

LOCUS PLAN

199 MARLBOROUGH STREET,
BOSTON MA 02116

**ROOF REPLACEMENT AND
RELATED WORK**

BUILDING ENVELOPE
BET
TECHNOLOGIES, INC.
50 OLIVER STREET, SUITE W-4
NORTH EASTON, MA 02356
Tel. 508 235 3587
www.buildingenvelopetech.com



SOUTH ELEVATION - MARLBOROUGH STREET

PROJECT OVERVIEW

199 MARLBOROUGH STREET IS A 7 STORY BUILDING, ORIGINALLY CONSTRUCTED IN CIRCA 1890 AS AN APARTMENT BUILDING. IT SUBSEQUENTLY UNDERWENT MULTIPLE OCCUPANCIES, INCLUDING EDUCATIONAL DORMITORIES AND SIMILAR PURPOSES PRIOR TO BEING CONVERTED BACK TO RESIDENTIAL USE. THE PROPERTY WAS CONVERTED IN 1984 TO PROVIDE 18 INDEPENDENT CONDOMINIUMS.

SINCE 2020, THE PROPERTY HAS UNDERGONE A NUMBER OF RESTORATION EFFORTS. THESE PROGRAMS HAVE INCLUDED REMOVAL AND REPLACEMENT OF PENTHOUSE CLADDING, REPAIR OF MASONRY, REPAIR OF METAL CLADDING AND PAINTING, AND REPLACEMENT OF WINDOW SYSTEMS. THE EXISTING ROOF IS REPORTED TO DATE TO CIRCA 2008.

THE BUILDING IS BOUNDED BY MARLBOROUGH STREET TO THE SOUTH, EXETER STREET TO THE WEST, PUBLIC ALLEY 418 TO THE NORTH, AND THE ABUTTING 197 MARLBOROUGH STREET TO THE EAST.

THE PROPOSED PROJECT IS TO REPLACE THE LOW SLOPE ROOF SYSTEM ON THE BUILDING, WHICH IS LEAKING. THERE ARE THREE WOOD FRAMED DECKS ON THE ROOF WHICH MUST BE REMOVED AND REPLACED IN ORDER TO REPLACE THE ROOF. THE SCOPE OF WORK IS DESCRIBED IN DETAIL ON THE FOLLOWING ROOF PLAN DRAWING.

ALL THREE DECKS ARE BEING REDUCED IN SIZE TO MEET BBAC SITELINE REQUIREMENTS AND TWO FORMERLY VISIBLE HVAC CONDENSERS ARE BEING RELOCATED OUT OF VIEW.



WEST ELEVATION - EXETER STREET

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OWNER

199 MARLBOROUGH STREET CONDOMINIUM ASSOCIATION

c/o AMC Property Services, LLC
P.O. Box 291
Hingham, MA 02043

PROJECT TITLE

ROOF REPLACEMENT AND RELATED WORK

199 MARLBOROUGH STREET, BOSTON, MA 02116

DRAWING TITLE

ROOF REPLACEMENT AND RELATED WORK

REV. DATE REMARK

PROJECT NO:	25095
DRAWN BY:	Author
CHECKED BY:	Checker
SCALE:	
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DRAWING NUMBER

A1







GENERAL NOTES:

1. CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCING WORK.
2. CONTRACTOR TO VERIFY EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING CONSTRUCTION.
3. SCOPE OF WORK AREA SHOWN ON THESE DRAWINGS ARE APPROXIMATE. EXACT AREAS AND DIMENSIONS OF EXISTING ELEMENTS AND EXTENT OF REPAIRS TO BE VERIFIED IN FIELD.
4. CONTRACTOR TO PERFORM ALL WORK IN A PROPER, SAFE, EXPEDITIOUS, WORKMANLIKE MANNER, AND IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL LAWS, CODES AND REGULATIONS.
5. CONTRACTOR TO BE MINDFUL OF ALL EXISTING CONSTRUCTION TO REMAIN AND PROVIDE PROTECTION AS NECESSARY TO MINIMIZE ANY CHANGE OF DAMAGE. THE CONTRACTOR SHALL REPAIR AND RESTORE ALL DAMAGED CONSTRUCTION TO A CONDITION EQUAL TO OR BETTER THAN PRE-CONSTRUCTION.
6. NO AREAS OF THE ROOF SHALL BE LEFT OPEN OR UNPROTECTED AT THE END OF A WORK DAY.
7. ALL DEBRIS AND ABANDONED MATERIALS TO BE REMOVED FROM ROOF.
8. THE BUILDING WILL REMAIN FULLY OCCUPIED DURING CONSTRUCTION.

