

The Learning Project

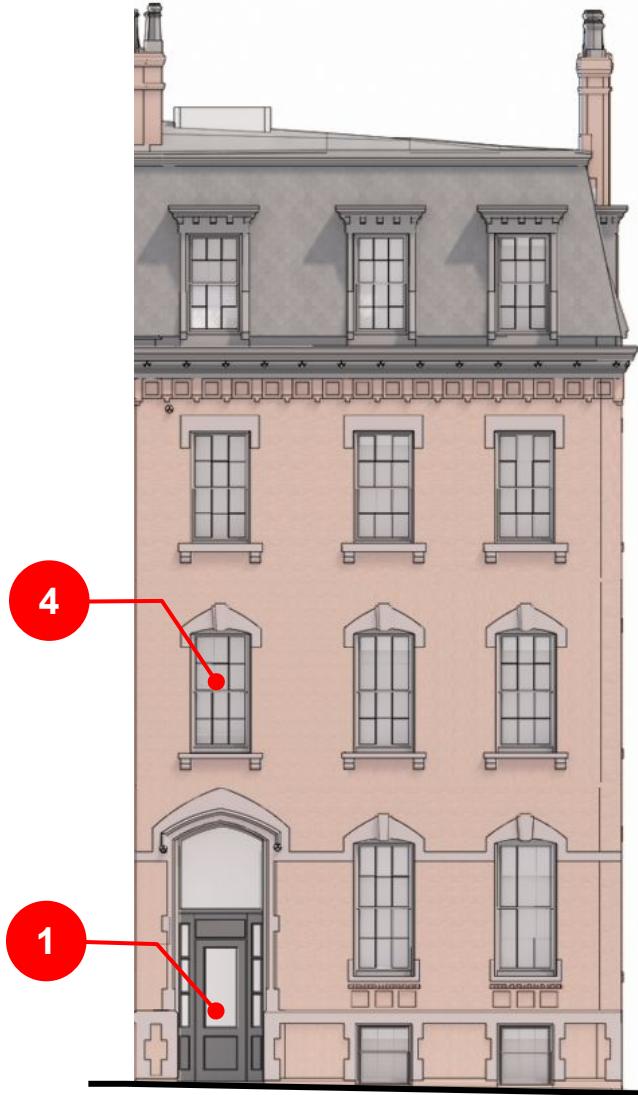
Proposed Expansion at
263 Clarendon Street
BBAC Submission
12/22/2025



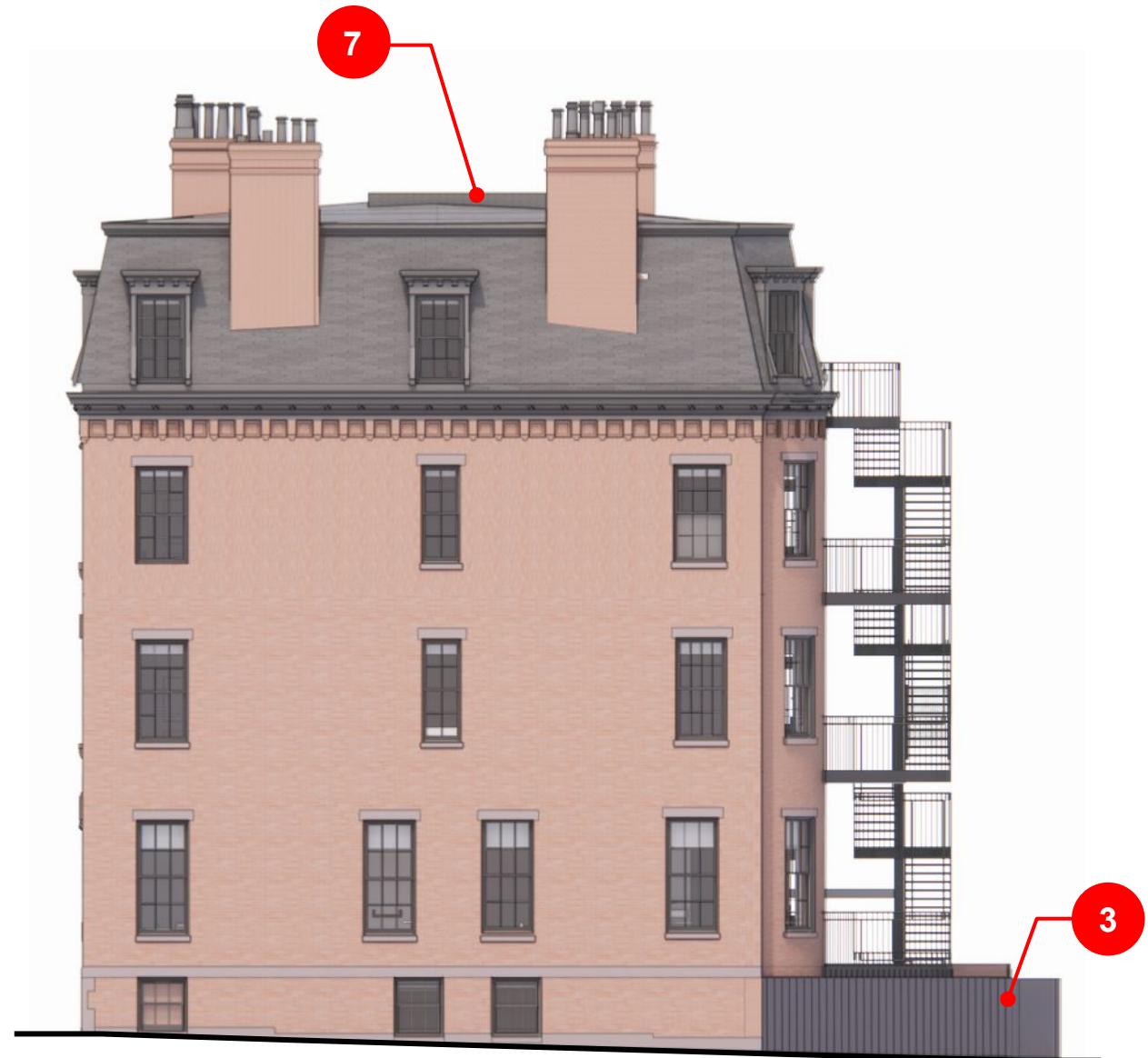
Scope Overview

Scope with BBAC Perview:

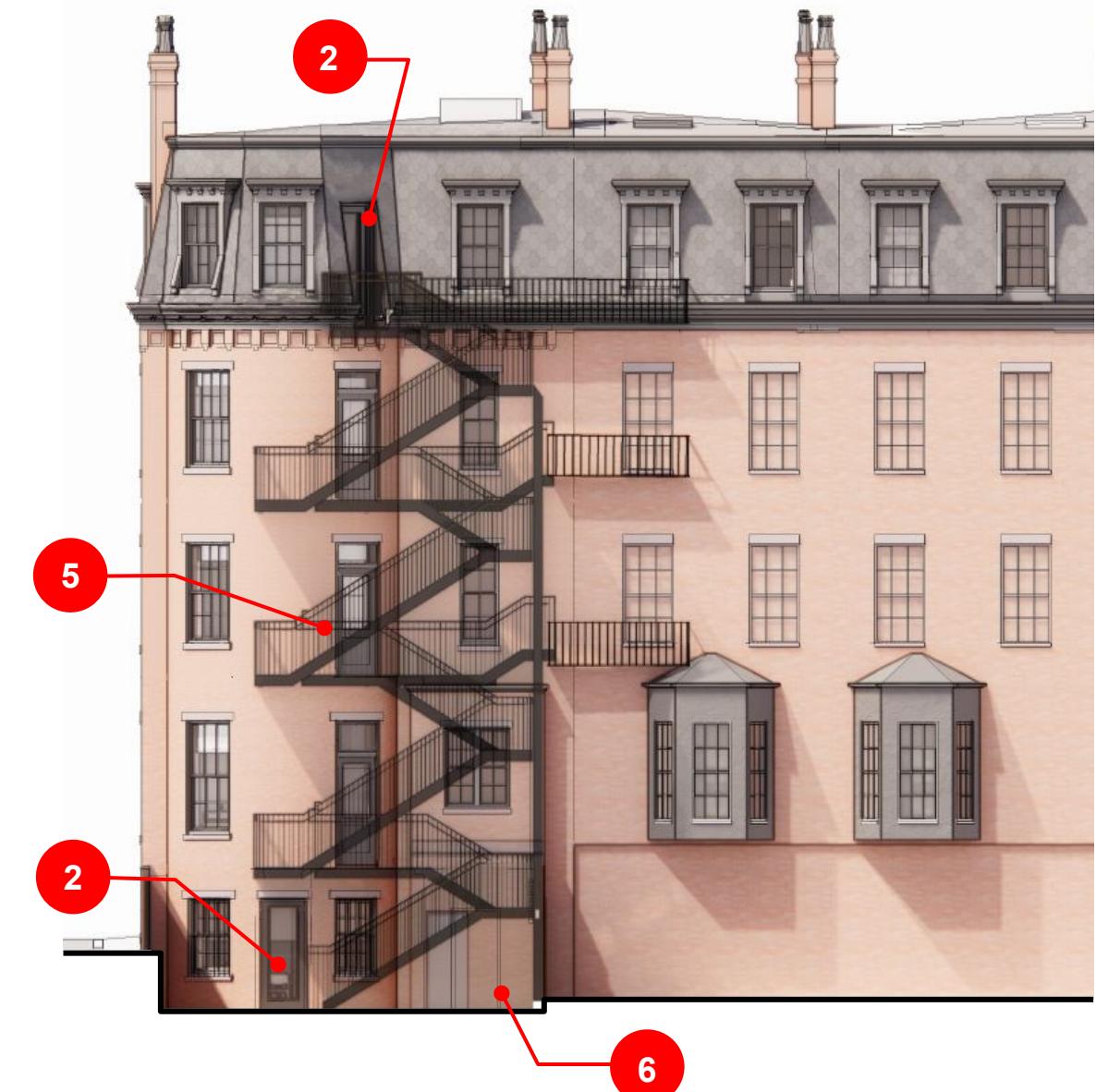
- 1. New Accessible Entry
- 2. New Openings at Rear Yard and Rear Mansard Roof
- 3. Rear Yard Fence and Steps
- 4. Exterior Window Replacements
- 5. Exterior Stair with egress doors from each level
- 6. Small addition within rear yard
- 7. Rooftop Elements; Skylight and Air Intakes



