

# PRIVATE RESIDENCE 169 COMMONWEALTH AVENUE

169 COMMONWEALTH AVENUE, UNIT 5  
BOSTON, MASSACHUSETTS 02116

## BACK BAY ARCHITECTURAL COMMISSION DRAWINGS ISSUED FOR REVIEW JUNE 15, 2026



PROJECT TEAM

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PITMAN & WARDLEY ASSOCIATES  
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STRUCTURAL ENGINEER  
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HOME AUTOMATION  
SYSTEM 7 TECHNOLOGY DESIGN  
48 DUNHAM ROAD, SUITE 1950  
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LIGHTING CONSULTANT  
VISUAL COMFORT AND CO.  
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AUDIO AND VISUAL CONSULTANT  
SEVENHOMES  
25 RUNDLETT WAY, SUITE 5  
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### ABBREVIATIONS

AFF ABOVE FINISHED FLOOR  
ACT ACOUSTICAL CEILING TILE  
ADA AMERICANS W/ DISABILITIES ACT  
APPROX APPROXIMATE  
ARCH ARCHITECTURAL  
AV AUDIO VISUAL

BLDG BUILDING  
BLKG BLOCKING  
BO BOTTOM OF

CAB CABINET  
CH CEILING HEIGHT  
CLR CLEAR  
CL CENTERLINE  
COL COLUMN  
CONT CONTINUOUS  
CMU CONCRETE MASONRY UNIT  
CJ CONTROL JOINT

DTL DETAIL  
DIA DIAMETER  
DIM DIMENSION  
DN DOWN  
DW DRAWING

(E) EXISTING  
EL ELEVATION  
ELEC ELECTRICAL  
EQ EQUAL

FD FLOOR DRAIN  
FO FACE OF  
FOC FACE OF CONCRETE  
FOF FACE OF FINISH  
FOS FACE OF STUD

GFIC GROUND FAULT INTERCEPTOR  
CIRCUIT

GSM GALVANIZED SHEET METAL  
GWB GYPSUM WALL BOARD

HVAC HEATING, VENTILATING, AND AIR  
CONDITIONING  
HB HOSE BIB  
HM HOLLOW METAL

MAX MAXIMUM  
MO MASONRY OPENING  
MECH MECHANICAL  
MEP MECHANICAL ELECTRICAL

PLUMBING  
MIN MINIMUM  
MISC MISCELLANEOUS  
MTL METAL

NIC NOT IN CONTRACT  
NO NUMBER  
NTS NOT TO SCALE

O/ OVER  
OC ON CENTER  
OD OUTSIDE DIAMETER  
OPN OPENING  
OPP OPPOSITE

PG PAINT GRADE  
PLY/WD FLYWOOD  
FTD PAINTED

RD ROOF DRAIN  
REQD REQUIRED  
ROD ROUGH OPENING

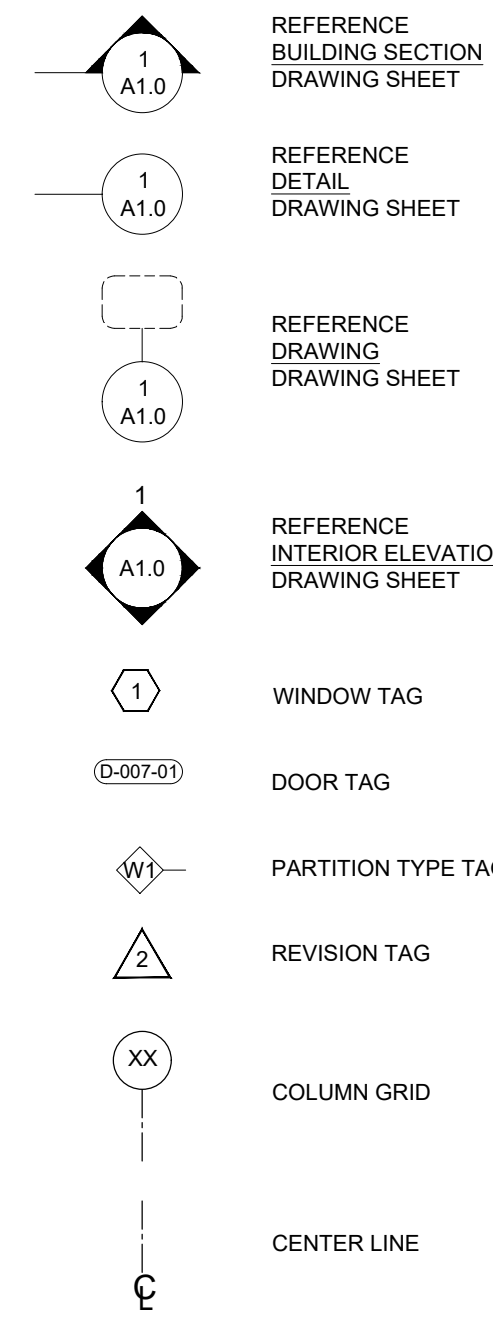
SCHED SCHEDULED  
SG STAIN GRADE  
SIM SIMILAR  
SLD SEE LANDSCAPE DRAWINGS  
SQ SQUARE  
SPEC SPECIFICATION  
SSD SEE STRUCTURAL DRAWINGS  
SSTL STAINLESS STEEL  
STL STEEL  
STOR STORAGE  
STRUCT STRUCTURAL  
SYM SYMMETRICAL

T TEMPERED  
TG TONGUE AND GROOVE  
THK THK  
TO TOP OF  
TS TUBULAR STEEL  
TYP TYPICAL

UNLESS OTHERWISE NOTED  
VERIFY IN FIELD

W/ WITH  
W/O WITHOUT  
WD WOOD  
WPM WATERPROOFING MEMBRANE

### SYMBOLS



### APPLICABLE BUILDING CODES

**BUILDING:**  
780 CMR, MASSACHUSETTS STATE BUILDING CODE, 10TH EDITION (AS AMENDED);  
2021 INTERNATIONAL BUILDING CODE (IBC), MASSACHUSETTS AMENDMENTS (780 CMR);  
2021 INTERNATIONAL RESIDENTIAL CODE (IRC), MASSACHUSETTS AMENDMENTS (780 CMR);  
2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC), MASSACHUSETTS AMENDMENTS (780 CMR).

**FIRE:**  
527 CMR 1.00: MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE (2021 EDITION), BASED ON NFPA 1 (2021) WITH MASSACHUSETTS AMENDMENTS.

**ACCESSIBILITY:**  
521 CMR, MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) REGULATIONS (2006 EDITION, AS AMENDED);  
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (ADAA 2010).

**ENERGY:**  
BASE ENERGY PROVISIONS AS ADOPTED/AMENDED UNDER 780 CMR (10TH EDITION), INCLUDING IECC 2021 PROVISIONS AS APPLICABLE;  
225 CMR 22.00 (LOW-RISE RESIDENTIAL) AND 225 CMR 23.00 (COMMERCIAL, MULTI-FAMILY, AND ALL OTHER) STRETCH / SPECIALIZED ENERGY CODE (MUNICIPAL OPT-IN), WHERE ADOPTED BY THE AHJ.

**ELECTRICAL:**  
527 CMR 12.00: MASSACHUSETTS ELECTRICAL CODE, BASED ON NFPA 70 (NEC 2023) WITH MASSACHUSETTS AMENDMENTS.

**MECHANICAL:**  
2021 INTERNATIONAL MECHANICAL CODE (IMC), WITH MASSACHUSETTS AMENDMENTS (AS ADOPTED BY 780 CMR).

**ELEVATOR:**  
524 CMR, MASSACHUSETTS BOARD OF ELEVATOR REGULATIONS, INCLUDING ASME A17.1-2013/CSA B44-13 AS AMENDED.

**PLUMBING / GAS:**  
248 CMR 10.00: MASSACHUSETTS UNIFORM STATE PLUMBING CODE (AS AMENDED).

**LOCAL REQUIREMENTS:**  
ALL WORK SHALL ALSO COMPLY WITH ANY APPLICABLE LOCAL ORDINANCES, AHJ INTERPRETATIONS, AND MUNICIPAL OPT-IN ENERGY REQUIREMENTS IN EFFECT AT TIME OF PERMIT APPLICATION.