ROOF WORK NOTES:

- A1 EXISTING HVAC TO BE REMOVED AND RELOCATED PER NEW ROOF PLAN
- A2 EXISTING VENT AND CURB TO BE REMOVED AND REPLACED.
- A3 EXISTING VENT PIPE TO REMAIN. EXISTING FLASHING TO BE REMOVED AND REPLACED.
- 4A EXISTING ROOF STAND PIPE TO REMAIN. EXISTING FLASHING TO BE REMOVED AND REPLACED.
- A5 PITCH POCKET TO BE REMOVED AND REPLACED. POURABLE SEALER POCKET TO BE INSTALLED.
- A6 DECK RAILING: EXISTING DECK RAILS TO BE REMOVED AND REPLACED IN KIND.
- A7 EXISTING GUTTER AND DOWNSPOUT TO BE REMOVED AND REPLACED.
- A8 NEW SWINGING GATE LOCKABLE.
- A9 NEW FALL ARREST ANCHOR TO BE INSTALLED IN THE LOCATIONS INDICATED IN THE PLANS.
- A10 EXISTING PLANTERS TO BE REMOVED AND REPLACED. SIZES AND LOCATIONS AS INDICATED ON THE DRAWINGS.
- A11 NEW ELEVATED 2' X 2' HYBRID PEDESTAL PORCELAIN PAVERS.
- A12 REMOVE AND REINSTALL DOOR WITH NEW PAN FLASHING
- A13 REPOINT MASONRY
- A14 ROOF FASCIA: FASCIA TO BE REMOVED AND REPLACED.

SYMBOL LEGEND:

-  DECK RAILING
-  SLEEPERS
-  ROOF STAND PIPE
-  VENT PIPE
-  PITCH POCKET
-  FALL ARREST ANCHOR

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EXISTING ROOF PLAN - LC

Revision Schedule

Revision Number	Revision Date	Revision Description



EXISTING PENTHOUSE - UNIT 702



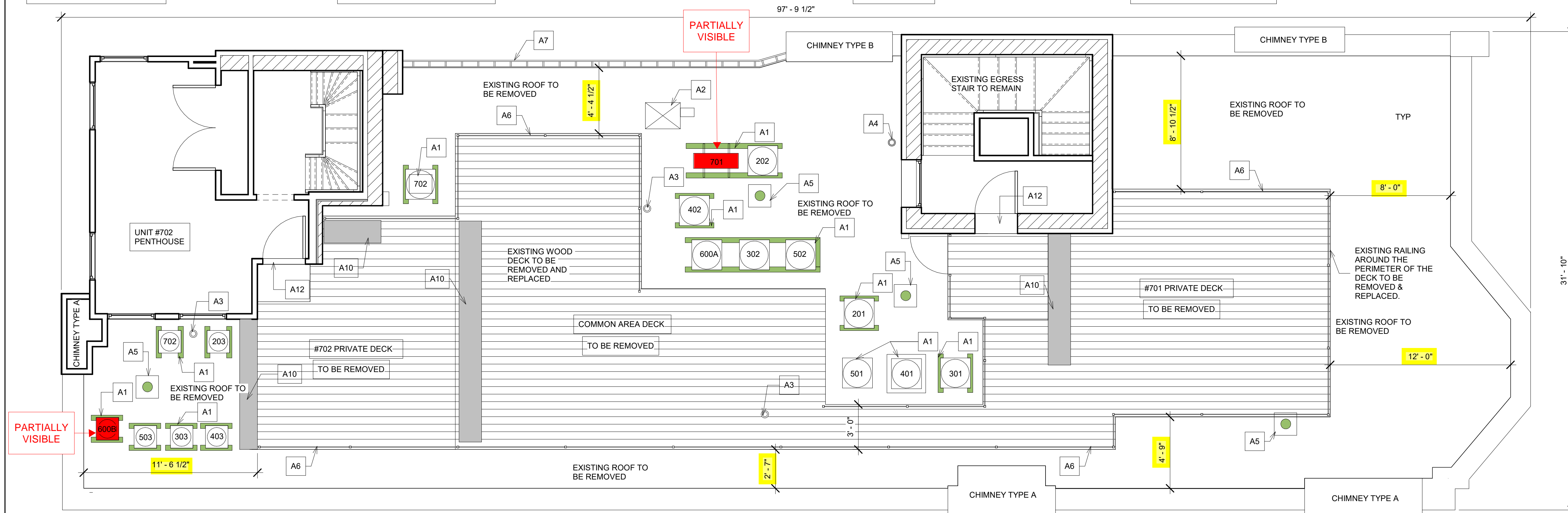
EXISTING COMMON ROOF ENTRANCE



EXISTING GUTTER



OVERALL VIEW OF EXISTING DECK



1 Existing Roof Plan Copy 1
1/4" = 1'-0"