View from Clarendon Street



View from Side Alley



View from Back Alley

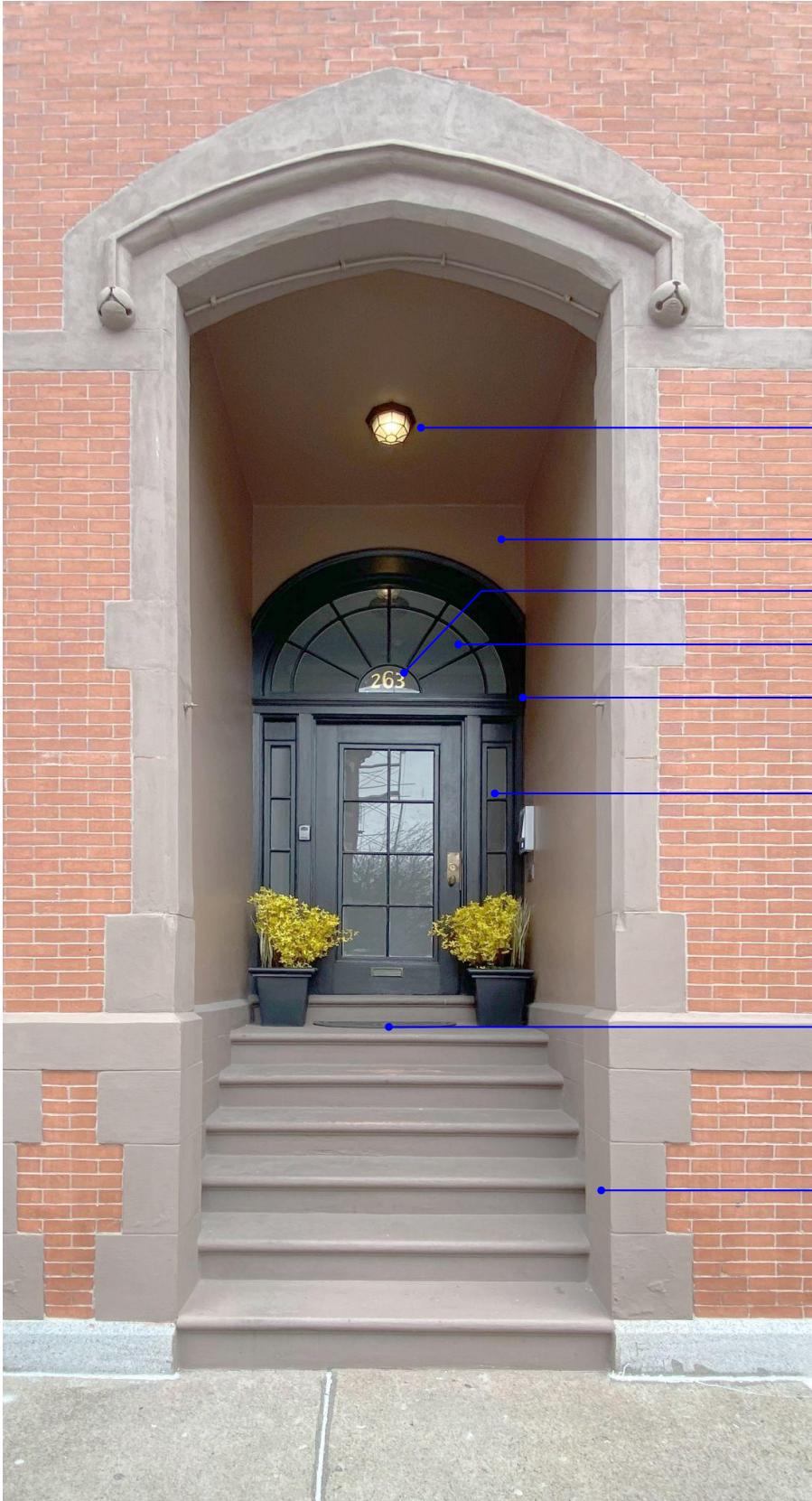
1

New Accessible Entry

263 Clarendon

Entry Condition

263 Clarendon Street - Existing



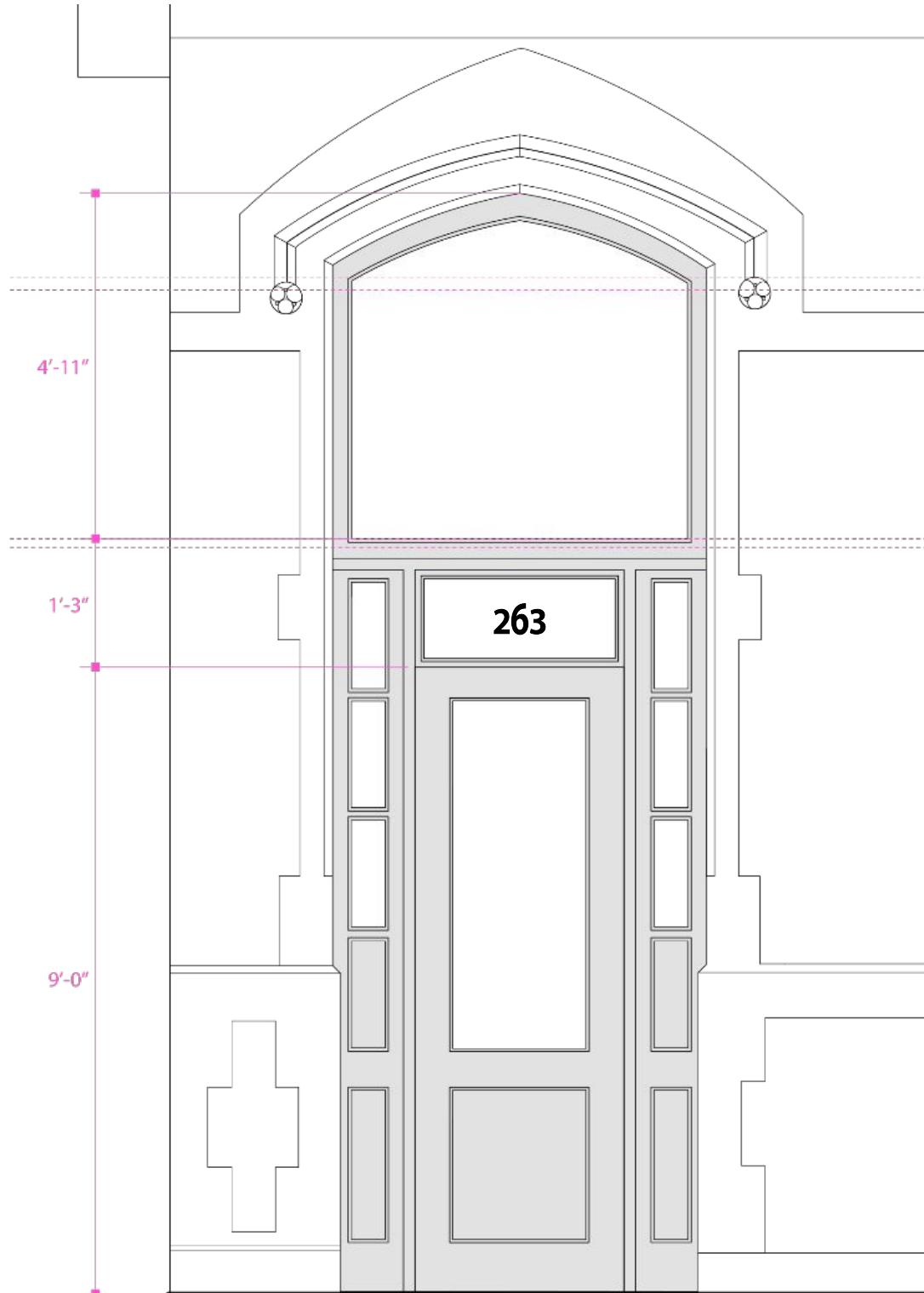
275 Clarendon Street - BBAC Recommendation



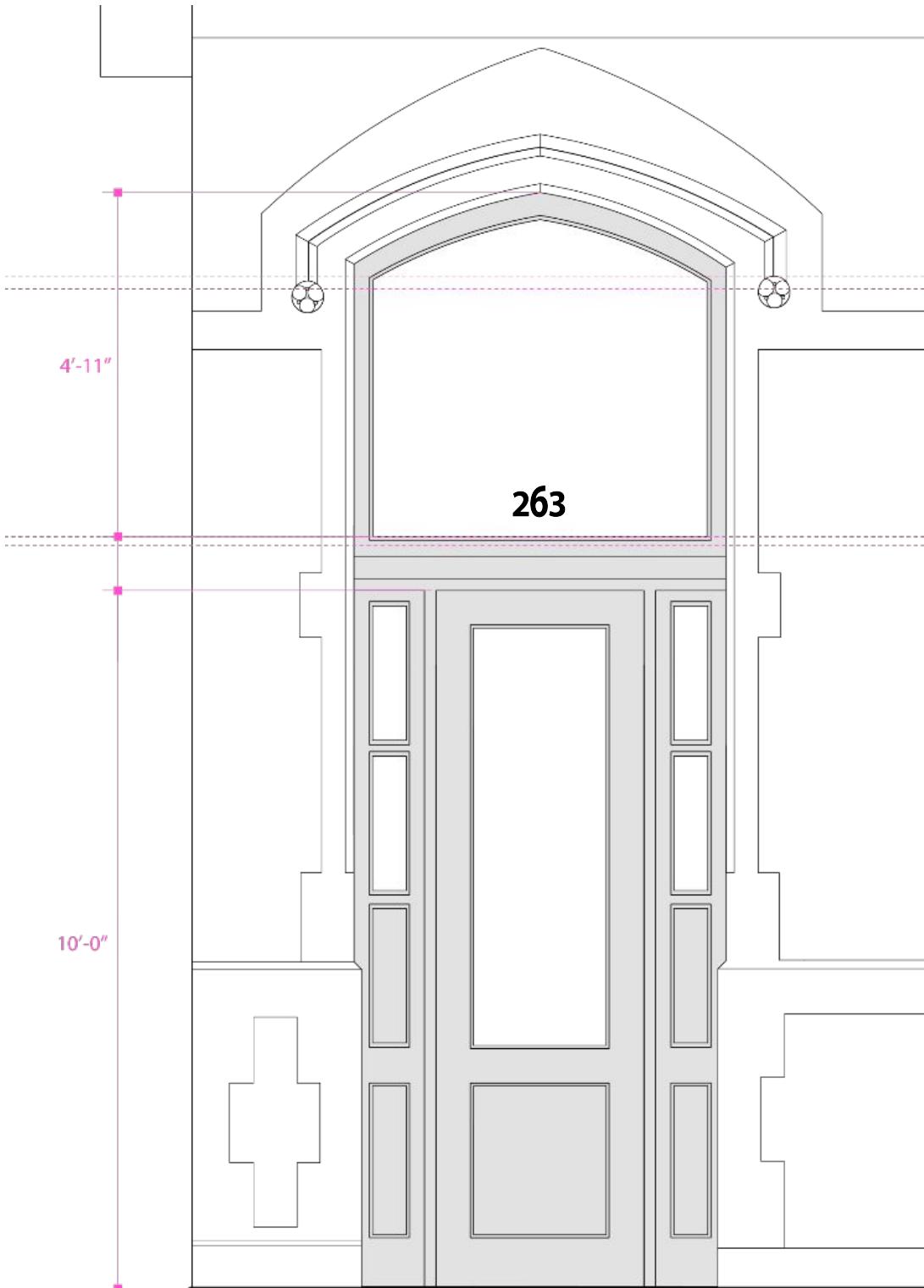
This project was presented to the BBAC for advisory review on Jan 8, 2025.