### GENERAL REQUIREMENTS

- THE CONTRACTOR SHALL STRICTLY COMPLY WITH ALL CODES, ORDINANCES, RULES, AND REGULATIONS HAVING JURISDICTION, INCLUDING FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR BUILDING, ZONING, FIRE/LIFE SAFETY, ACCESSIBILITY, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ENERGY, AND SPECIAL INSPECTIONS WHERE APPLICABLE.
- ALL WORK SHALL BE PERFORMED BY PROPERLY LICENSED AND INSURED CONTRACTORS AND SUBCONTRACTORS. CERTIFICATES OF INSURANCE SHALL BE PROVIDED TO THE OWNER AND PITMAN & WARDLEY ASSOCIATES LLC PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL EXAMINE ALL CONTRACT DOCUMENTS AND FIELD CONDITIONS AND SHALL FIELD-VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO BIDDING, FABRICATION, AND INSTALLATION. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN.
- IF DISCREPANCIES, ERRORS, OMISSIONS, OR CONFLICTS ARE FOUND IN THE CONTRACT DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY PITMAN & WARDLEY ASSOCIATES LLC IN WRITING AND SHALL OBTAIN WRITTEN DIRECTION PRIOR TO PROCEEDING. WORK PERFORMED WITHOUT SUCH NOTICE AND DIRECTION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, ACCESSORIES, SERVICES, AND COORDINATION REQUIRED TO COMPLETE THE WORK AS INDICATED AND IMPLIED BY THE CONTRACT DOCUMENTS FOR A COMPLETE, CODE-COMPLIANT, AND OPERABLE INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES, INSPECTIONS, TESTING, COMPLIANCE DOCUMENTATION, AND FINAL APPROVALS REQUIRED TO COMPLETE THE WORK, INCLUDING CERTIFICATE OF OCCUPANCY OR EQUIVALENT CLOSEOUT DOCUMENTATION AS REQUIRED BY AHJ.
- CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCING, AND JOBSITE SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ARCHITECT SITE VISITS ARE FOR GENERAL OBSERVATION OF WORK IN PROGRESS AND DO NOT CONSTITUTE CONTINUOUS INSPECTION OR SAFETY OVERSIGHT.
- NO DEVIATIONS, SUBSTITUTIONS, OR CHANGES IN SCOPE SHALL BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM PITMAN & WARDLEY ASSOCIATES LLC AND, WHERE REQUIRED, THE OWNER AND AHJ. VERBAL DIRECTIONS SHALL NOT AUTHORIZE CHANGES.
- SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES SHALL BE SUBMITTED AS REQUIRED. FABRICATION OR INSTALLATION PRIOR TO WRITTEN REVIEW/APPROVAL IS AT CONTRACTOR'S SOLE RISK AND EXPENSE. ARCHITECT REVIEW IS FOR GENERAL CONFORMANCE WITH DESIGN INTENT ONLY AND DOES NOT RELIEVE CONTRACTOR OF RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, COORDINATION, OR CODE COMPLIANCE.
- THE CONTRACTOR SHALL COORDINATE ALL TRADES AND CONSULTANT REQUIREMENTS (ARCHITECTURAL, STRUCTURAL, CIVIL, MEP, FIRE PROTECTION, LOW VOLTAGE, ETC.). PROVIDE ALL OPENINGS, SLEEVES, CHASES, BLOCKING, BACKING, ACCESS PANELS, SUPPORTS, AND RELATED WORK REQUIRED FOR A COMPLETE INSTALLATION WHETHER OR NOT SPECIFICALLY INDICATED.
- THE CONTRACTOR SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING AT ALL TIMES. TEMPORARY SHORING, BRACING, WEATHERPROOFING, AND SECURITY SHALL BE PROVIDED AS REQUIRED. DO NOT CUT OR ALTER STRUCTURAL MEMBERS WITHOUT WRITTEN DIRECTION FROM THE ENGINEER/ARCHITECT AND APPROVAL BY AHJ WHERE REQUIRED.
- WORK SHALL BE EXECUTED IN A FIRST-CLASS, WORKMANLIKE MANNER AND TO THE HIGHEST STANDARDS OF EACH RESPECTIVE TRADE. INSTALL ALL MATERIALS AND SYSTEMS PER MANUFACTURER REQUIREMENTS AND INDUSTRY STANDARDS.
- DEMOLITION SHALL BE PERFORMED AS REQUIRED FOR THE WORK. REMOVE DEBRIS PROMPTLY AND LEGALLY FROM THE SITE. MAINTAIN BROOM-CLEAN CONDITIONS DAILY AND PROVIDE A FINAL CLEAN AT COMPLETION FOR TURNOVER IN A TURN-KEY CONDITION.
- PROTECT EXISTING CONDITIONS, ADJACENT PROPERTIES, AND FINISHED WORK. ANY DAMAGE CAUSED BY THE CONTRACTOR OR SUBCONTRACTORS SHALL BE REPAIRED OR REPLACED TO MATCH ADJACENT CONDITIONS AT NO COST TO THE OWNER.
- CONCEALED OR UNFORESEEN CONDITIONS: UPON DISCOVERY OF CONDITIONS NOT SHOWN OR NOT REASONABLY ANTICIPATED, STOP AFFECTED WORK AND NOTIFY THE OWNER AND PITMAN & WARDLEY ASSOCIATES LLC IMMEDIATELY. DO NOT PROCEED UNTIL WRITTEN DIRECTION IS ISSUED.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY PITMAN & WARDLEY ASSOCIATES LLC UPON DISCOVERY OF ANY ENVIRONMENTALLY HAZARDOUS MATERIALS OR CONDITIONS (INCLUDING SUSPECTED ACM/LEAD/MOLD). DO NOT DISTURB SUSPECT MATERIALS UNTIL PROPERLY EVALUATED AND REMEDIATED UNDER SEPARATE CONTRACT BY QUALIFIED PERSONNEL AS REQUIRED.
- ALL WORK IMPACTING FIRE-RESISTANCE-RATED, SMOKE-RATED, ACOUSTICALLY RATED, OR LIFE SAFETY ASSEMBLIES SHALL MAINTAIN REQUIRED RATINGS. DO NOT CONCEAL SUCH WORK UNTIL INSPECTED AND APPROVED BY AHJ WHERE REQUIRED. ALL PENETRATIONS SHALL BE PROPERLY SEALED/FIRESTOPPED.
- THE CONTRACTOR SHALL MAINTAIN ONE (1) COMPLETE SET OF CURRENT CONTRACT DOCUMENTS ON SITE AT ALL TIMES, INCLUDING ALL ADDENDA, BULLETINS, ASI&CDS, FIELD DIRECTIVES, AND APPROVED SUBMITTALS. OUTDATED SETS SHALL BE REMOVED FROM THE SITE.
- THE ARCHITECT SHALL HAVE ACCESS TO THE WORK AT ALL TIMES. THE CONTRACTOR SHALL PROVIDE SAFE ACCESS AND REASONABLE NOTICE FOR OBSERVATIONS, INSPECTIONS, AND PUNCHLIST WALKTHROUGHS. WORK COVERED WITHOUT OPPORTUNITY FOR REVIEW MAY BE SUBJECT TO REMOVAL AND REPAIR AT CONTRACTOR'S EXPENSE.
- ENERGY CODE COMPLIANCE: PROJECT SHALL COMPLY WITH APPLICABLE BASE ENERGY CODE REQUIREMENTS AND ANY MUNICIPAL OPT-IN STRETCH/SPECIALIZED ENERGY CODE REQUIREMENTS WHERE ADOPTED BY AHJ. RESPONSIBILITY FOR CONFIRMING APPLICABLE OPT-IN REQUIREMENTS AND PROVIDING REQUIRED DOCUMENTATION SHALL REST WITH THE OWNER/CONTRACTOR TEAM.
- ALL DEMOLITION, RENOVATION, AND PAINT DISTURBANCE ACTIVITIES SHALL COMPLY WITH ALL APPLICABLE EPA REQUIREMENTS, INCLUDING THE RENOVATION, REPAIR AND PAINTING (RRP) RULE WHERE APPLICABLE, AND ALL STATE/LOCAL REQUIREMENTS.
- CLOSEOUT: CONTRACTOR SHALL COORDINATE ALL FINAL INSPECTIONS AND PROVIDE REQUIRED CLOSEOUT DOCUMENTATION INCLUDING WARRANTIES, MANUALS, TEST REPORTS, FINAL SIGN-OFFS, AND CERTIFICATE OF OCCUPANCY (OR EQUIVALENT) TO THE OWNER AND PITMAN & WARDLEY ASSOCIATES LLC PRIOR TO FINAL PAYMENT.