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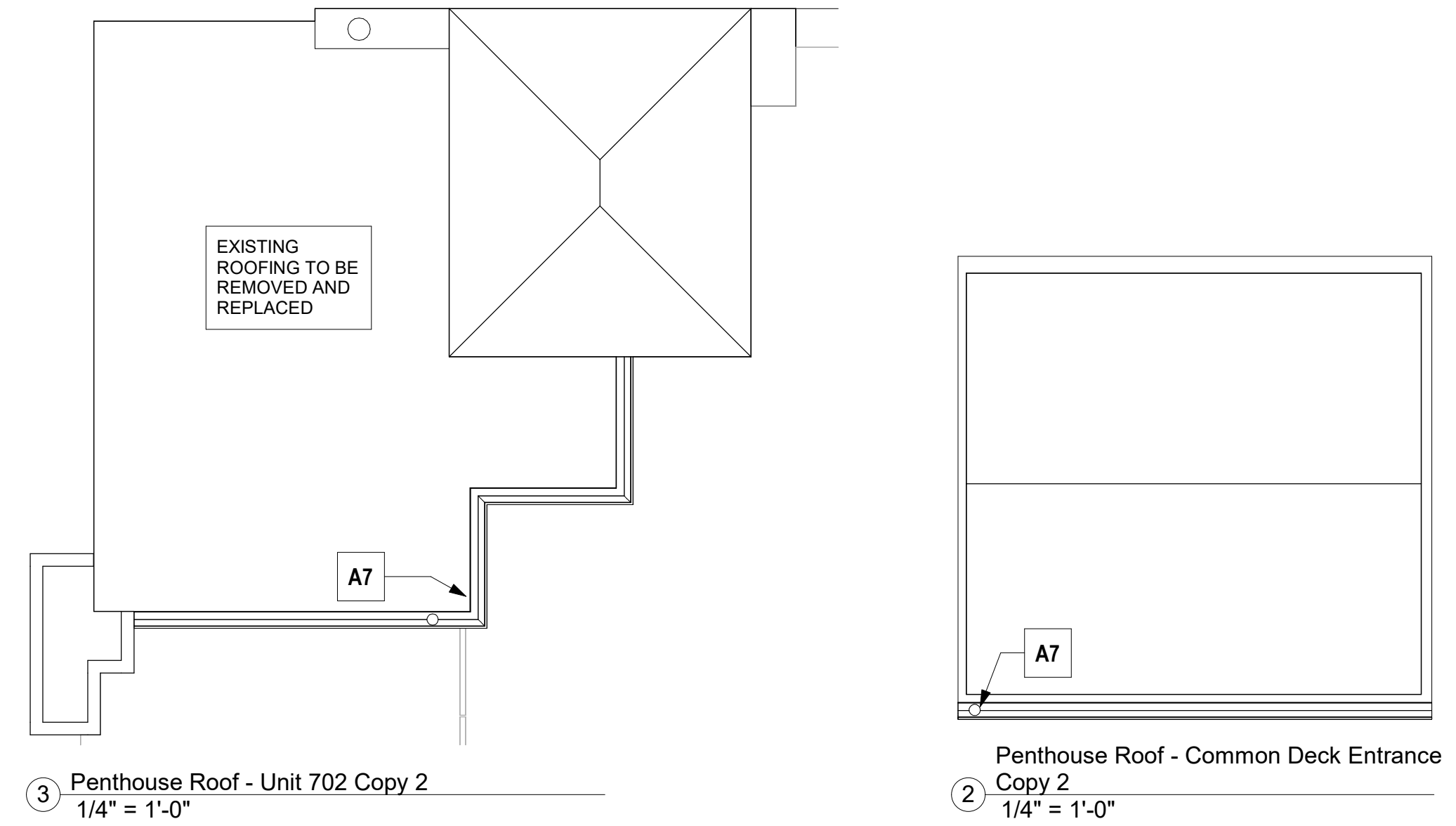
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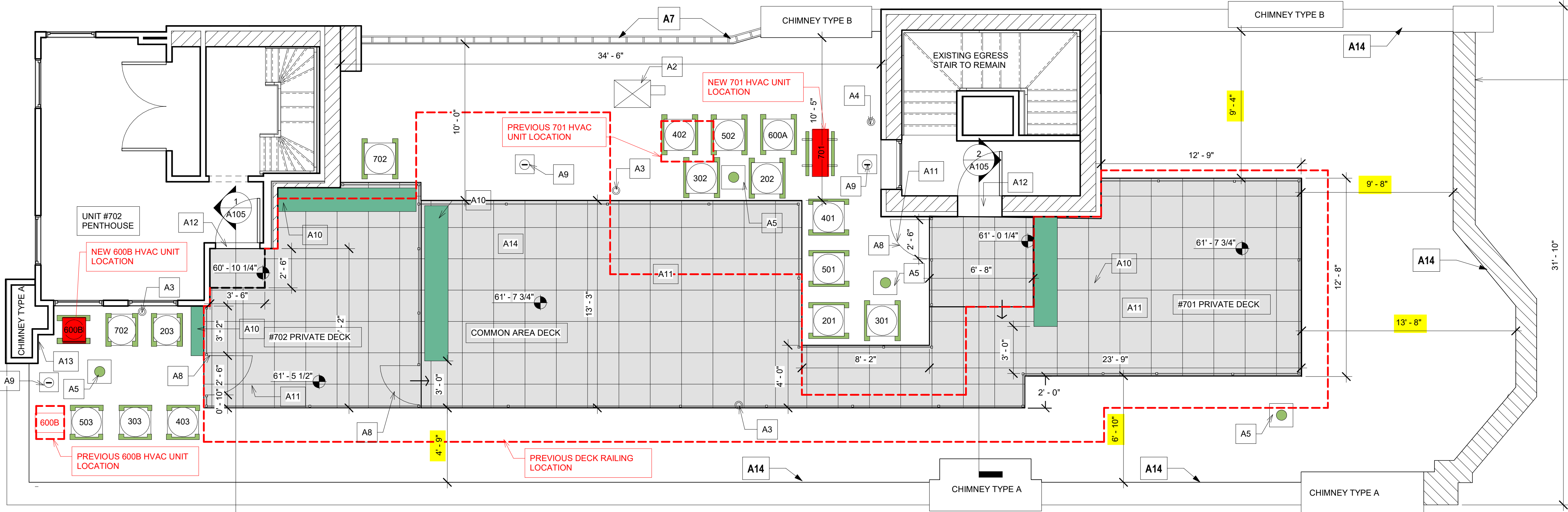
DRAWING TITLE
 NEW ROOF PLAN - LC

Revision Schedule		
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3 Penthouse Roof - Unit 702 Copy 2
1/4" = 1'-0"

2 Penthouse Roof - Common Deck Entrance Copy 2
1/4" = 1'-0"



NOTE: ADD BLOCKING AT THIS ROOF EDGE TO MATCH NEW INSULATION HEIGHT.