The BBAC recommended that 263 Clarendon matches the design of **275 Clarendon**

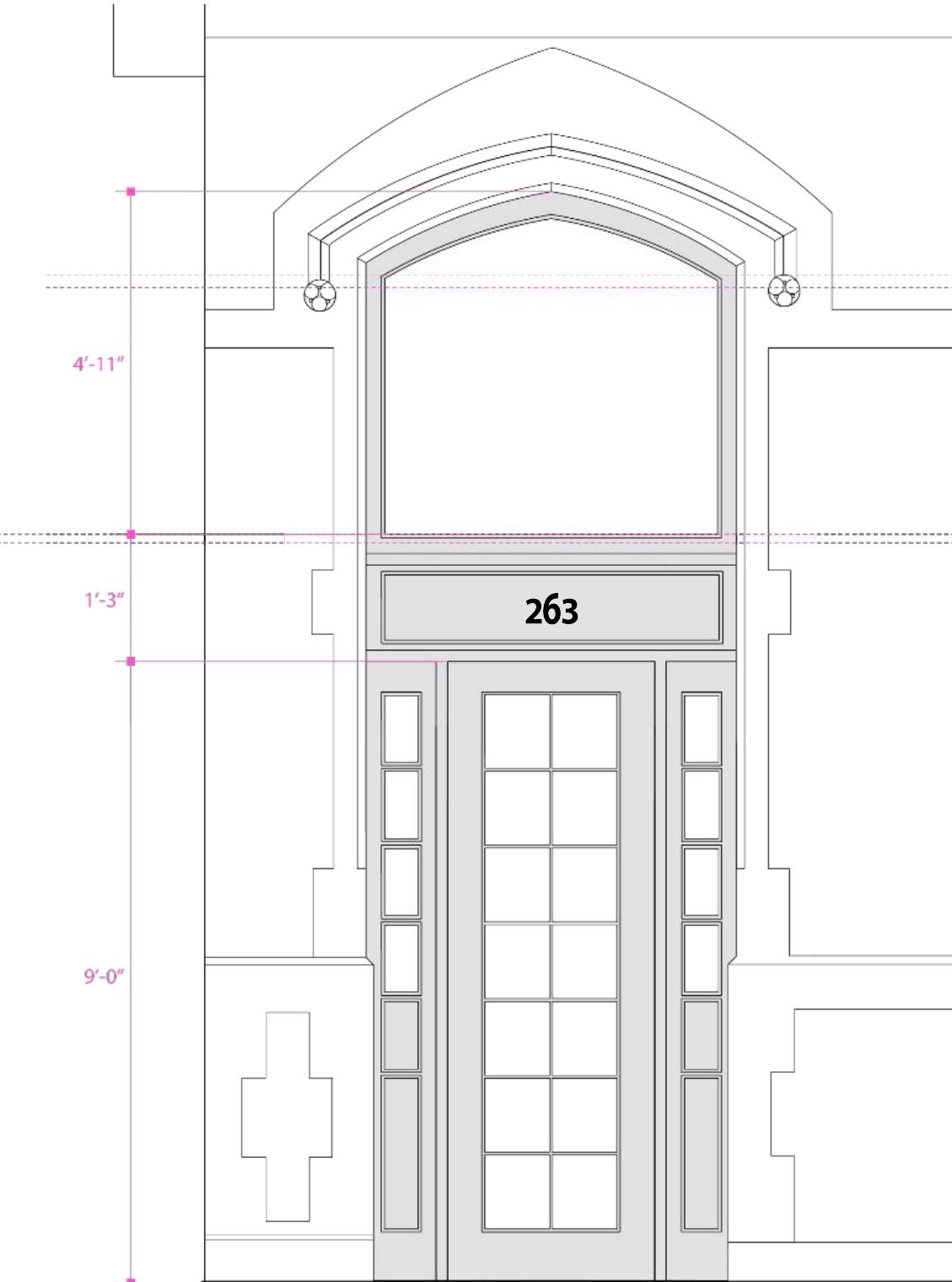
Entry Condition



Option 1 - 9'-0" Door



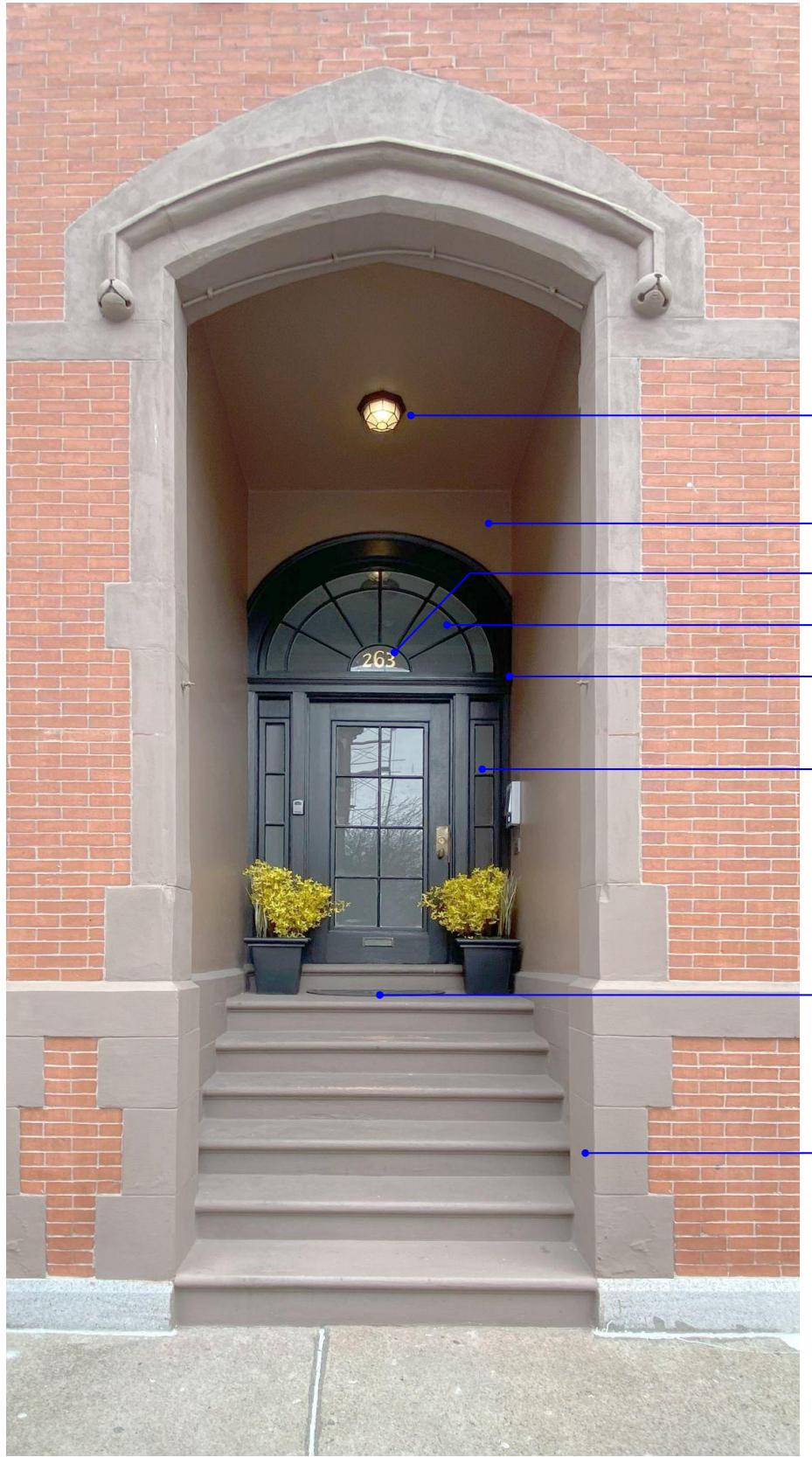
Option 2 - 10'-0" Door



Option 3 - 9'-0" Door

Existing Condition

Option 1 - 9'-0" Door (Utile preferred)



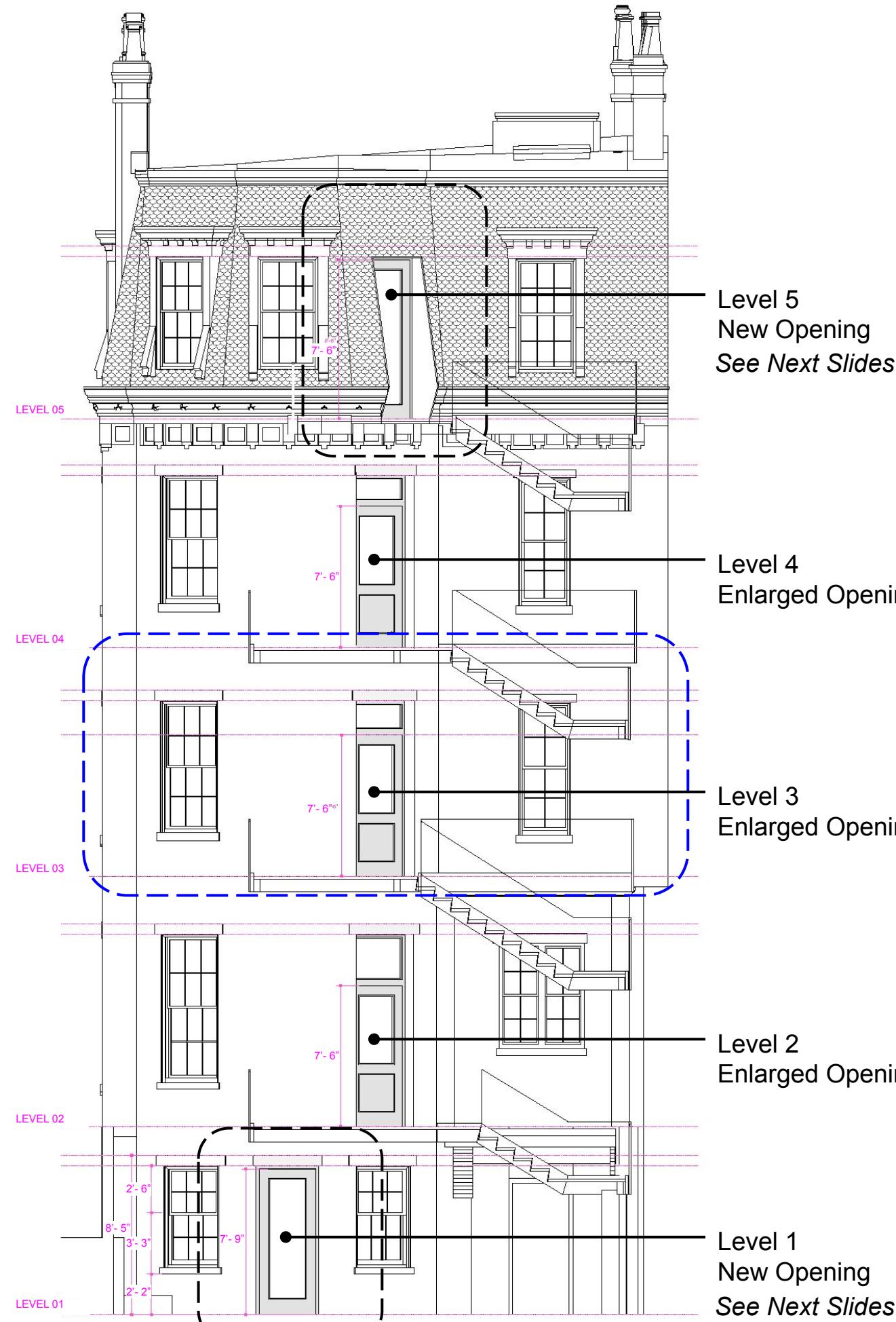
Proposed Entry Design (Option 1)

2

New Rear Doors

263 Clarendon

Rear Doors



Level 5
New Opening
See Next Slides

Level 4
Enlarged Opening

Level 3
Enlarged Opening

Level 2
Enlarged Opening

Level 1
New Opening
See Next Slides

Overhead Frame
(to match existing
windows), typ.