### VICINITY MAP



### ZONING REVIEW

PROJECT ADDRESS: 169 COMMONWEALTH AVENUE, BOSTON MASSACHUSETTS 02116  
PARCEL ID: 0602944000  
MAP NO. 1  
ARTICLE: UNDERLYING ZONING

ZONING DISTRICT: BOSTON PROPER  
ZONING SUB-DISTRICT: H-3-65  
ZONING SUB-DISTRICT TYPE: APARTMENT RESIDENTIAL  
ZONING OVERLAYS: GROUNDWATER CONSERVATION OVERLAY DISTRICT  
RESTRICTED PARKING DISTRICT  
BACK BAY ARCHITECTURAL DISTRICT

	ALLOWABLE	EXISTING	PROPOSED	COMPLIANCE
LOT AREA	N/A	3,486 SQFT	3,486 SQFT	COMPLIANT
LOT WIDTH X DEPTH	N/A	28'-0"W x 124'-6"D	28'-0"W x 124'-6"D	COMPLIANT
F.A.R.	3.0	3.03	3.04	COMPLIANT
BUILDING HEIGHT	65'-0" MAX	53'-2"	63'-5"	COMPLIANT
OPEN SPACE	50 SF / UNIT	500 SF	500 SF (100 SF/UNIT)	COMPLIANT
FRONT YARD SETBACK	STREET AVERAGE	20'-0" (NO CHANGE)	20'-0" (NO CHANGE)	COMPLIANT
SIDE YARD SETBACK	0'-0"	0'-0"	0'-0"	COMPLIANT
REAR YARD SETBACK	25% LOT DEPTH (30'-6")	+/- 24'-10"	+/- 24'-10" (NO CHANGE)	COMPLIANT

### PROJECT SCOPE

THE SCOPE OF WORK UNDER THIS PERMIT INCLUDES THE INTERIOR RENOVATION OF AN EXISTING RESIDENTIAL UNIT WITHIN AN EXISTING MULTI-UNIT BUILDING, TOGETHER WITH THE CONSTRUCTION OF A NEW APPROXIMATELY 250 SF ROOF HEADHOUSE. WORK INCLUDES, BUT IS NOT LIMITED TO, SELECTIVE DEMOLITION, NEW AND MODIFIED INTERIOR PARTITIONS, FRAMING AND STRUCTURAL COORDINATION; ELECTRICAL, MECHANICAL/HVAC, AND PLUMBING ROUGH-IN AND FINISH WORK; LIGHTING AND LOW-VOLTAGE INFRASTRUCTURE; AND NEW INTERIOR FINISHES AND MILLWORK THROUGHOUT. ALL ASSOCIATED EXTERIOR WORK NECESSARY TO SUPPORT THE ROOF HEADHOUSE/DECK CONSTRUCTION AND TO MAINTAIN A WEATHER-TIGHT, CODE-COMPLIANT BUILDING ENVELOPE IS INCLUDED.

ALL REQUIRED LIFE SAFETY WORK, INCLUDING ANY MODIFICATIONS TO FIRE ALARM, SPRINKLER, SMOKE DETECTION, EMERGENCY LIGHTING, AND EGRESS COMPONENTS AS APPLICABLE, SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR UNDER SEPARATE TRADE PERMITS AS REQUIRED, AND SHALL BE TESTED AND APPROVED BY THE AUTHORITY HAVING JURISDICTION AND INTEGRATED WITH THE BUILDING'S EXISTING FIRE ALARM SYSTEM.

ELECTRICAL WORK SHALL BE PROVIDED ON A DESIGN-BUILD BASIS BY THE GENERAL CONTRACTOR'S LICENSED ELECTRICAL SUBCONTRACTOR, INCLUDING ALL REQUIRED LOAD CALCULATIONS, PANEL/SERVICE VERIFICATION, COORDINATION, PERMITTING, INSPECTIONS, AND FINAL SIGN-OFFS.

MECHANICAL/HVAC WORK SHALL BE PROVIDED ON A DESIGN-BUILD BASIS BY THE GENERAL CONTRACTOR'S LICENSED MECHANICAL SUBCONTRACTOR, INCLUDING SYSTEM DESIGN, EQUIPMENT SELECTION, COORDINATION WITH ARCHITECTURAL INTENT AND AVAILABLE CLEARANCES, PERMITTING, START-UP, TESTING, AND COMMISSIONING AS APPLICABLE.



### EXISTING BUILDING OVERVIEW

EXISTING OCCUPANCY: GROUP R-3 (MULTI-FAMILY)  
PROPOSED OCCUPANCY: GROUP R-2 (MULTI-FAMILY)  
HEIGHT AND AREA:  
MIN. CONSTRUCTION TYPE:

### PROJECT DATA

EXISTING SQUARE FOOTAGE	
FIFTH LEVEL	2,096 SQFT
ROOF LEVEL	65 SQFT
TOTAL	2,161 SQFT

PROPOSED SQUARE FOOTAGE	
FIFTH LEVEL	2,139 SQFT
ROOF LEVEL	254 SQFT
TOTAL	2,393 SQFT

GENERAL NOTE:  
ALL SQUARE FOOTAGE FIGURES INDICATED ABOVE ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE AND COORDINATION PURPOSES ONLY. THESE FIGURES SHALL NOT BE CONSTRUCTED AS THE GROSS FLOOR AREA USED FOR THE FLOOR AREA CALCULATIONS. GROSS FLOOR AREA FOR FARZONING PURPOSES HAS BEEN CALCULATED SEPARATELY IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS AND DEFINITIONS OF THE BOSTON ZONING CODE.

### PROJECT

PRIVATE RESIDENCE  
169 COMMONWEALTH AVENUE  
169 COMMONWEALTH AVENUE, UNIT 5  
BOSTON, MASSACHUSETTS 02116

FOR OWNER:  
SANDRA & PAUL LALLI  
169 COMMONWEALTH AVENUE  
BOSTON, MASSACHUSETTS 02116

### SUBMISSION

BACK BAY ARCHITECTURAL  
COMMISSION  
DRAWINGS ISSUED FOR REVIEW  
JUNE 15, 2026

### ISSUE

ISSUE	DATE	DESCRIPTION

### TITLE

COVER PAGE

### SEAL AND SIGNATURE

### SHEET NUMBER

BBAC - 01

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1 COMMONWEALTH AVENUE ELEVATION - PROPOSED  
SCALE: 1/4" = 1'-0"

PROJECT TEAM

ARCHITECT  
PITMAN & WARDLEY ASSOCIATES  
32 CHURCH STREET, 3RD FLOOR  
SALEM, MASSACHUSETTS 01970  
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PROJECT

**PRIVATE RESIDENCE**  
**169 COMMONWEALTH AVENUE**  
169 COMMONWEALTH AVENUE, UNIT 5  
BOSTON, MASSACHUSETTS 02116

FOR OWNER:  
SANDRA & PAUL LALLI  
169 COMMONWEALTH AVENUE  
BOSTON, MASSACHUSETTS 02116

SUBMISSION

**BACK BAY ARCHITECTURAL  
COMMISSION**  
DRAWINGS ISSUED FOR REVIEW  
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ISSUE

