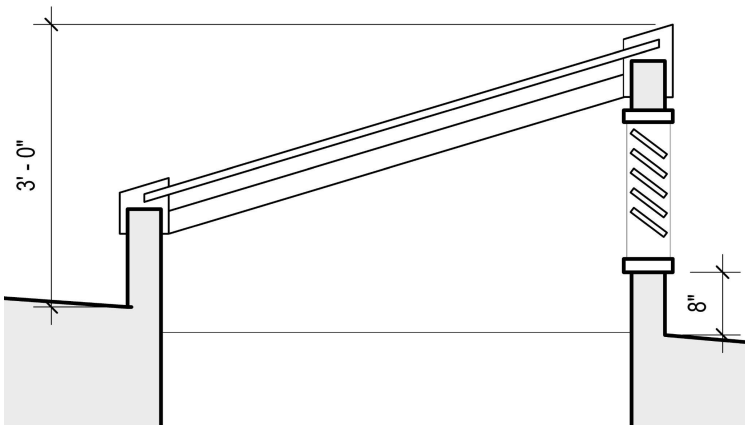


# Skylight

Design proposal options



Option 1

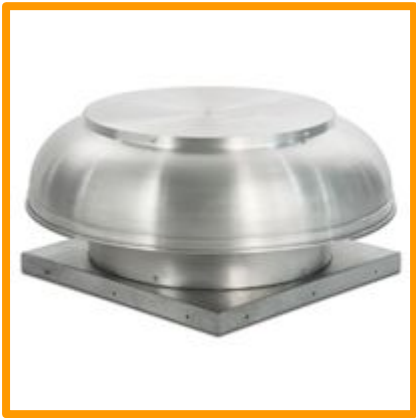
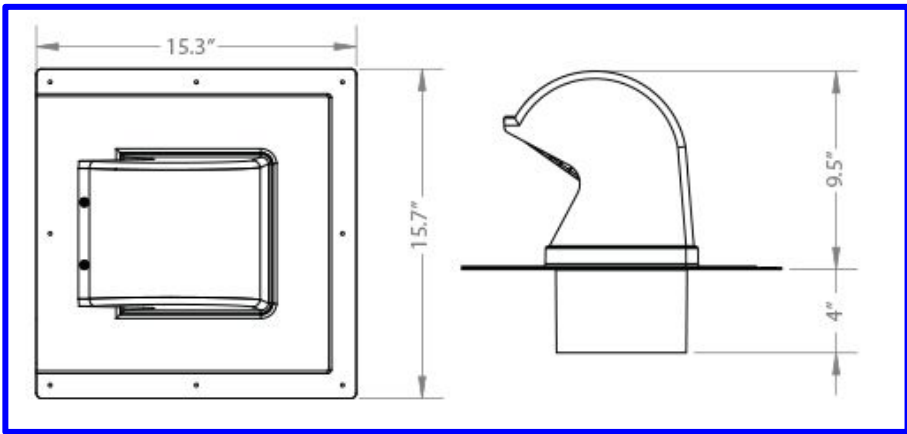
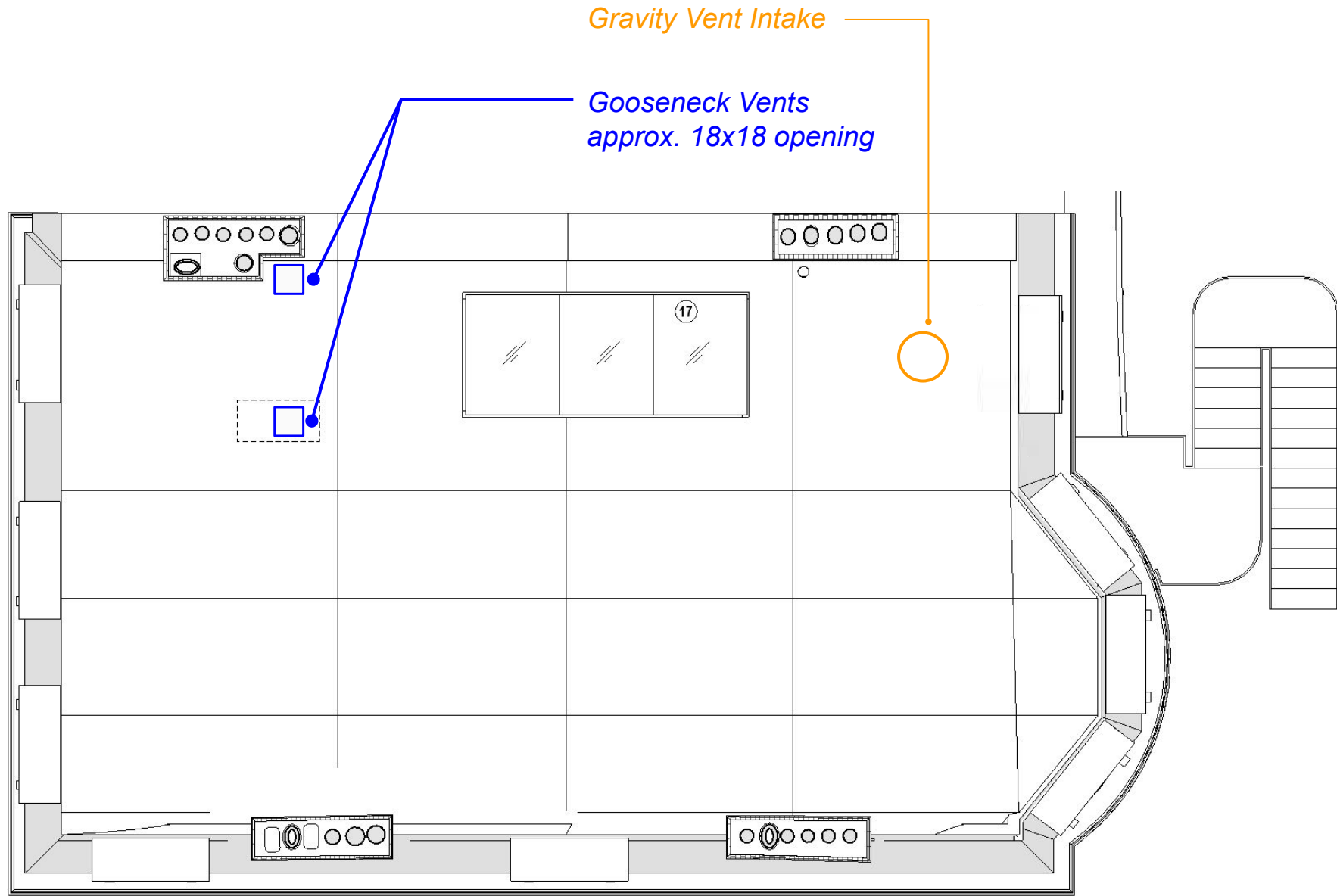


Option 2

# Air Intakes



*Eliminate (4) Rooftop  
Condensing Units*



***Two small gooseneck air vents must be added to the roof with a small curb.  
These will not be visible from the street.  
The project is not planning for any mechanical equipment on the roof.***