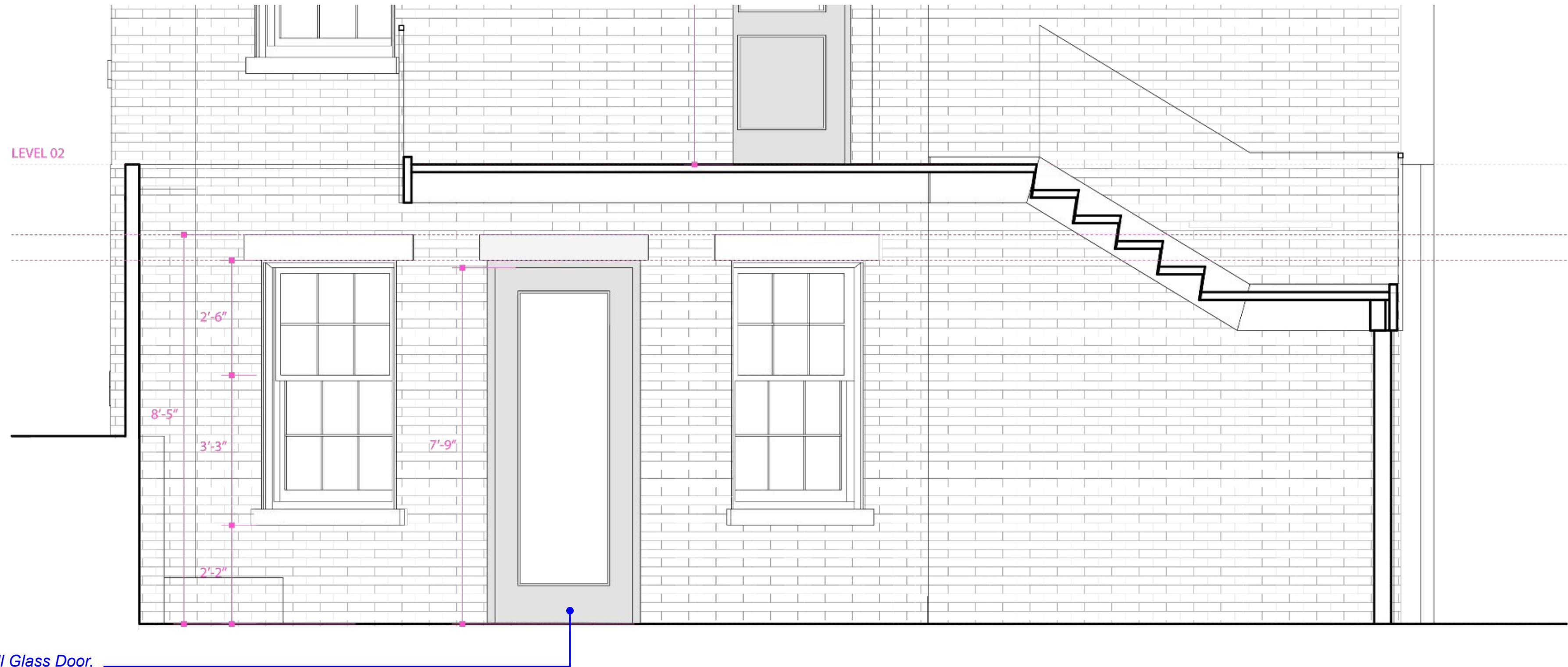
Transom

Glass Transom

Lower Panel

Typical Door, Level 3

Rear Doors - Level 01

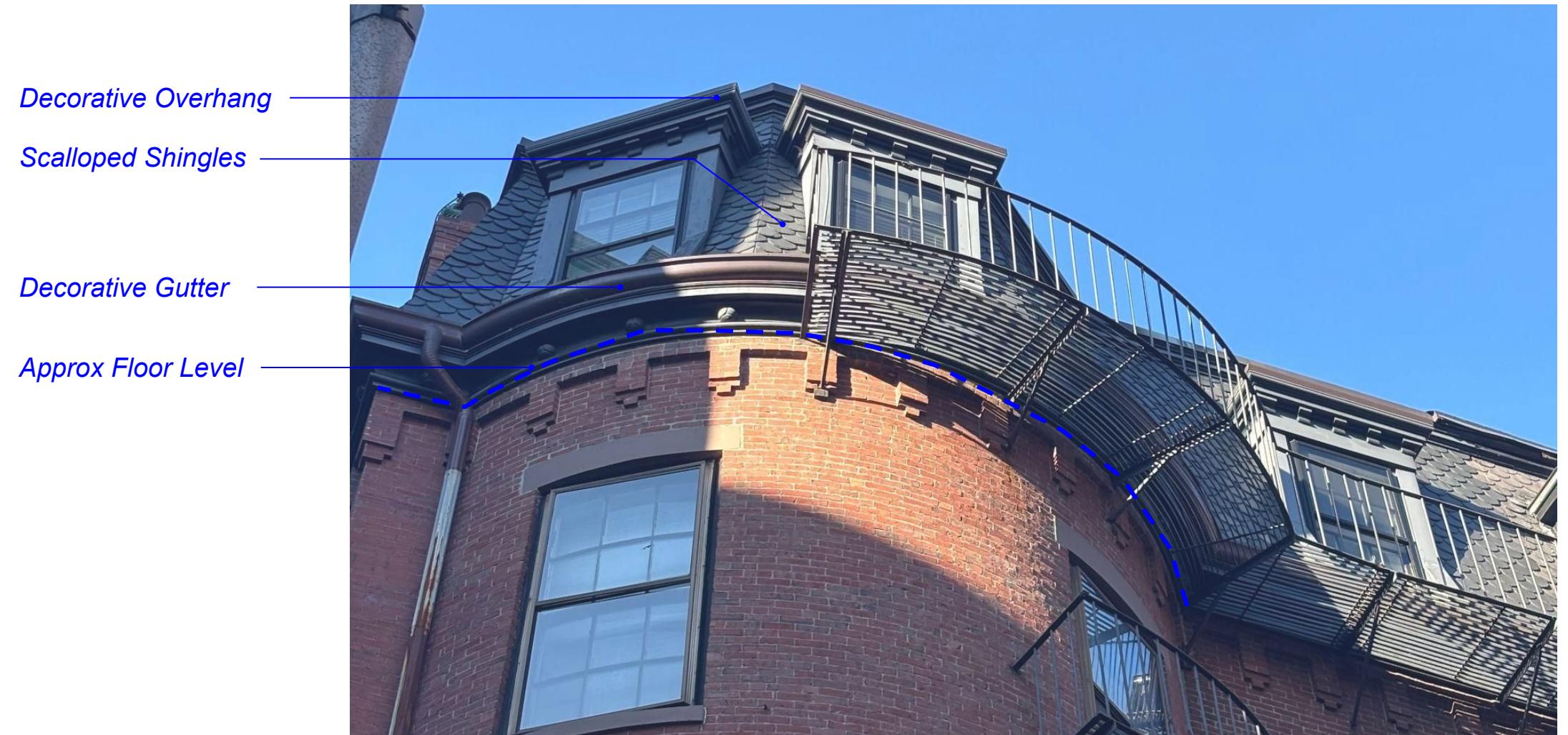


Full Glass Door,
Black

Rear Doors - Level 01



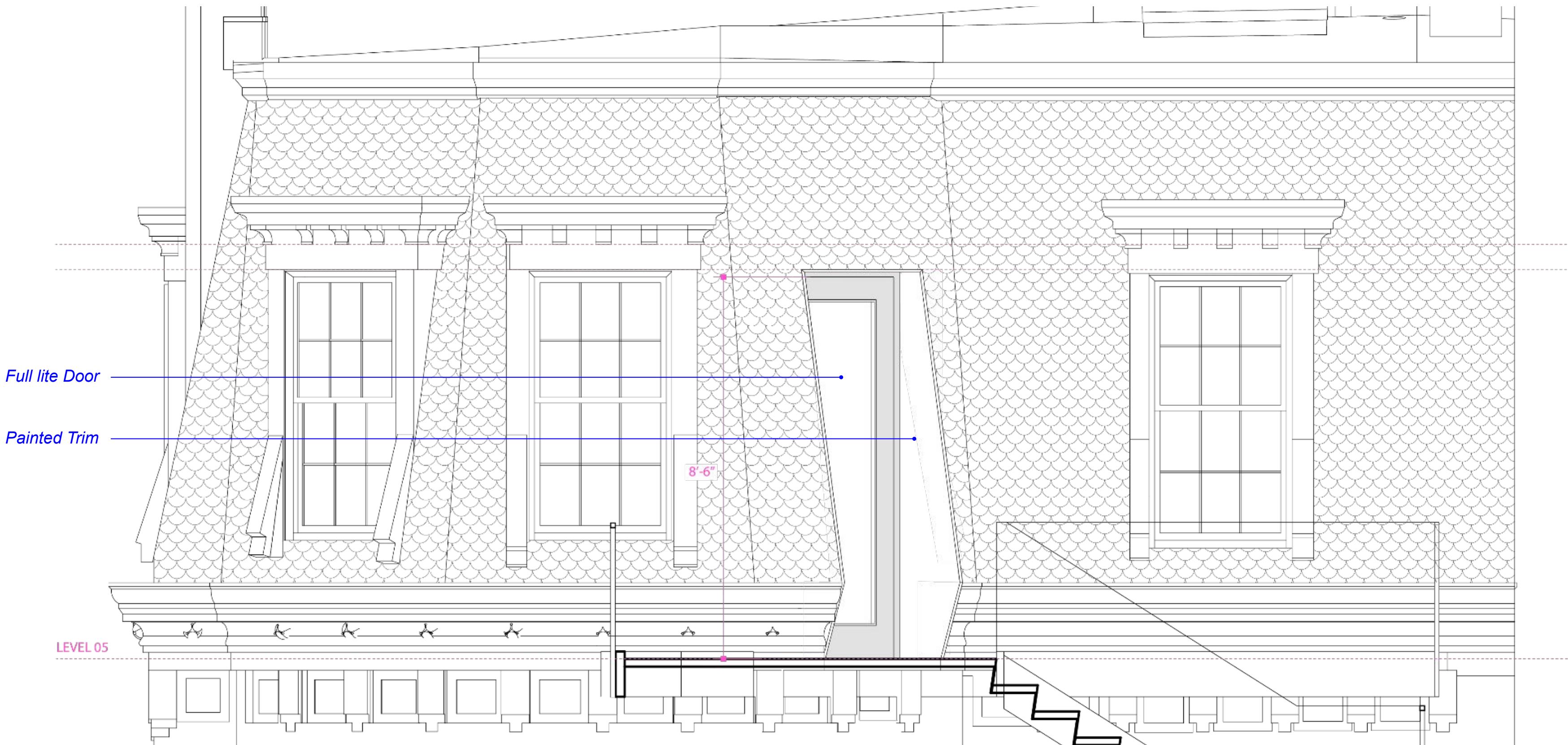
Level 05 Roof - Existing



Rear Doors - Level 05 - Option 1, New Dormer



Rear Doors - Level 05 - Option 2, Minimal Opening



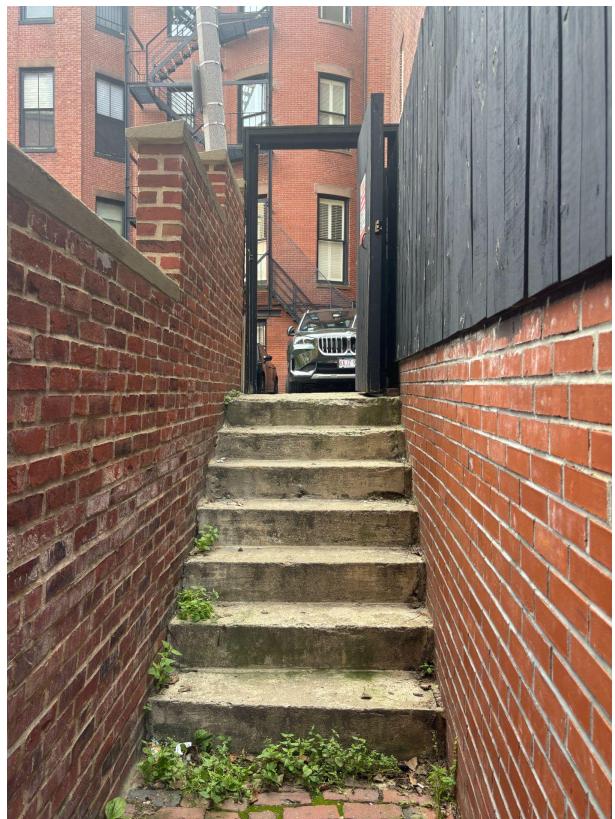
Rear Doors - Level 05 - Option 2, Minimal Opening