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TITLE

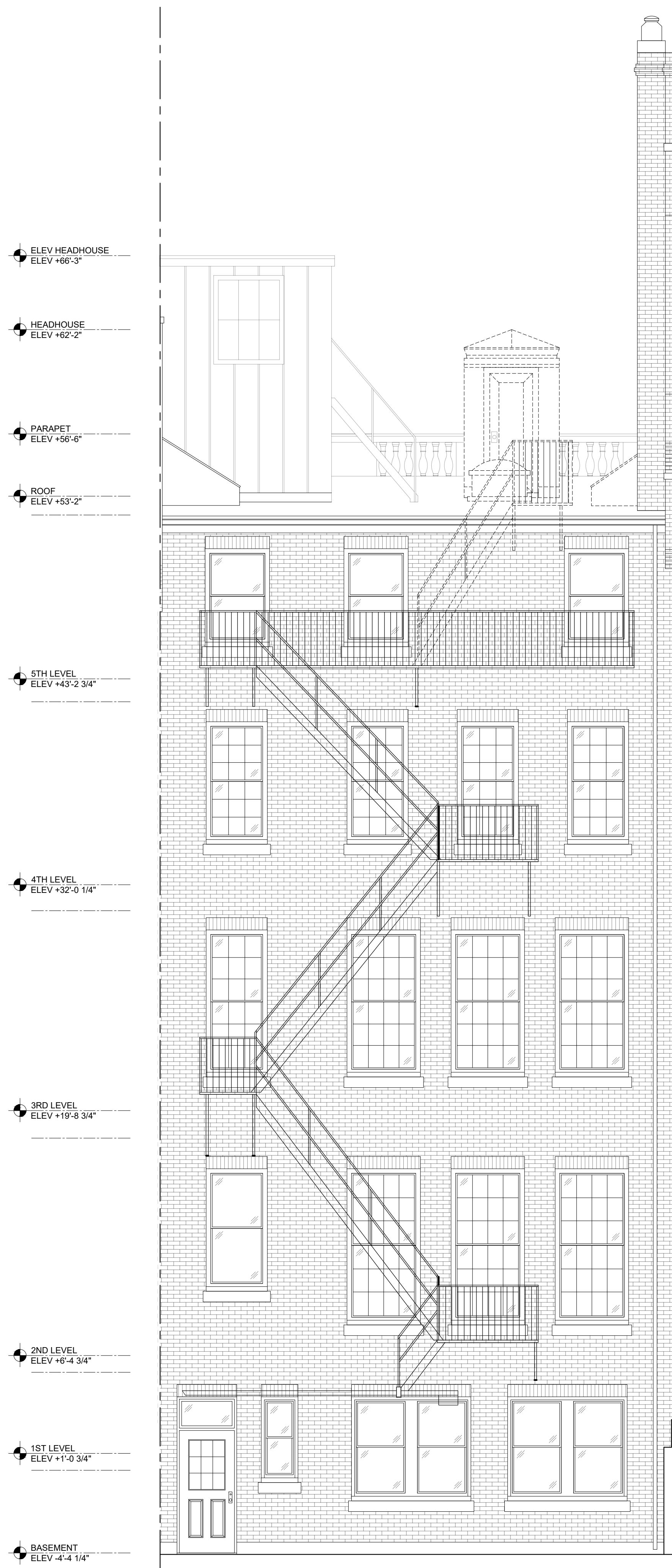
**EXISTING AND PROPOSED  
COMMONWEALTH AVENUE  
ELEVATIONS**

SEAL AND SIGNATURE

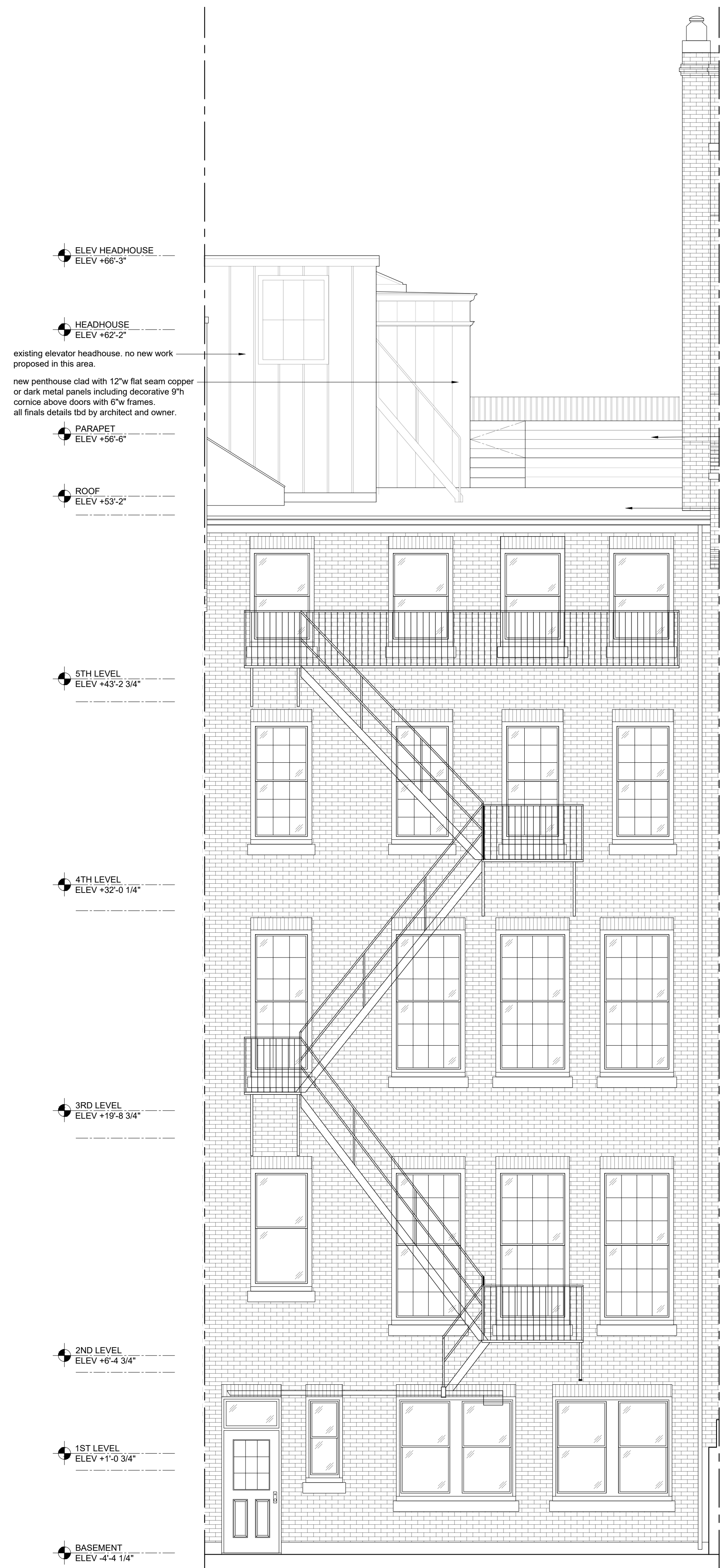
SHEET NUMBER

**BBAC - 03**

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**2 REAR ALLEY ELEVATION - EXISTING**  
SCALE: 1/4" = 1'-0"



**2 REAR ALLEY ELEVATION - PROPOSED**  
SCALE: 1/4" = 1'-0"

**GENERAL HISTORIC COMMISSION NOTES:**

- ALL EXTERIOR WORK SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE BACK BAY ARCHITECTURAL COMMISSION (BBAC) AS REQUIRED BY THE CITY OF BOSTON AND ALL APPLICABLE RULES, REGULATIONS, AND GUIDELINES GOVERNING THE BACK BAY ARCHITECTURAL DISTRICT.
- NO EXTERIOR WORK SHALL PROCEED UNTIL ALL REQUIRED BBAC APPROVALS, CERTIFICATES, DETERMINATIONS, AND OTHER APPLICABLE AUTHORIZATIONS HAVE BEEN OBTAINED. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROVED SUBMISSION DOCUMENTS.
- THE CONTRACTOR SHALL VERIFY THAT ALL WORK CONFORMS TO THE APPROVED BBAC SUBMISSION, INCLUDING BUT NOT LIMITED TO APPROVED LOCATIONS, DIMENSIONS, SETBACKS, PROFILES, MATERIALS, FINISHES, COLORS, AND VISIBILITY CONDITIONS. ANY PROPOSED DEVIATION FROM THE APPROVED SUBMISSION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO FABRICATION OR INSTALLATION.
- THE CONTRACTOR SHALL MAINTAIN A COMPLETE COPY OF THE APPROVED BBAC DRAWINGS, PRESENTATION MATERIALS, CERTIFICATES, AND ASSOCIATED APPROVAL DOCUMENTS ON SITE AND SHALL MAKE SUCH DOCUMENTS AVAILABLE FOR REVIEW UPON REQUEST BY THE ARCHITECT, OWNER, CITY OFFICIALS, OR COMMISSION REPRESENTATIVES.
- ALL EXTERIOR WORK SHALL BE EXECUTED WITH CAREFUL CONSIDERATION OF THE HISTORIC CHARACTER OF THE EXISTING BUILDING, ITS ARCHITECTURAL FEATURES, AND ITS RELATIONSHIP TO THE SURROUNDING BACK BAY STREETScape.
- ALL NEW EXTERIOR CONSTRUCTION, INCLUDING BUT NOT LIMITED TO WINDOWS, DOORS, RAILINGS, ROOF ELEMENTS, DECKS, CLADDING, COPINGS, FLASHINGS, TRIM, LIGHTING, LANDSCAPE ELEMENTS, AND OTHER APPURTENANCES, SHALL BE INSTALLED ONLY AS SHOWN IN THE APPROVED BBAC DRAWINGS.
- ALL MATERIALS, ASSEMBLIES, AND EXTERIOR FINISHES SHALL MATCH THE APPROVED SUBMISSION IN TYPE, PROFILE, DIMENSION, COLOR, TEXTURE, SHEEN, AND INSTALLATION METHOD. SUBSTITUTIONS SHALL NOT BE MADE WITHOUT REVIEW BY THE ARCHITECT AND, WHERE REQUIRED, FURTHER BBAC APPROVAL.
- ALL EXPOSED EXTERIOR METALWORK, INCLUDING BUT NOT LIMITED TO RAILINGS, FRAMES, FLASHINGS, COPINGS, PANELS, AND TRIM, SHALL MATCH THE APPROVED DESIGN WITH RESPECT TO PROFILE, THICKNESS, COLOR, AND FINISH.
- ALL WOOD, COMPOSITE, STONE, MASONRY, AND OTHER EXTERIOR FINISH MATERIALS SHALL CONFORM TO THE APPROVED BBAC SUBMISSION AND SHALL BE INSTALLED IN A MANNER CONSISTENT WITH THE ARCHITECTURAL INTENT OF THE APPROVED WORK.
- NO EXTERIOR MECHANICAL EQUIPMENT, VENTS, FLUES, EXHAUSTS, CAMERAS, LIGHT FIXTURES, CONDUITS, ACCESS PANELS, ANTENNAS, OR OTHER EXTERIOR APPURTENANCES SHALL BE INSTALLED EXCEPT AS SPECIFICALLY SHOWN IN THE APPROVED BBAC SUBMISSION OR OTHERWISE REVIEWED BY THE ARCHITECT AND APPROVED AS REQUIRED.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING HISTORIC FABRIC AND ADJACENT EXTERIOR CONSTRUCTION DURING THE COURSE OF THE WORK. ANY DAMAGE TO EXISTING MATERIALS OR FEATURES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT AND REPAIRED TO MATCH EXISTING CONDITIONS, UNLESS OTHERWISE DIRECTED.
- PRIOR TO THE REMOVAL OR ALTERATION OF ANY EXISTING EXTERIOR ELEMENTS, CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY HISTORIC MATERIALS, CONSTRUCTION CONDITIONS, OR UNFORESEEN CONDITIONS THAT MAY AFFECT THE DESIGN INTENT OR APPROVED SCOPE OF WORK.
- ALL PATCHING, REPAIRS, AND INFILL REQUIRED AS PART OF THE WORK SHALL MATCH ADJACENT EXISTING CONSTRUCTION IN MATERIAL, PROFILE, TEXTURE, COLOR, AND FINISH, UNLESS OTHERWISE NOTED OR APPROVED.
- WHERE EXTERIOR WORK INVOLVES HISTORIC WINDOWS, DOORS, MASONRY, ROOFING, CORNICES, OR OTHER CHARACTER-DEFINING FEATURES, CONTRACTOR SHALL TAKE CARE TO PRESERVE AND PROTECT SUCH ELEMENTS TO THE MAXIMUM EXTENT REQUIRED BY THE APPROVED DOCUMENTS.
- THE CONTRACTOR SHALL COORDINATE ALL REQUIRED FIELD MOCKUPS, MATERIAL SAMPLES, FINISH SAMPLES, AND REVIEW ITEMS WITH THE ARCHITECT PRIOR TO FABRICATION OR INSTALLATION OF EXTERIOR ELEMENTS. MOCKUPS OR SAMPLES SHALL ALSO BE MADE AVAILABLE FOR BBAC STAFF REVIEW WHERE REQUIRED.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AFFECTING EXTERIOR WORK PRIOR TO COMMENCEMENT OF FABRICATION OR CONSTRUCTION. ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE APPROVED DRAWINGS SHALL BE REPORTED TO THE ARCHITECT.
- WHERE FIELD CONDITIONS, CONSTRUCTION REQUIREMENTS, OR PRODUCT AVAILABILITY NECESSITATE CHANGES TO THE APPROVED DESIGN, CONTRACTOR SHALL NOT PROCEED WITH AFFECTED WORK UNTIL THE CONDITION HAS BEEN REVIEWED BY THE ARCHITECT. CHANGES AFFECTING EXTERIOR APPEARANCE OR VISIBILITY MAY REQUIRE ADDITIONAL BBAC REVIEW.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL REQUIRED SUBMISSIONS, SITE VISITS, SAMPLE REVIEWS, PHOTOGRAPHIC DOCUMENTATION, INSPECTIONS, AND FINAL CLOSEOUT ITEMS WITH THE OWNER, ARCHITECT, AND ANY APPLICABLE CITY OR COMMISSION REPRESENTATIVES TO ENSURE FULL COMPLIANCE WITH THE APPROVED BBAC SUBMISSION.