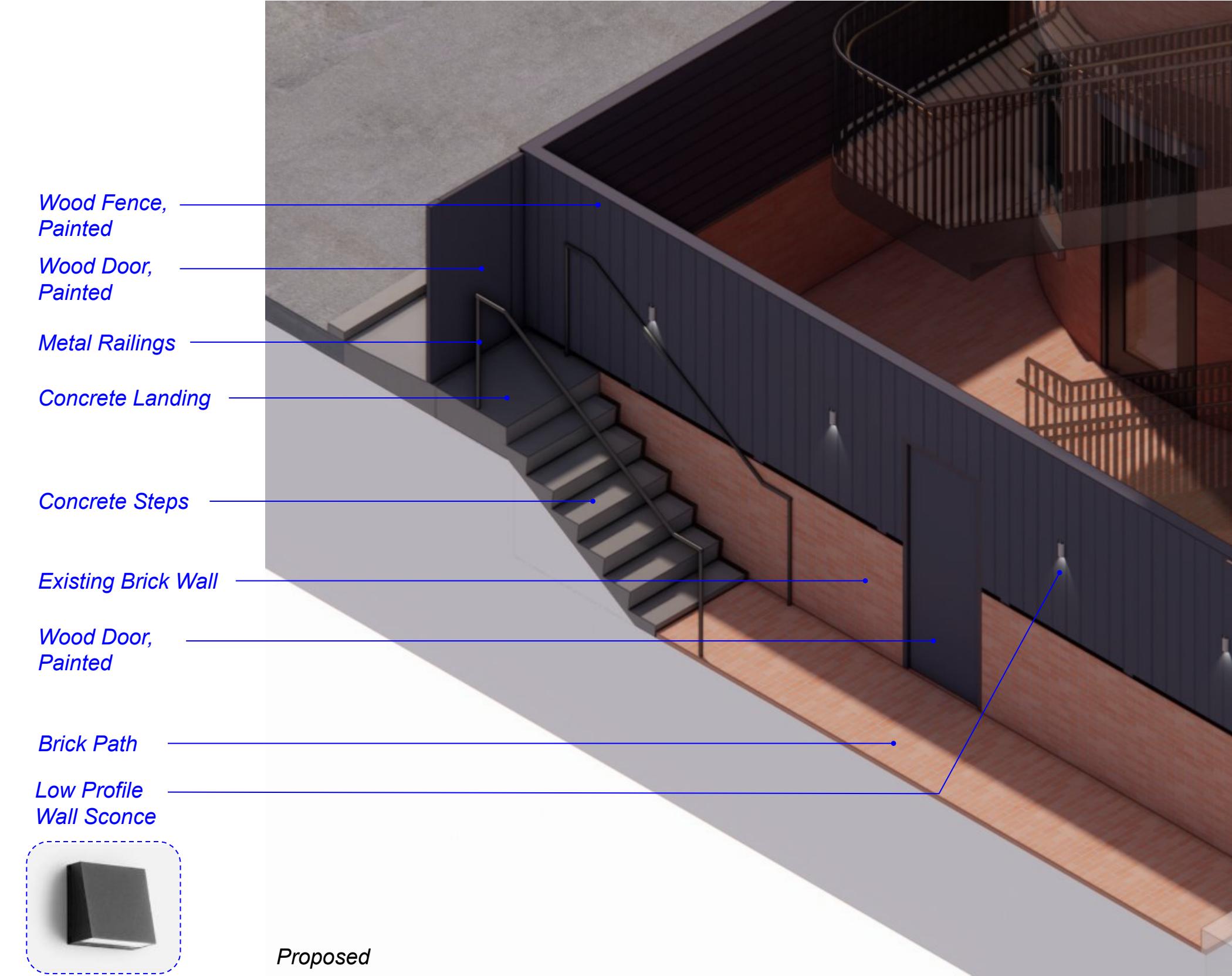
Rear Fence and Steps

263 Clarendon

Backyard Fence



Existing



Proposed

Exterior Fence



Alley Elevation

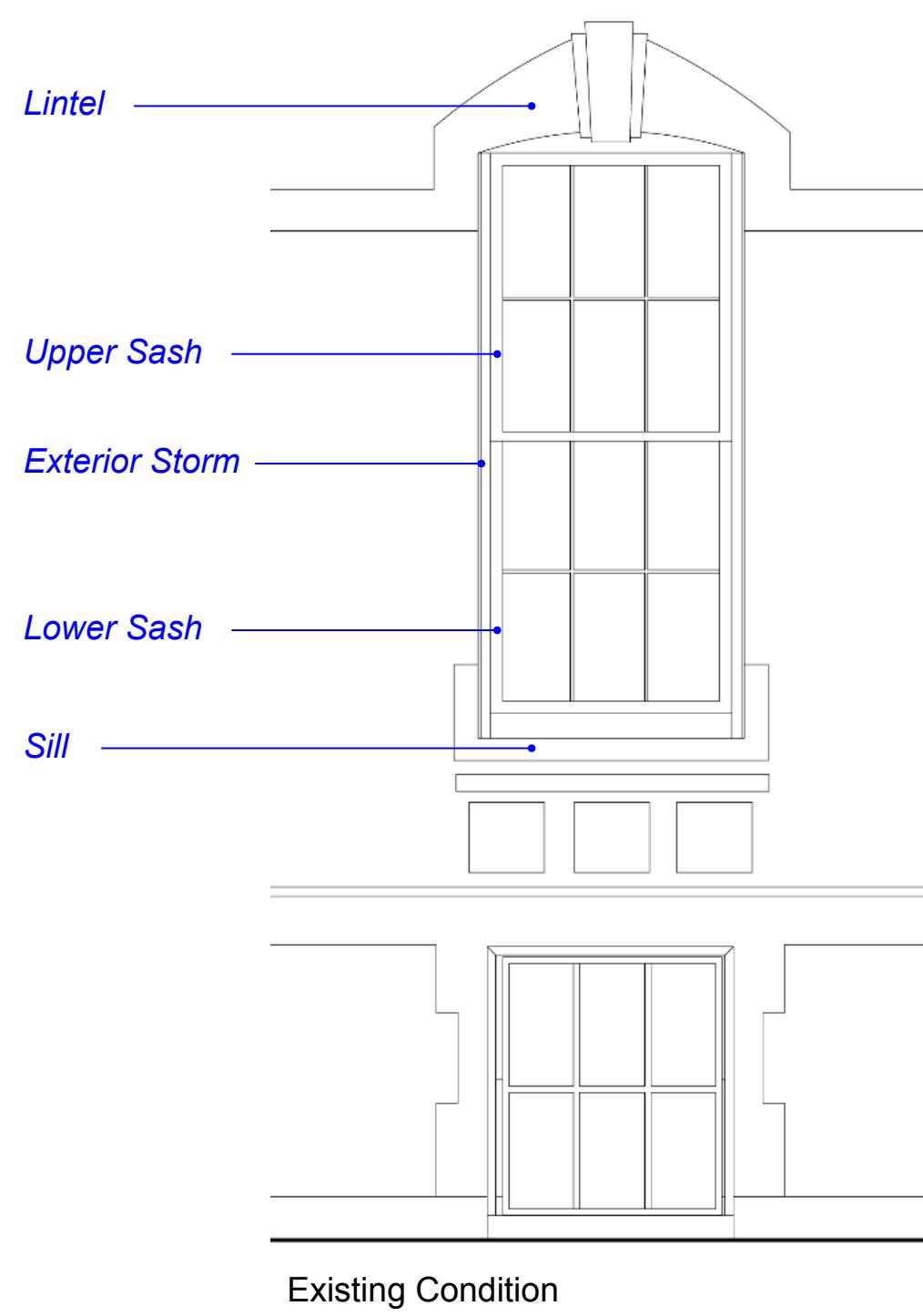
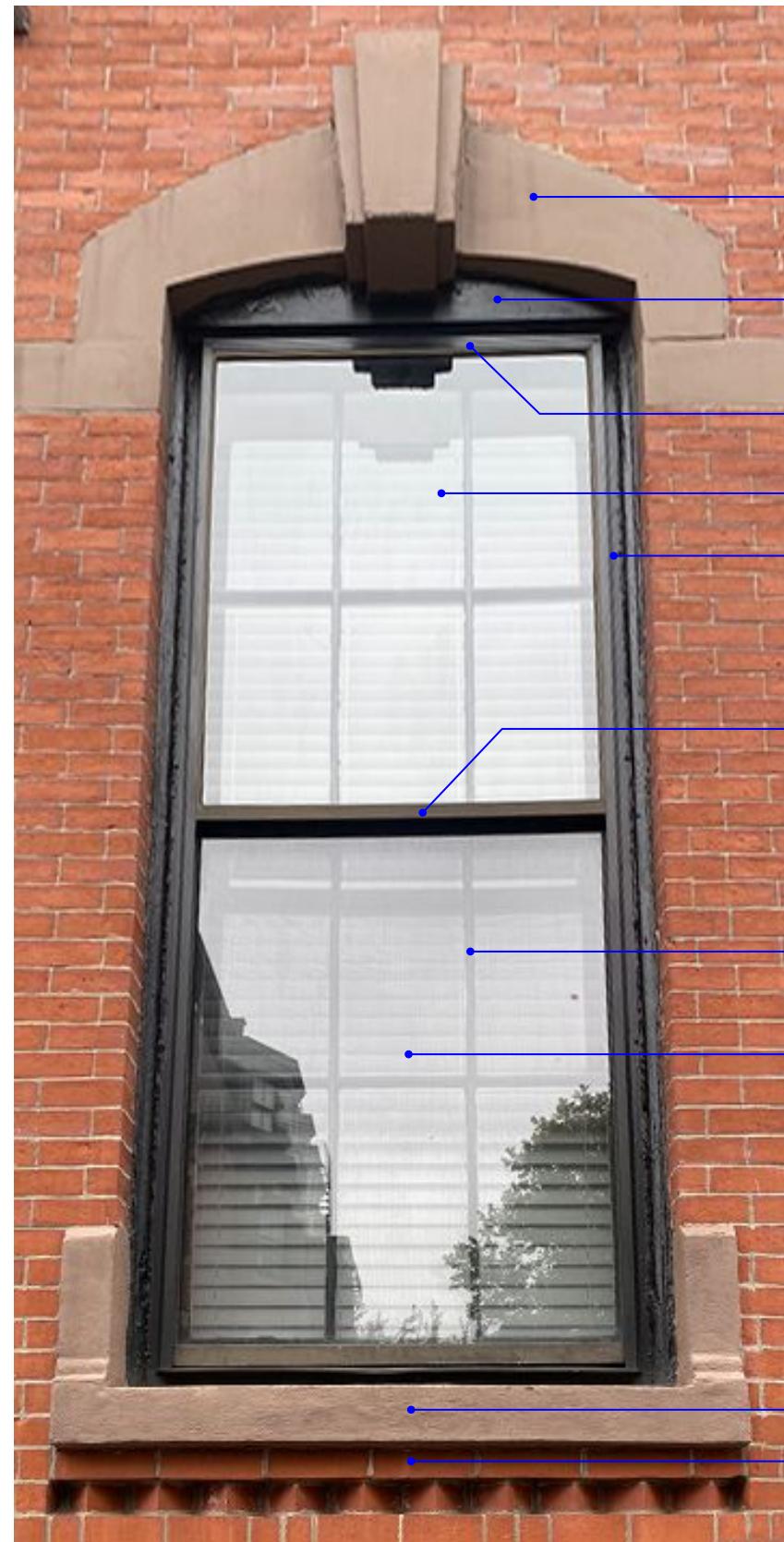


Back Elevation

Exterior Windows

263 Clarendon

Exterior Windows



This project proposes **replacing all exterior windows** with new wood windows.