new ipe clad planter, with landscaping to screen views of mechanical equipment from finished roof deck space, final landscape selections tbd.

remove existing roofing material and provide new epdm roofing system at entire roof area, including membrane, insulation, flashing, edge metal, penetrations, and all related accessories for a complete integrated and watertight installation.

existing elevator headhouse, no new work proposed in this area.

new penthouse clad with 12" w flat seam copper or dark metal panels including decorative 9" h cornice above doors with 6" w frames. all finish details tbd by architect and owner.

**PROJECT TEAM**

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978-887-1200

**PROJECT**

**PRIVATE RESIDENCE**  
169 COMMONWEALTH AVENUE  
169 COMMONWEALTH AVENUE, UNIT 5  
BOSTON, MASSACHUSETTS 02116

**FOR OWNER:**  
SANDRA & PAUL LALLI  
169 COMMONWEALTH AVENUE  
BOSTON, MASSACHUSETTS 02116

**SUBMISSION**

**BACK BAY ARCHITECTURAL COMMISSION**  
DRAWINGS ISSUED FOR REVIEW  
JUNE 15, 2026

ISSUE	DATE	DESCRIPTION

**TITLE**

**EXISTING AND PROPOSED REAR ALLEY ELEVATIONS**

**SEAL AND SIGNATURE**

PROJECT TEAM

ARCHITECT  
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670 MAIN STREET  
READING, MASSACHUSETTS 01867  
781-799-1330

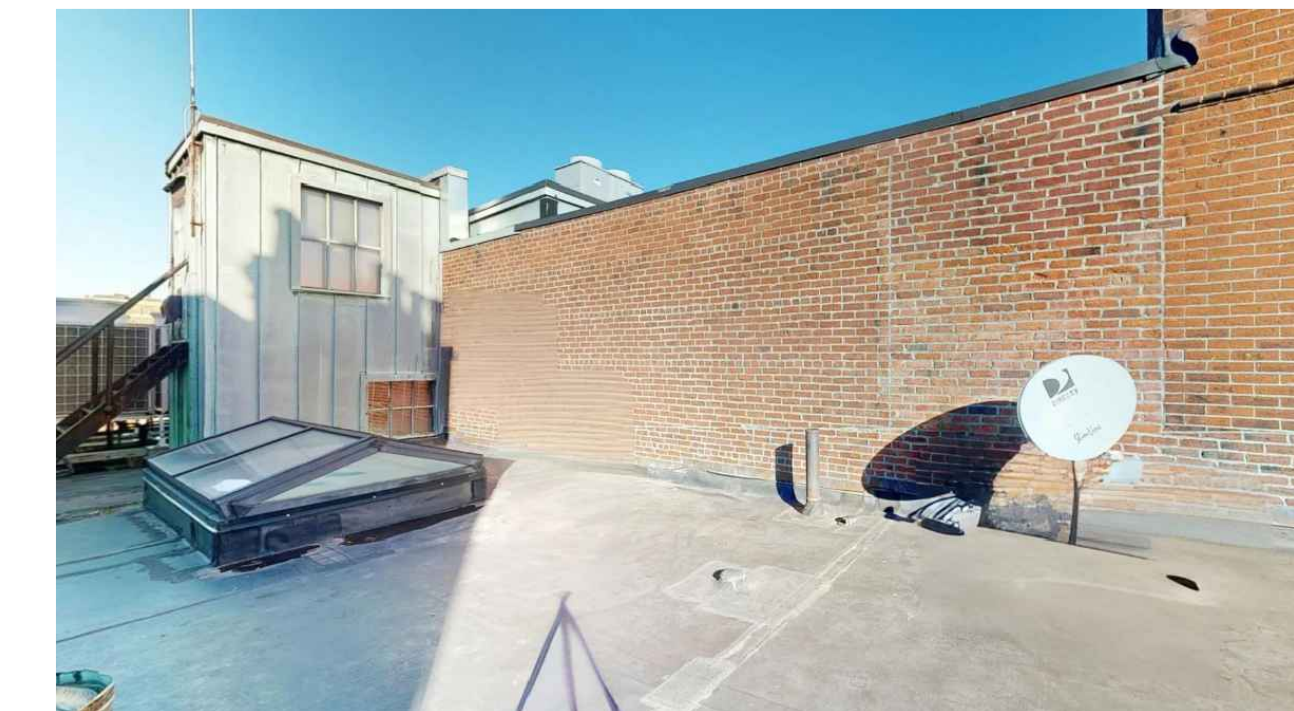
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SYSTEM 7 TECHNOLOGY DESIGN  
48 DUNHAM ROAD, SUITE 1950  
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978-887-1200

LIGHTING CONSULTANT  
VISUAL COMFORT AND CO.  
21 DRYDOCK AVE, SUITE 120W  
BOSTON, MASSACHUSETTS  
617-648-4420

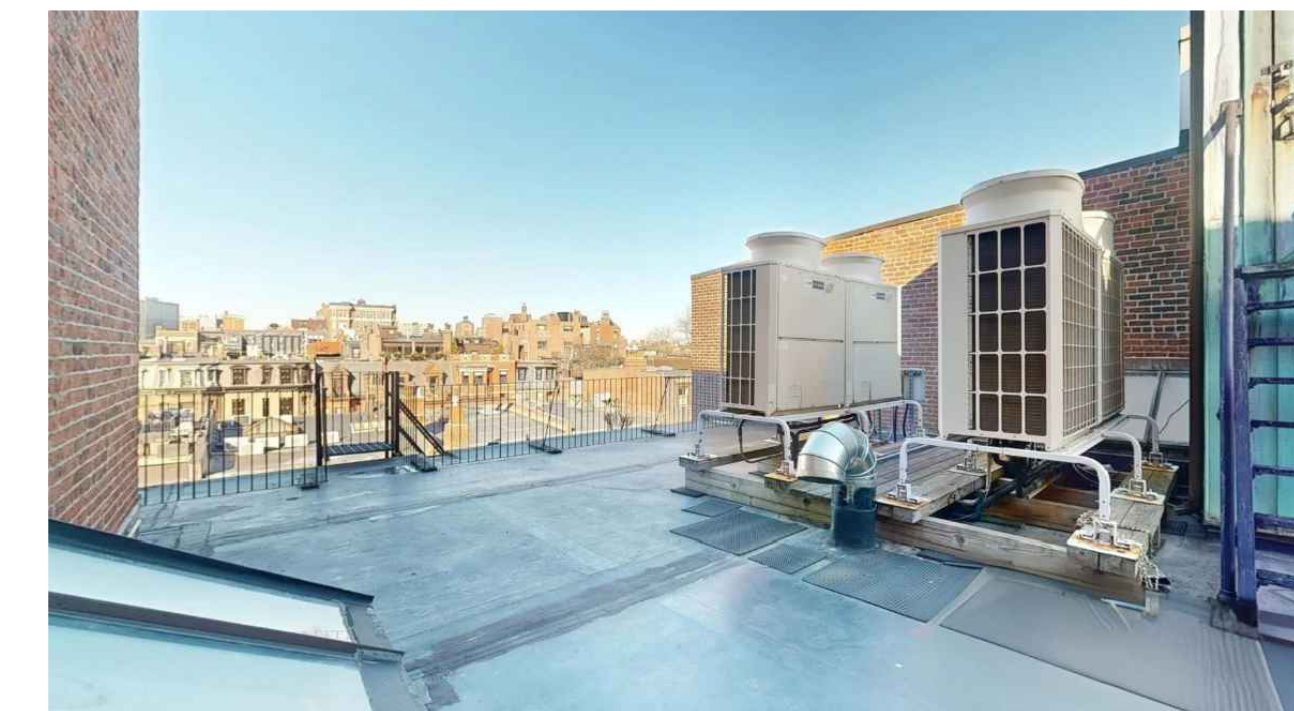
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SEVENHOMES  
25 RUNDLETT WAY, SUITE 5  
MELROTON, MASSACHUSETTS 01949  
978-887-1200



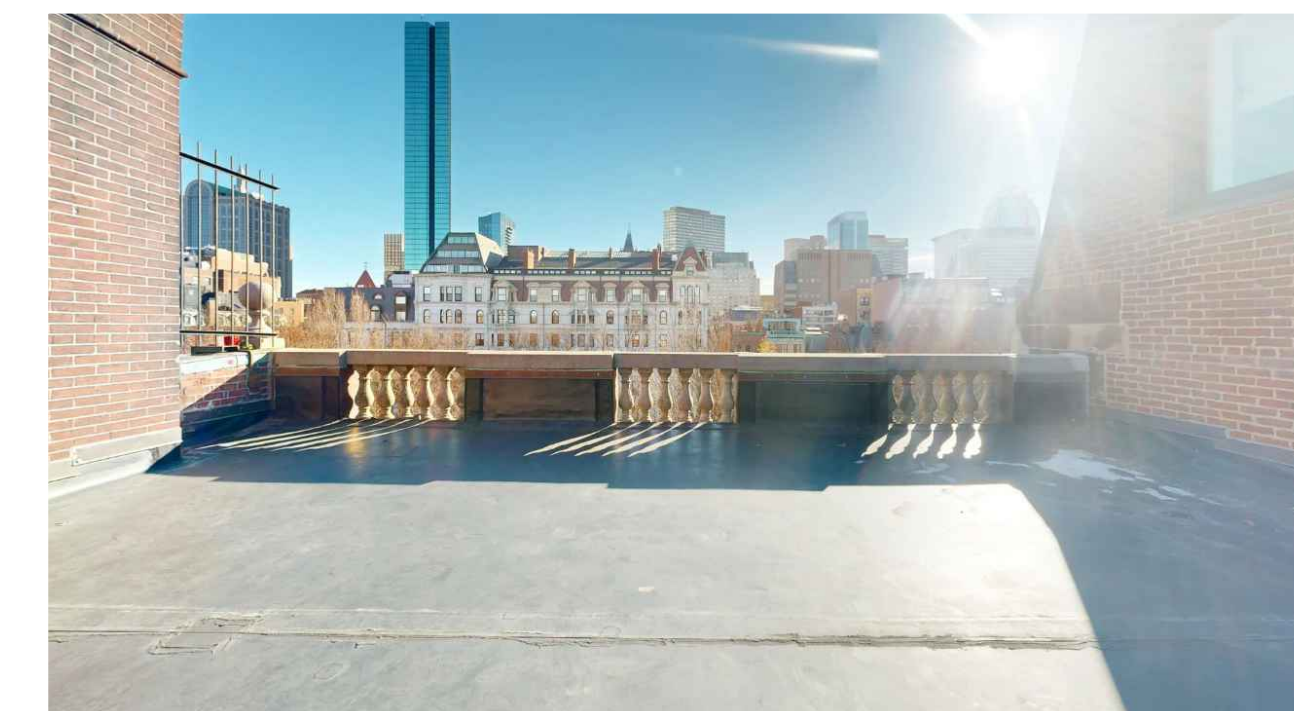
EXISTING HEADHOUSE ALONG WEST PARTY WALL



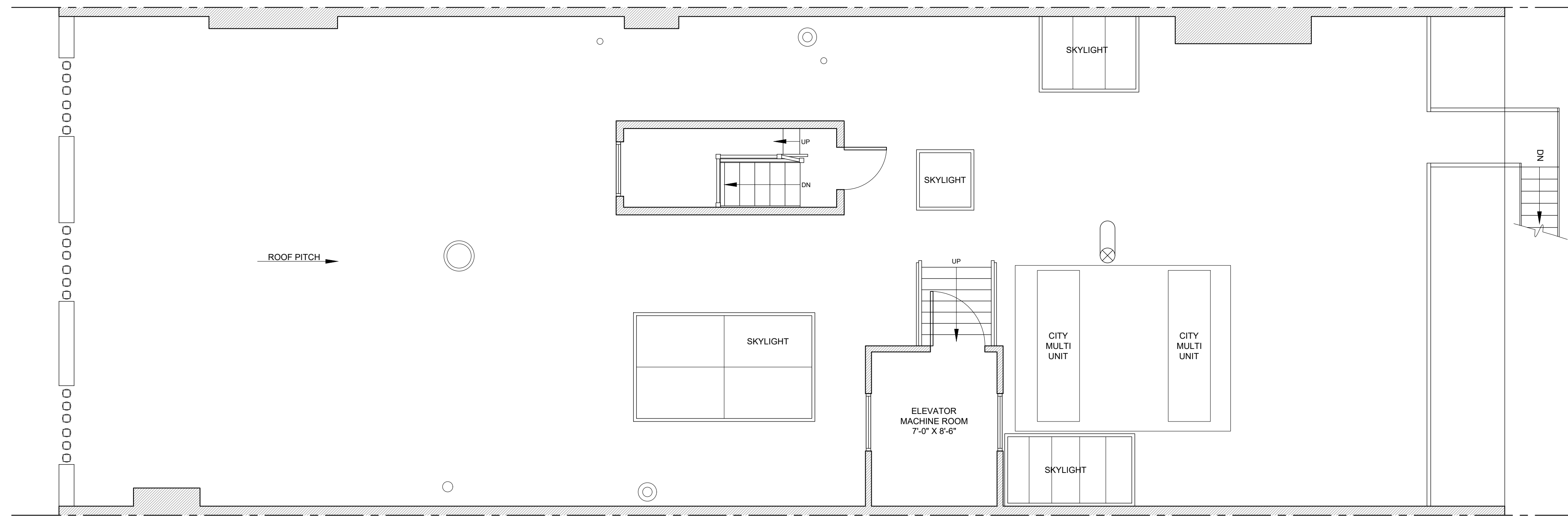
EXISTING VIEW TOWARD EAST PARTY WALL



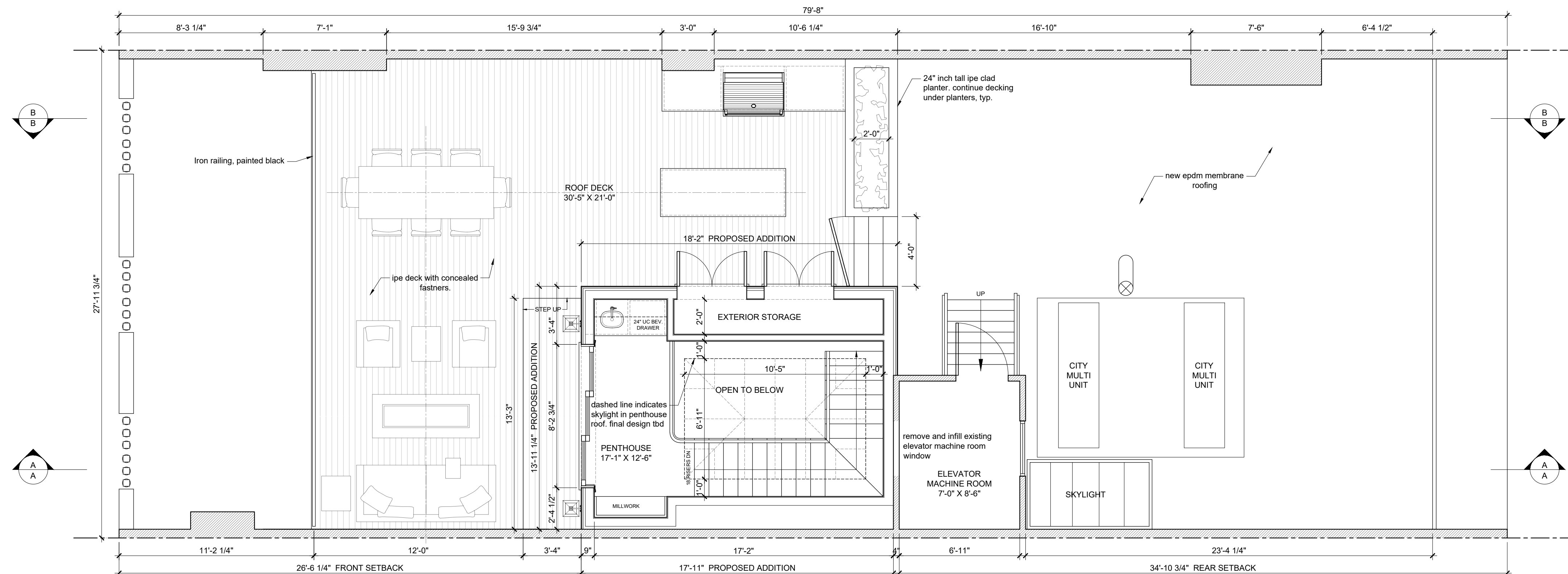
EXISTING VIEW TOWARD EAST PARTY WALL MECHANICAL UNITS



EXISTING VIEW TOWARDS COMMONWEALTH AVENUE MALL



**1** ROOF PLAN - EXISTING  
SCALE: 1/4" = 1'-0"



**2** ROOF AND PENTHOUSE PLANS - PROPOSED  
SCALE: 1/4" = 1'-0"

PROJECT

PRIVATE RESIDENCE  
169 COMMONWEALTH AVENUE  
169 COMMONWEALTH AVENUE, UNIT 5  
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FOR OWNER:  
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EXISTING AND PROPOSED  
ROOF DECK AND PENTHOUSE  
PLANS