- Painted black
- True divided Lite glass
- Historic bevelled/moulded profiles
- Remove exterior storm windows

Rear Stair

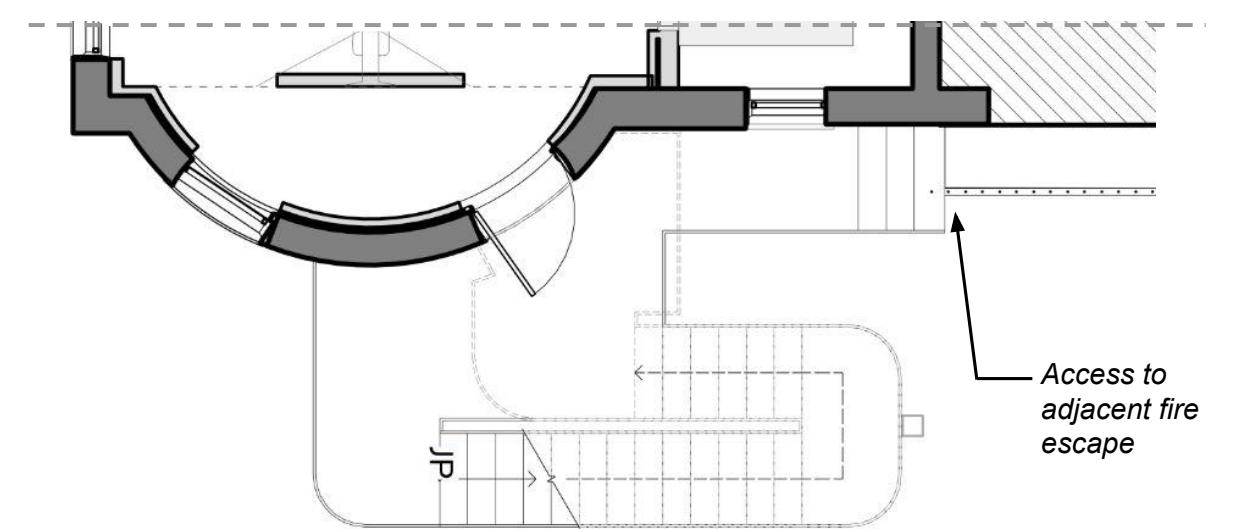
263 Clarendon

Rear Stairs

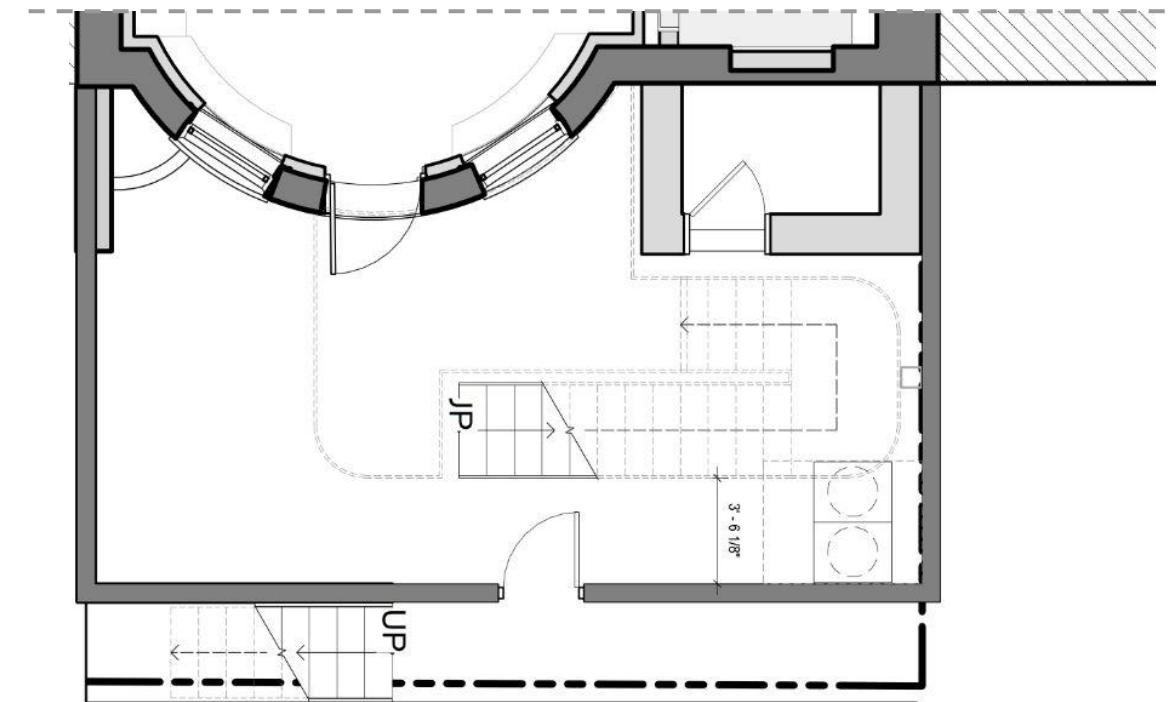
Levels 1&4



Elevation



Typical Level



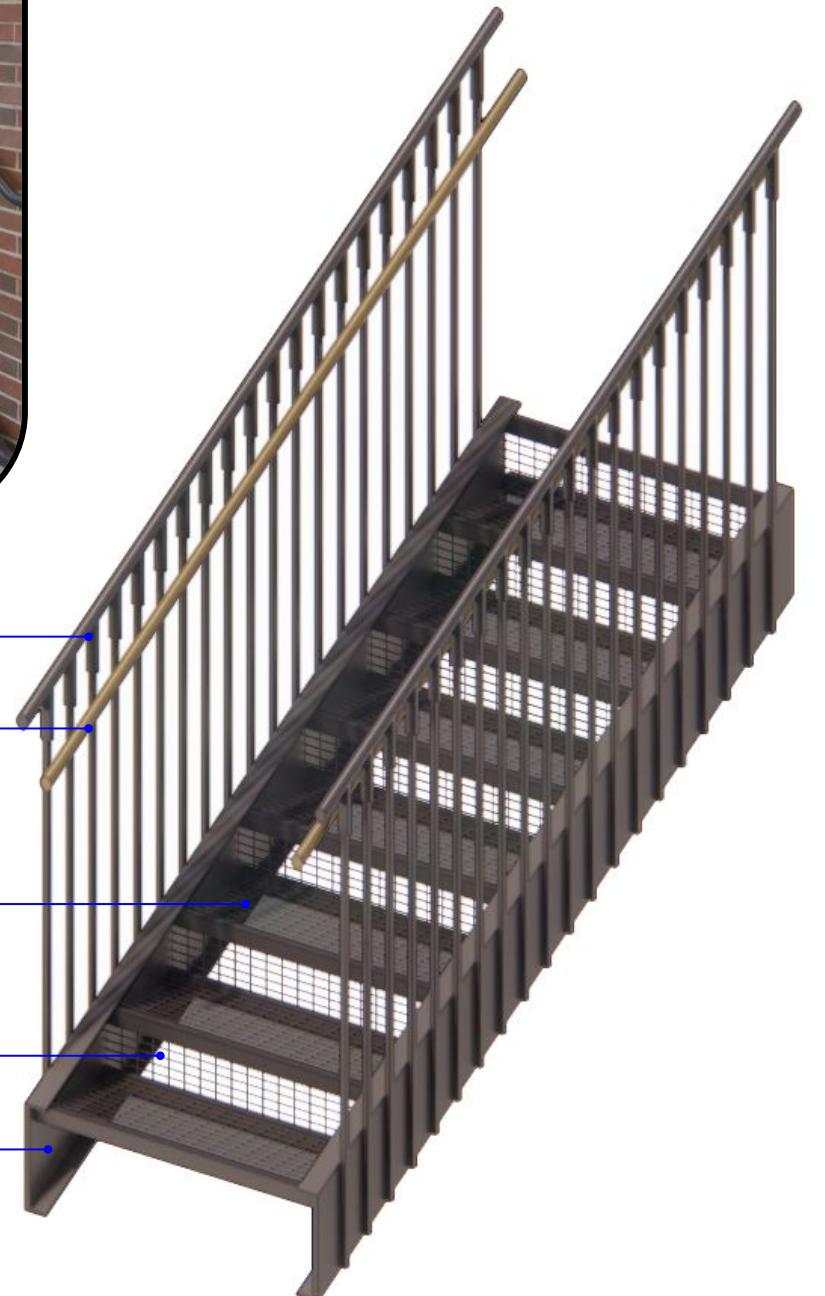
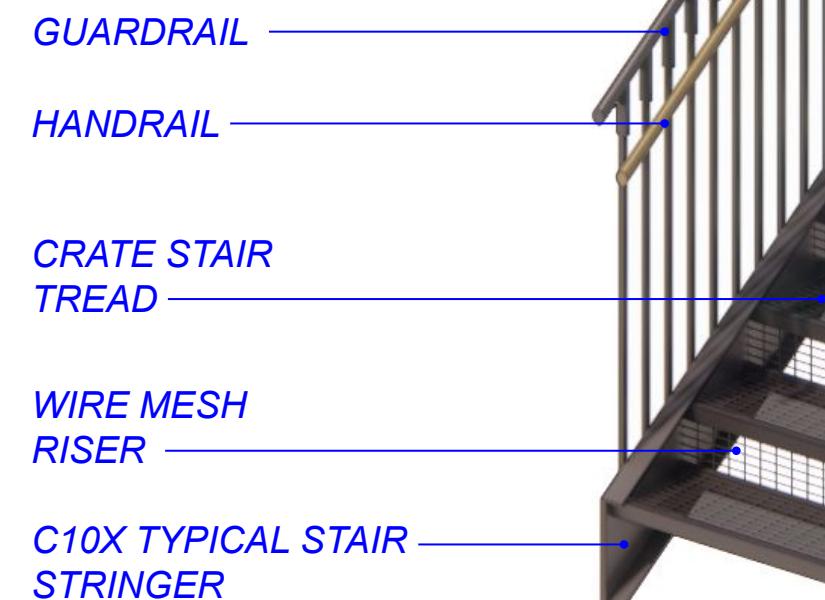
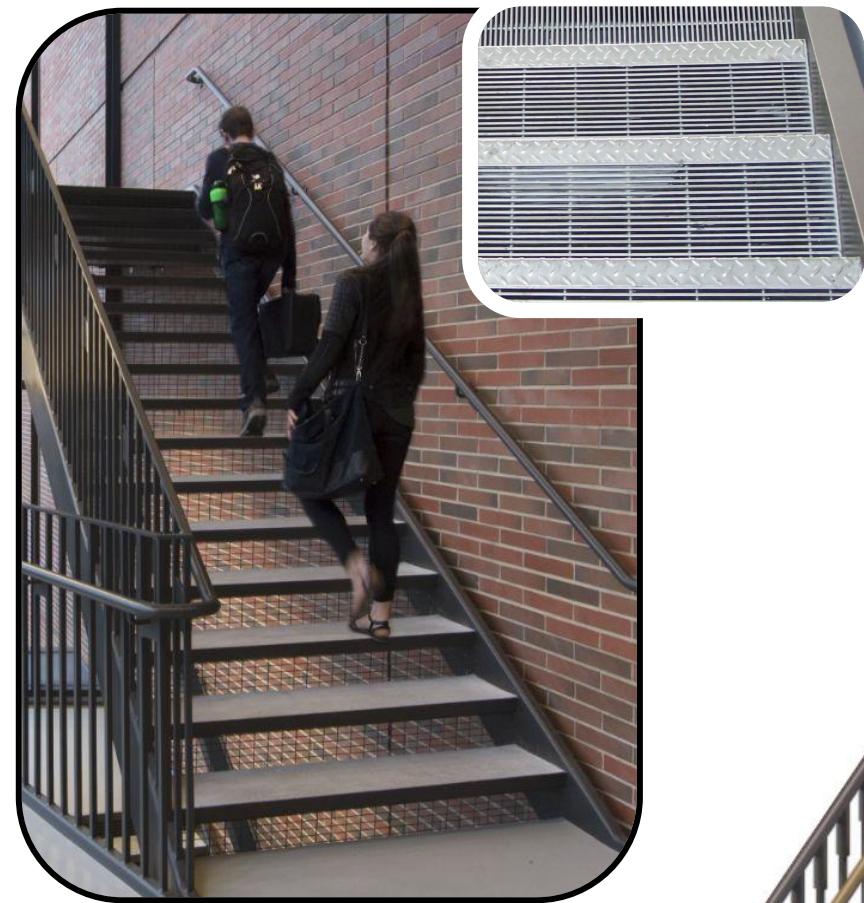
Level 01