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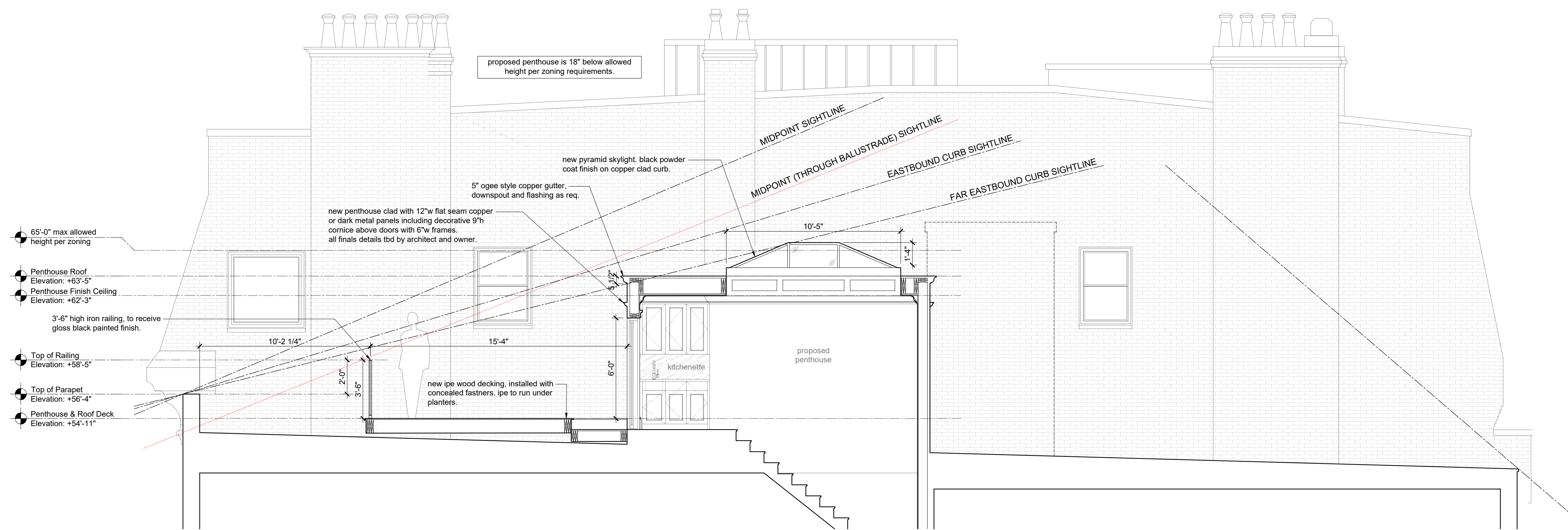
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WEBB STRUCTURAL SERVICES  
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READING, MASSACHUSETTS 01867  
781-799-1330

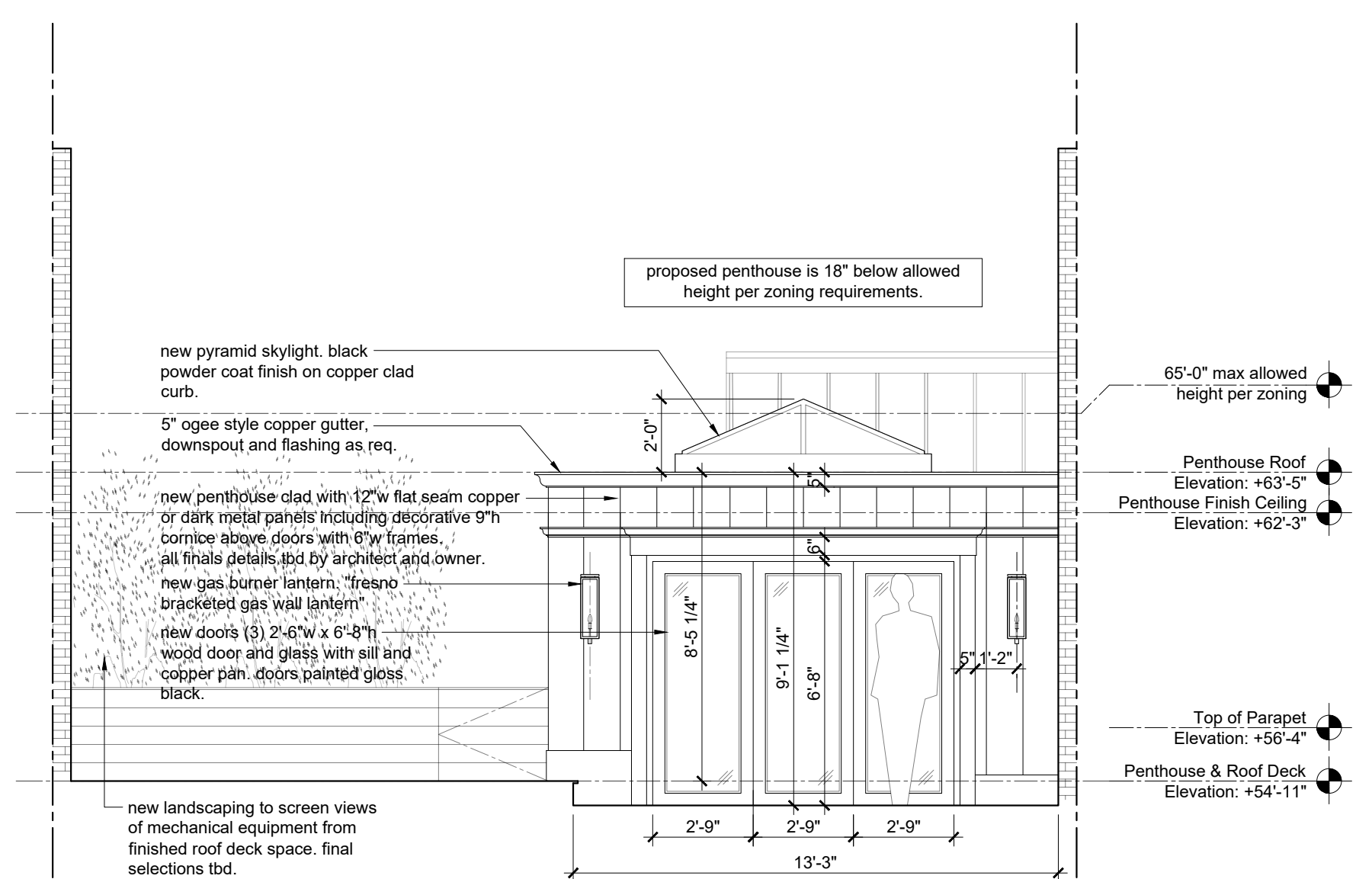
HOME AUTOMATION  
SYSTEM 7 TECHNOLOGY DESIGN  
48 DUNHAM ROAD, SUITE 1950  
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978-887-1200