Rear View

Exterior Stair



Elevation



Enlarged Stair Axonometric

Rear Addition

263 Clarendon

Rear Addition and Fence

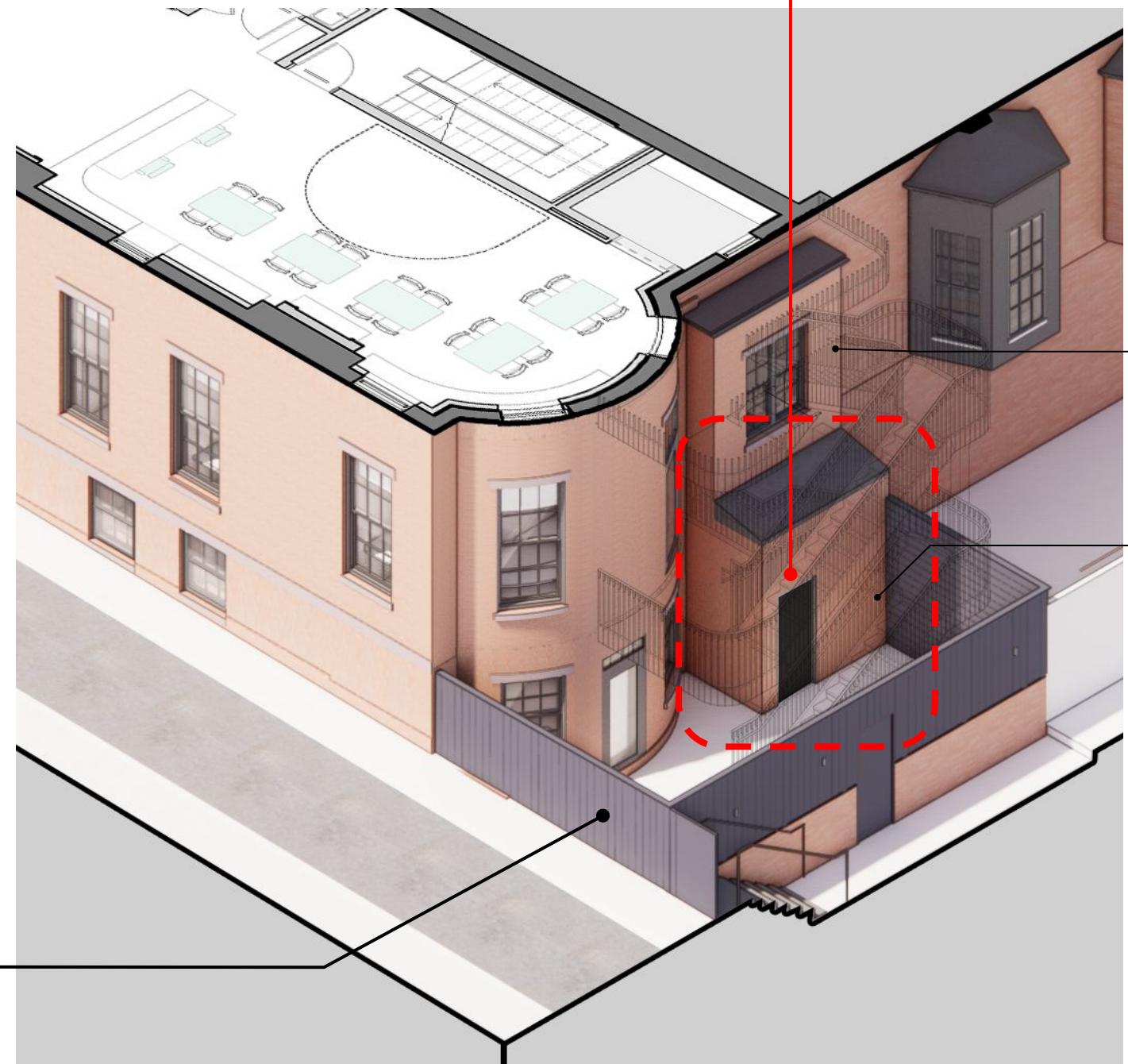
Previous SD Option



Existing

New Wood Fence

Proposed



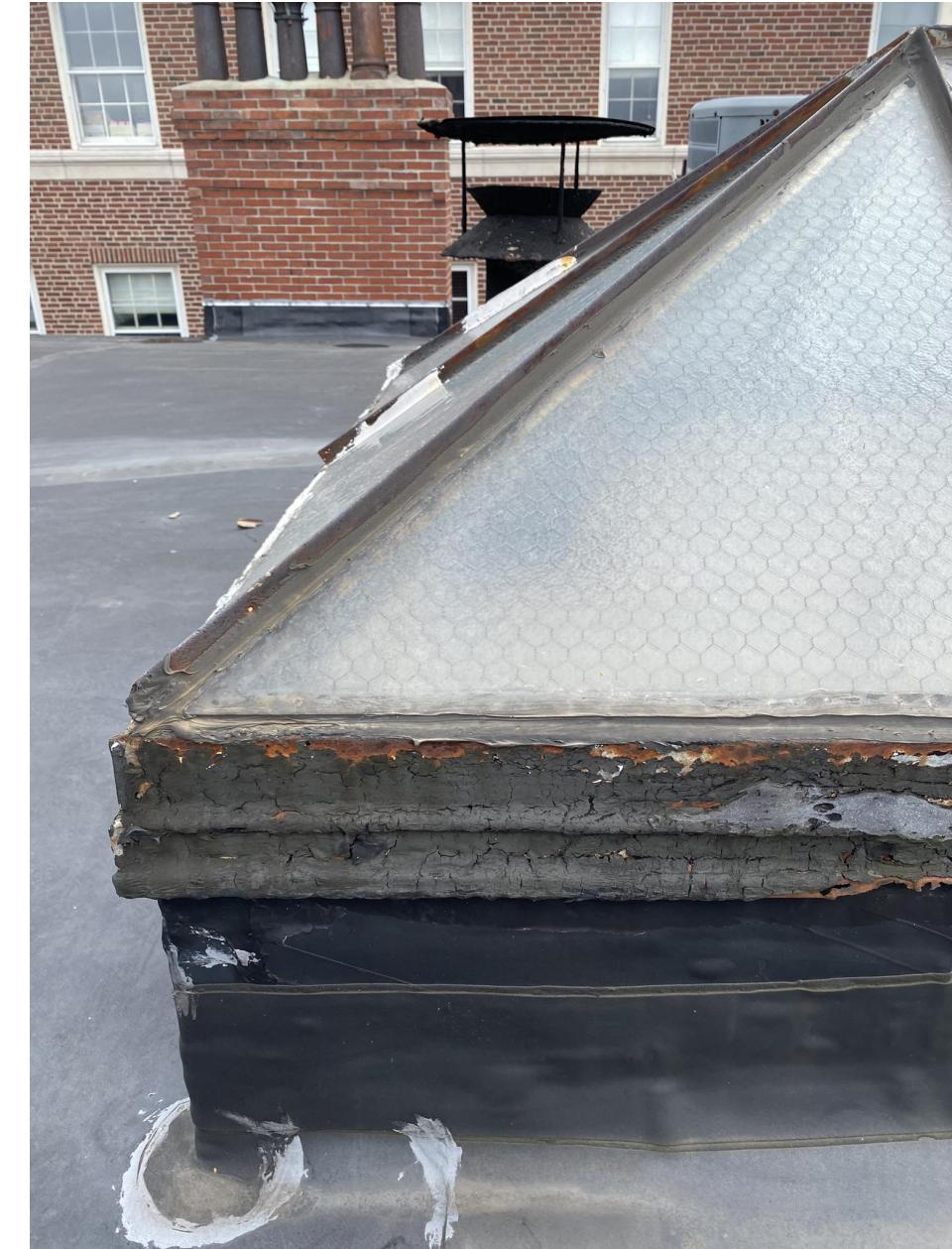
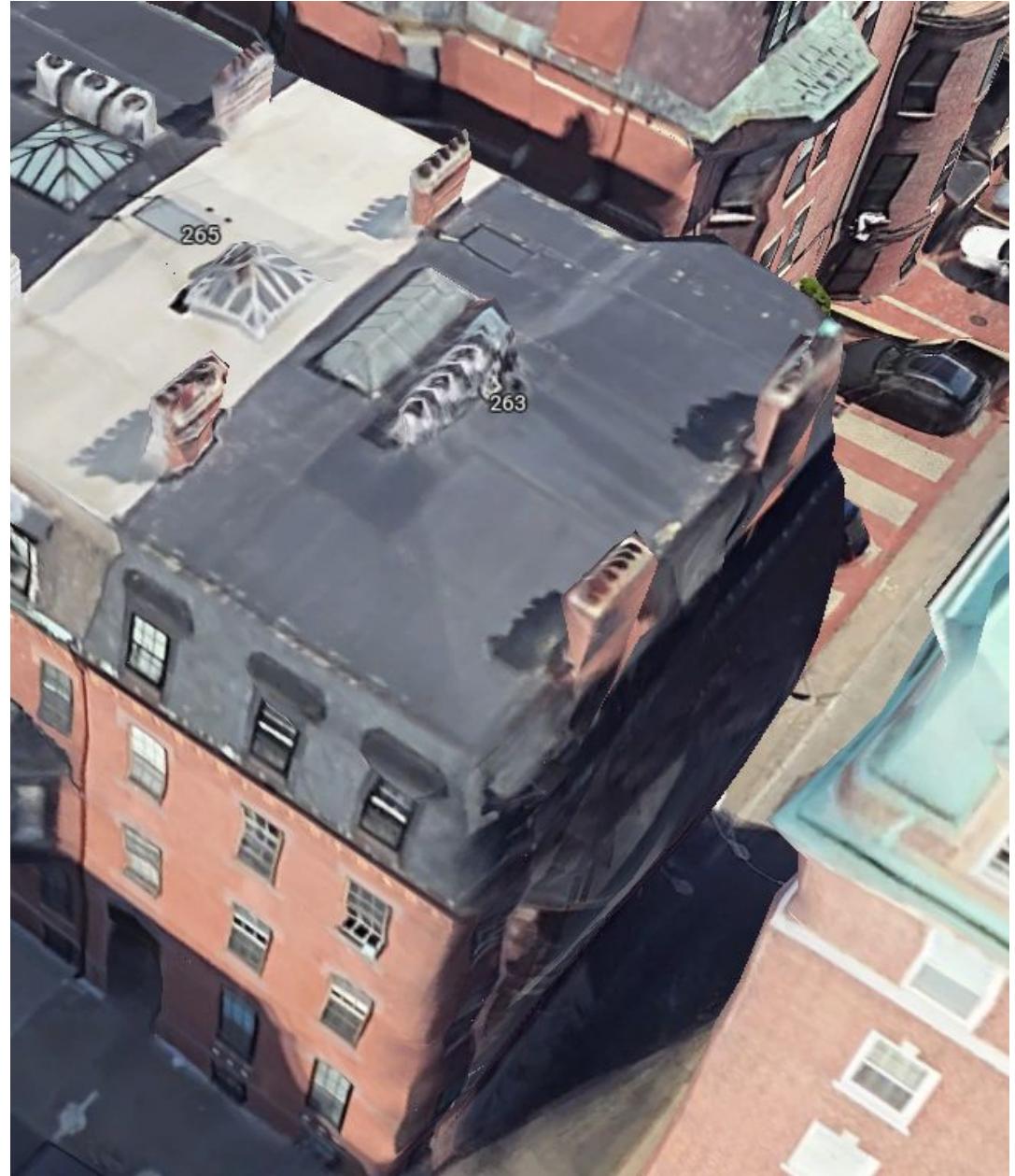
Additional interior coordination in progress. Utile still determining whether this addition is required, and extents.

Rooftop Elements

263 Clarendon

Skylight

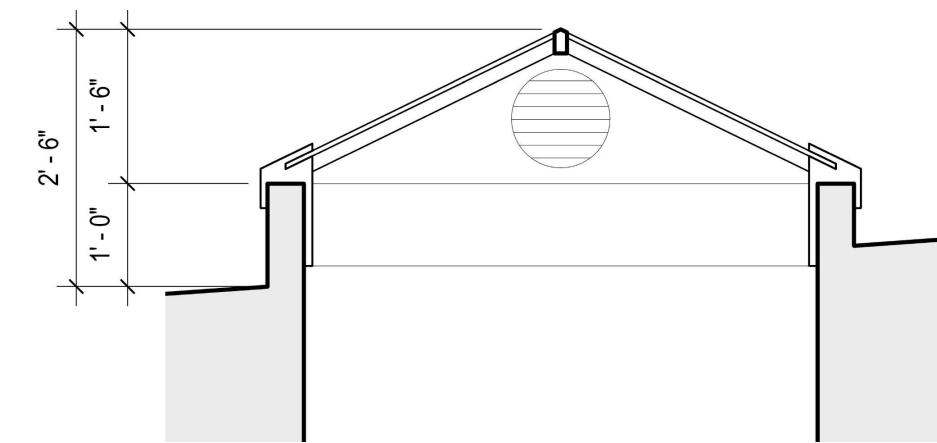
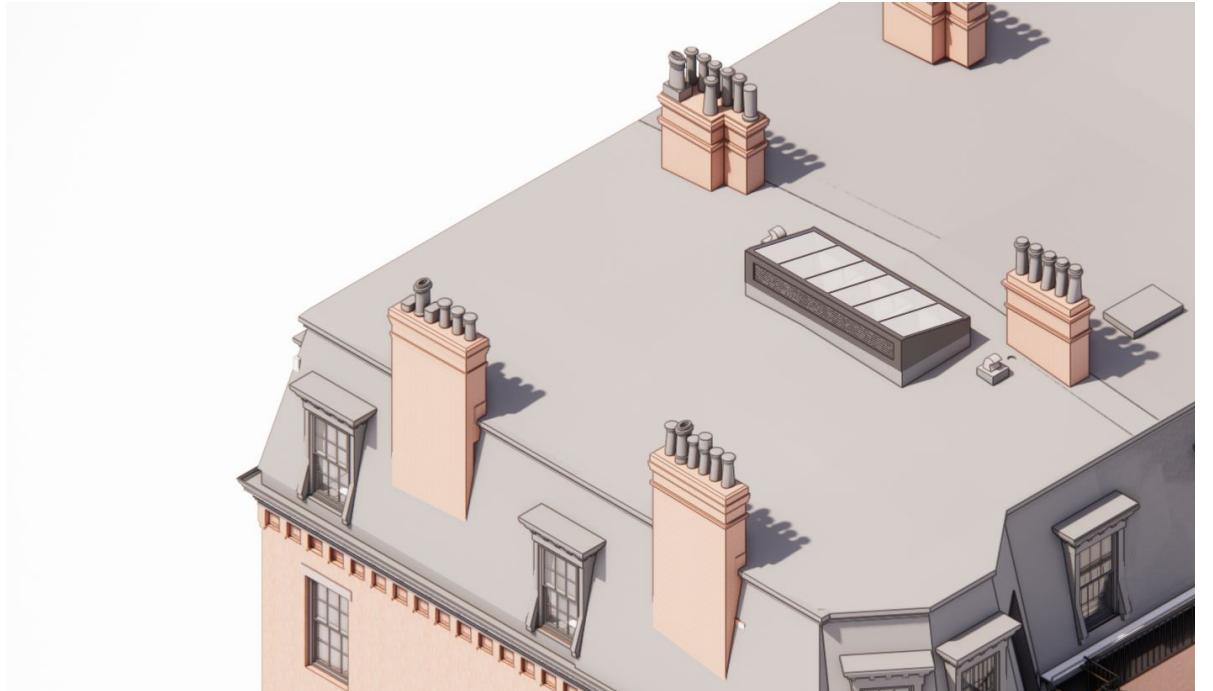
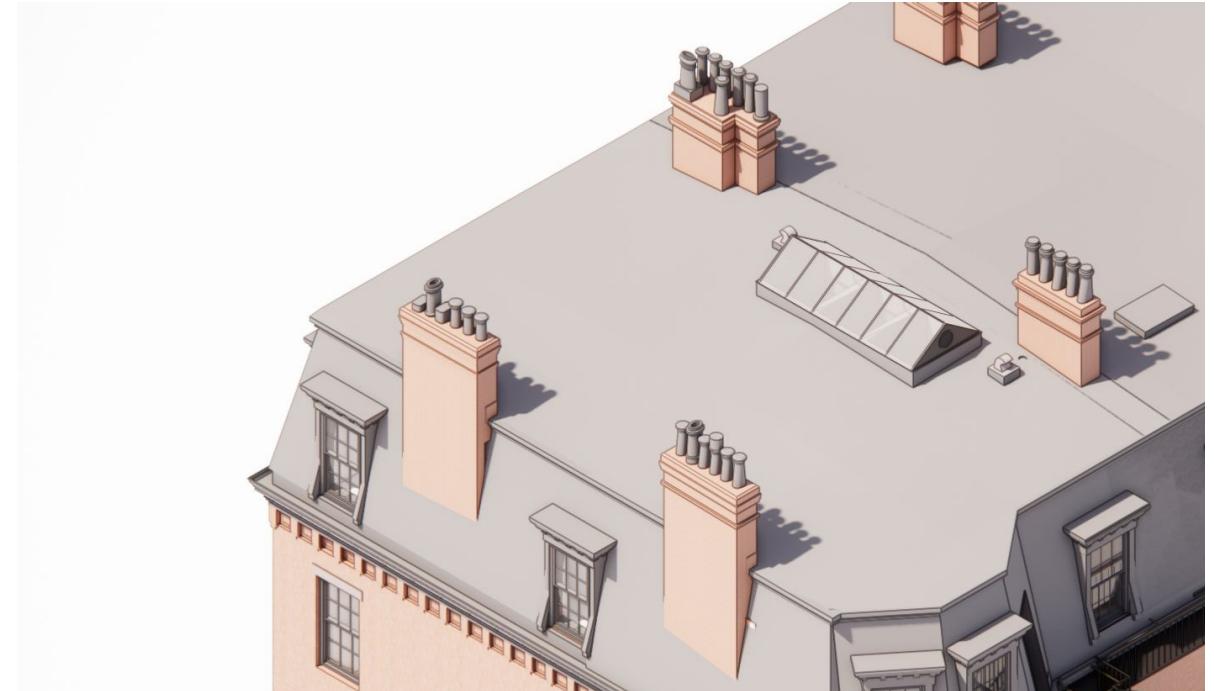
Existing Condition at 263 Clarendon



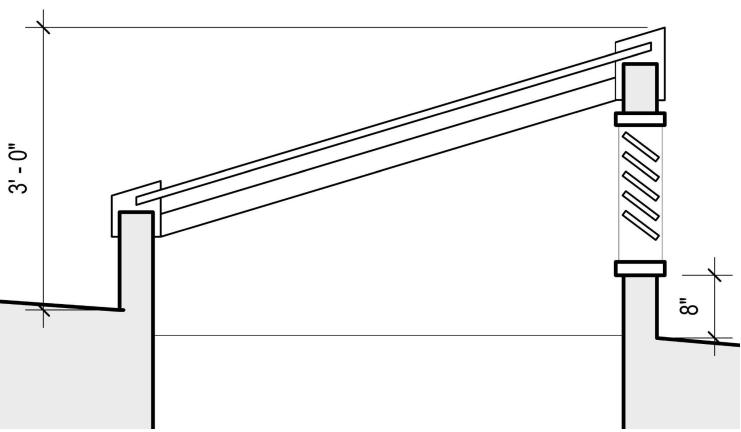
***The existing Skylight is failing. A new skylight must be provided.
This skylight will be minimally visible from the street level.***

Skylight

Design proposal options



Option 1

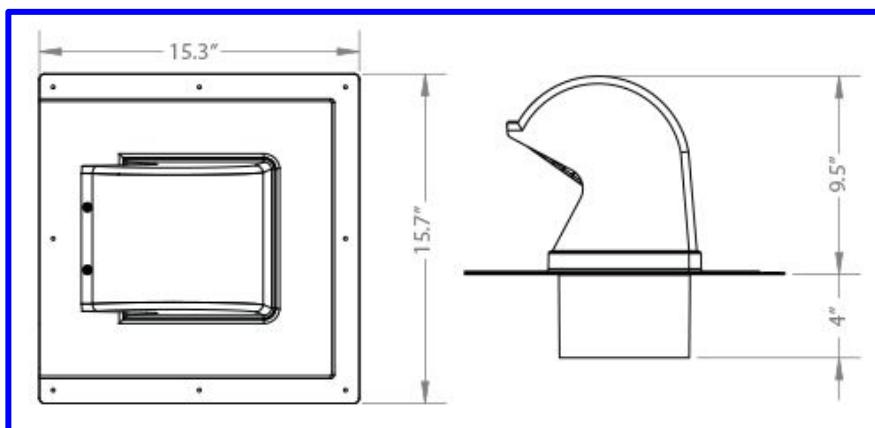
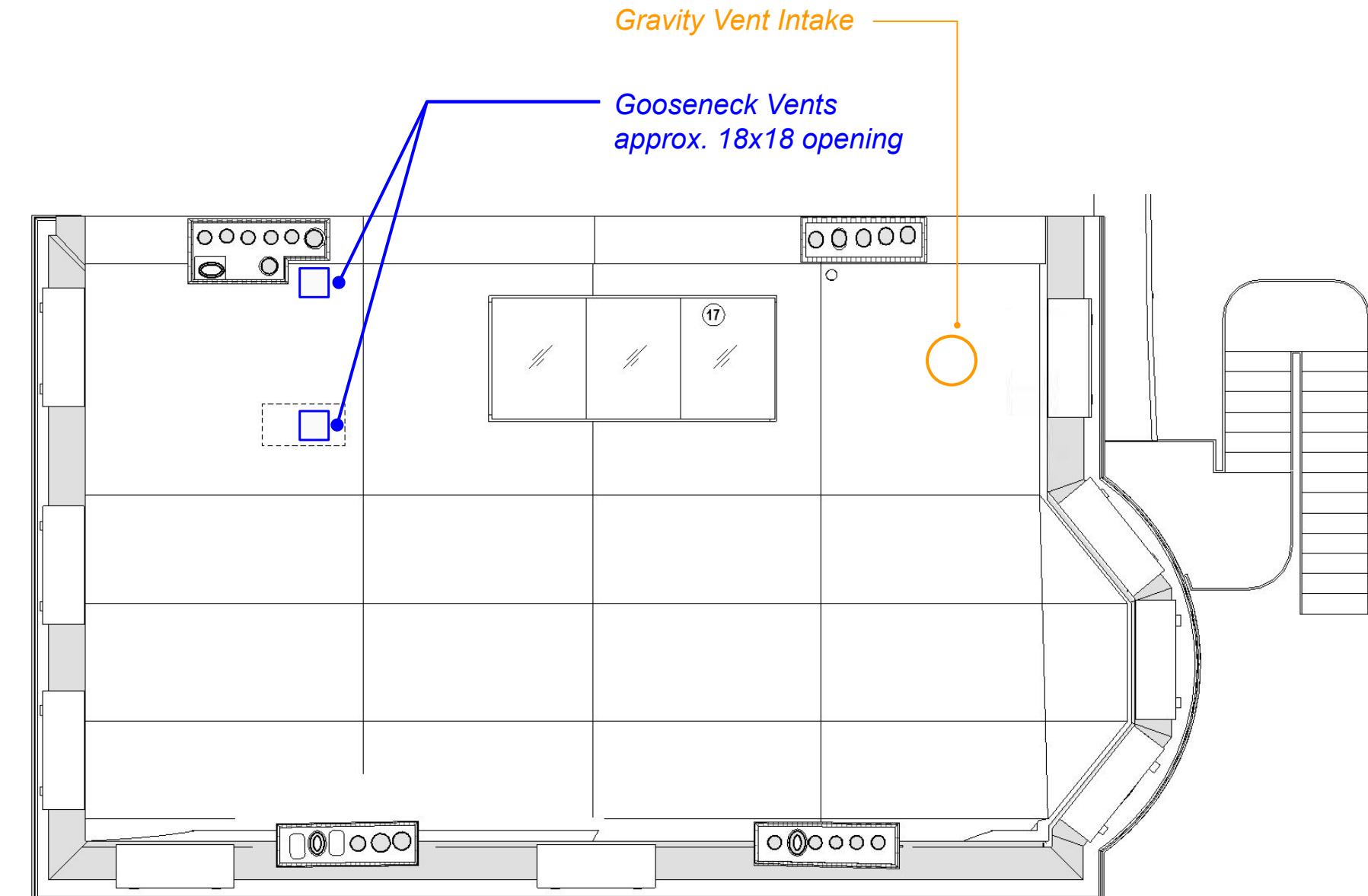


Option 2

Air Intakes



Eliminate (4) Rooftop Condensing Units



Two small gooseneck air vents must be added to the roof with a small curb. These will not be visible from the street. The project is not planning for any mechanical equipment on the roof.