LIGHTING CONSULTANT  
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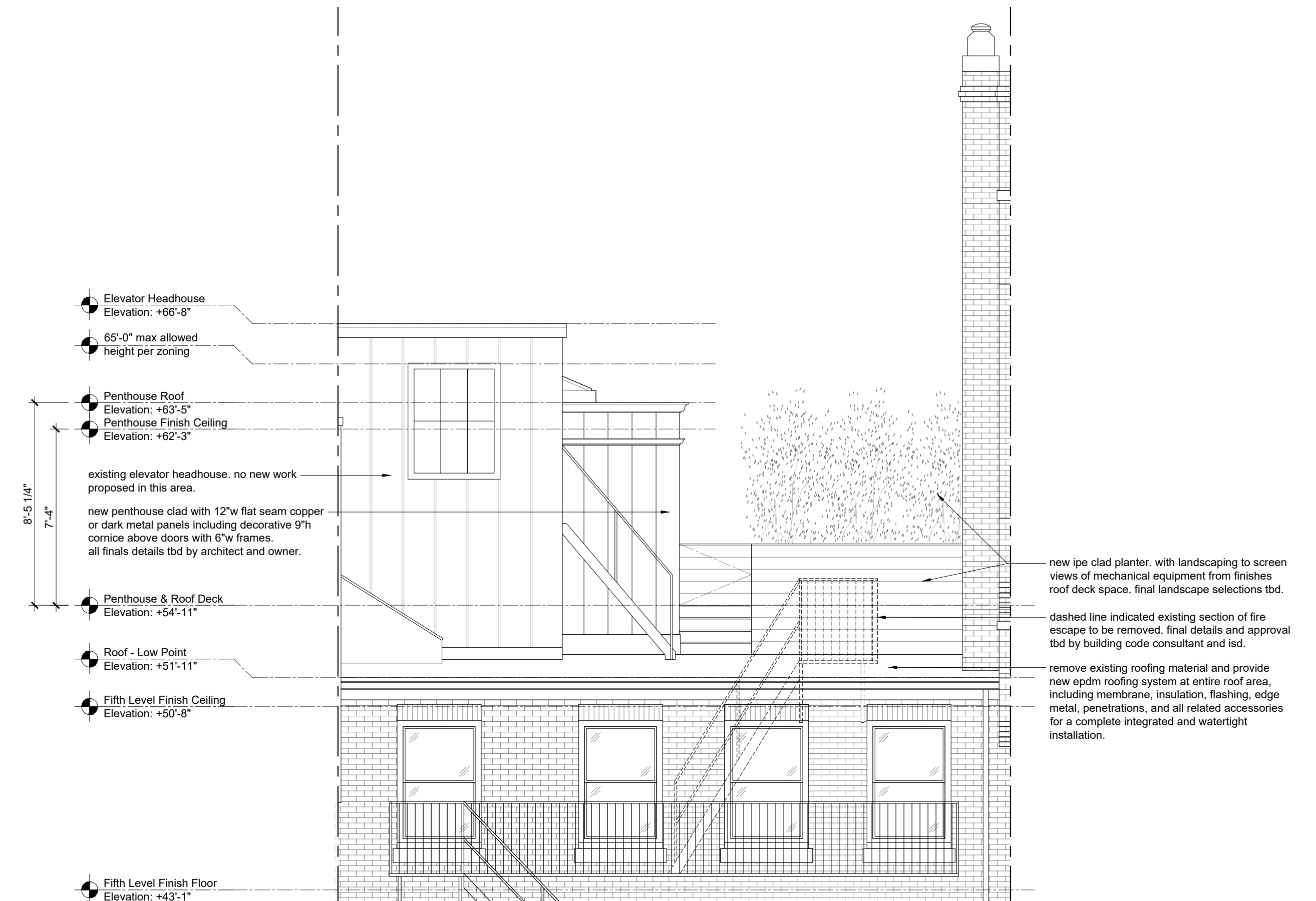
AUDIO AND VISUAL CONSULTANT  
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25 RUNDLETT WAY, SUITE 5  
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978-887-1200



**1 PROPOSED SECTION A - A WEST PARTY WALL**  
SCALE: 1/4" = 1'-0"



**2 COMMONWEALTH AVENUE FACING ELEVATION - PROPOSED**  
SCALE: 1/4" = 1'-0"



**3 PARTIAL REAR ALLEY ELEVATION - PROPOSED**  
SCALE: 1/4" = 1'-0"

PROJECT

**PRIVATE RESIDENCE**  
169 COMMONWEALTH AVENUE

169 COMMONWEALTH AVENUE, UNIT 5  
BOSTON, MASSACHUSETTS 02116

FOR OWNER:  
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BOSTON, MASSACHUSETTS 02116

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**EXISTING FRONT AND REAR  
EXTERIOR ELEVATIONS**

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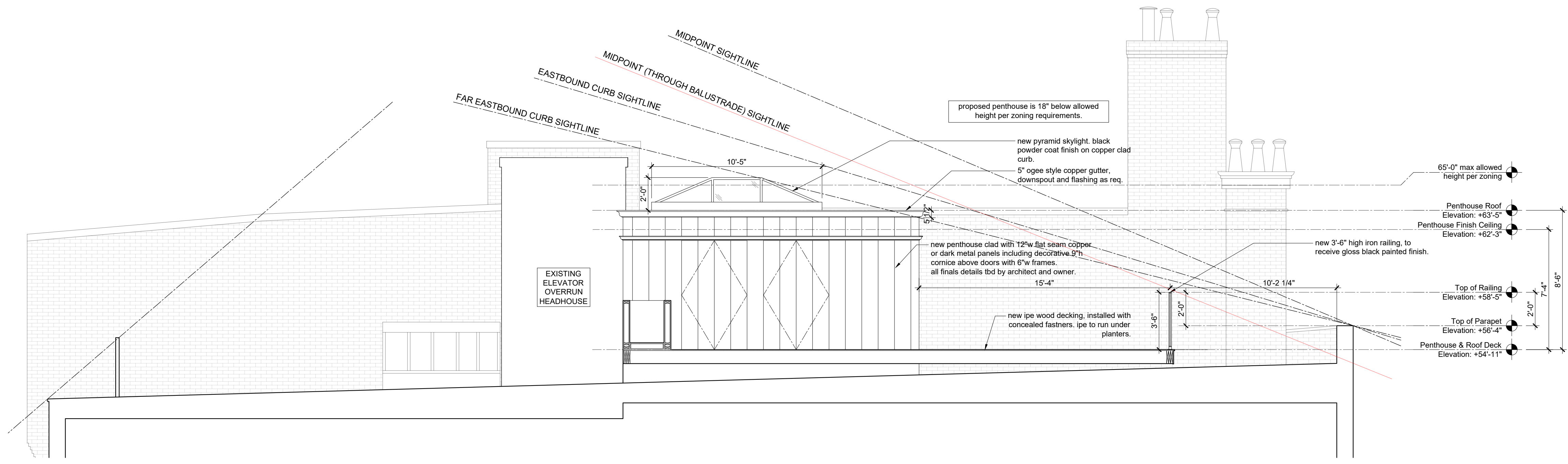
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BSA CONSTRUCTION  
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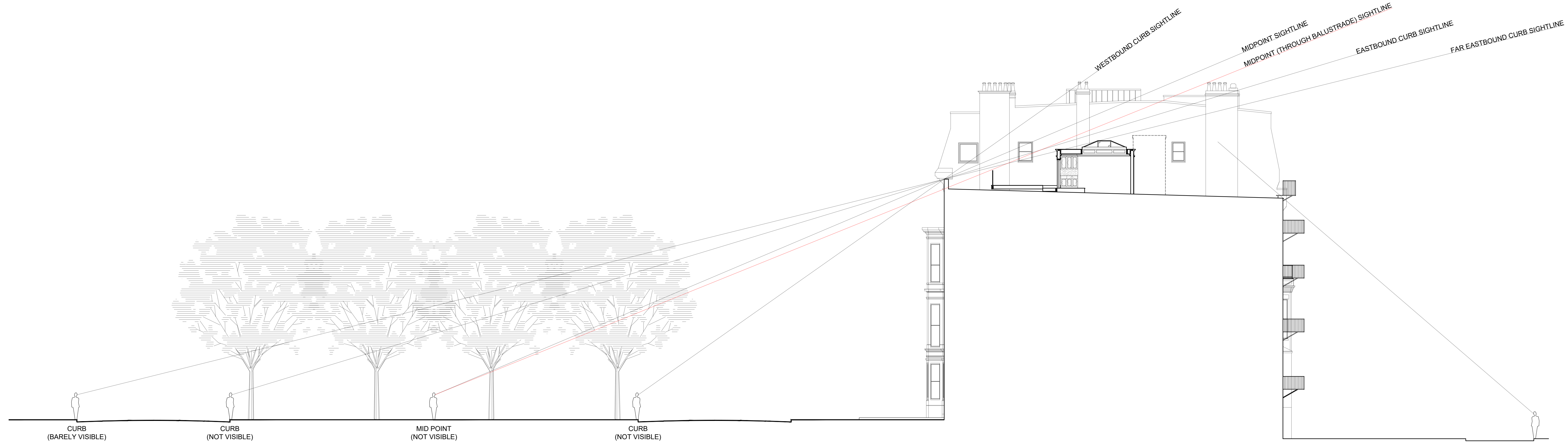
HOME AUTOMATION  
SYSTEM 7 TECHNOLOGY DESIGN  
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**1** PROPOSED SECTION B - B EAST PARTY WALL  
SCALE: 1/4" = 1'-0"



**2** PROPOSED SECTION A - A EAST PARTY WALL  
SCALE: NTS

PROJECT

PRIVATE RESIDENCE  
169 COMMONWEALTH AVENUE  
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FOR OWNER:  
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BACK BAY ARCHITECTURAL  
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PROJECT

**PRIVATE RESIDENCE**  
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SUBMISSION

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COMMISSION**  
DRAWINGS ISSUED FOR REVIEW  
JUNE 15, 2026

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XXX XX, 2026 MOCKUP PHOTOS

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PROJECT

**PRIVATE RESIDENCE**  
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