1 New Roof Plan Copy 1
1/4" = 1'-0"

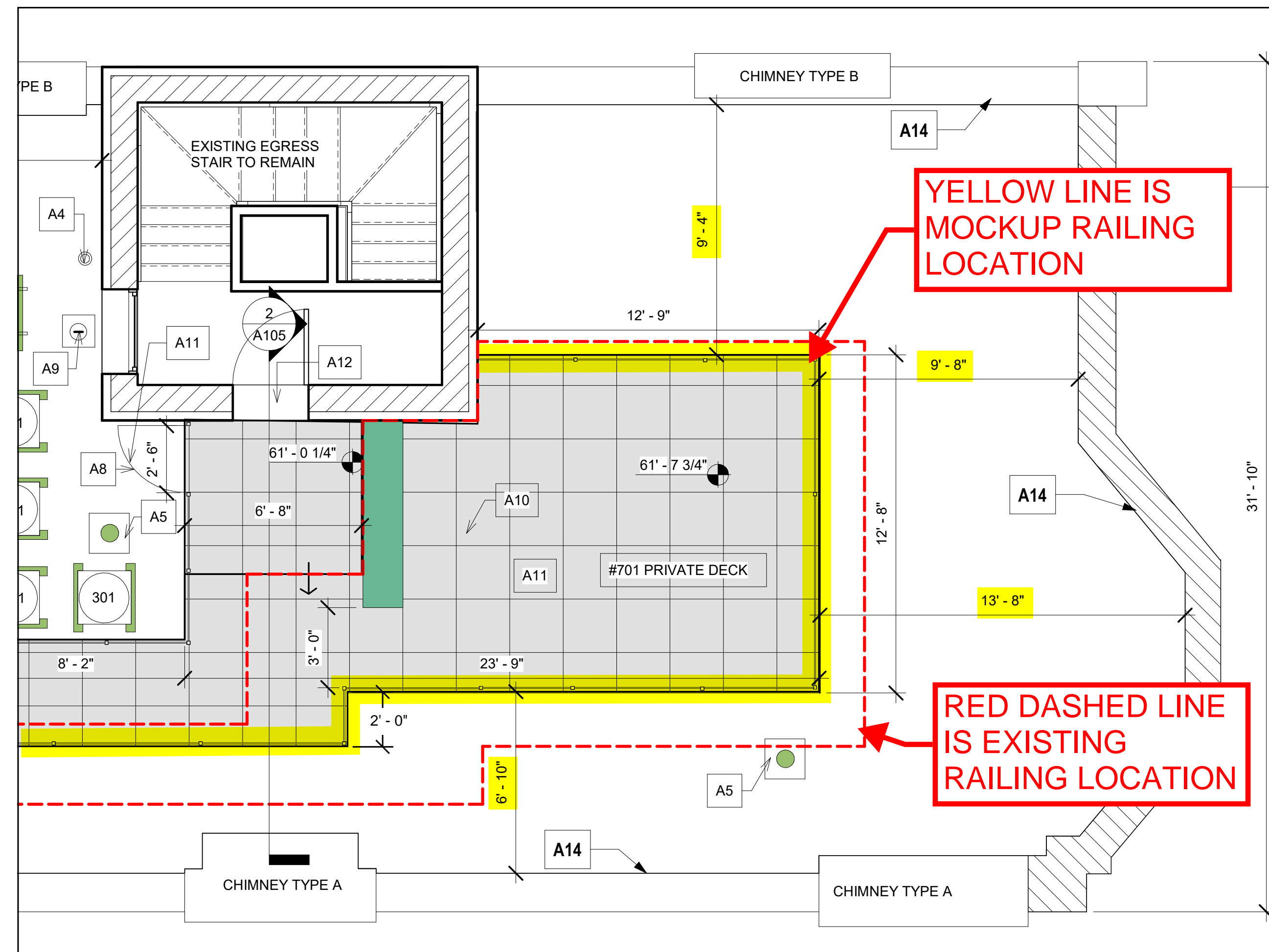
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A3



ZOOMED IN VIEW FROM MARLBOROUGH STREET LOOKING EAST - MOCKUP RAILING IS NOT VISIBLE



ROOF PLAN EXCERPT SHOWING MOCKUP RAILING SECTION IN PHOTO BELOW.



STREET VIEW FROM MARLBOROUGH STREET LOOKING EAST - MOCKUP RAILING IS NOT VISIBLE



YELLOW RIBBON MOCKUP INDICATES PROPOSED RAILING LOCATION.

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BBAC APPLICATION

MOCKUP RAILING &
 HVAC LOCATIONS
 6/19/26

VIEW FROM
 MARLBOROUGH ST.
 LOOKING EAST

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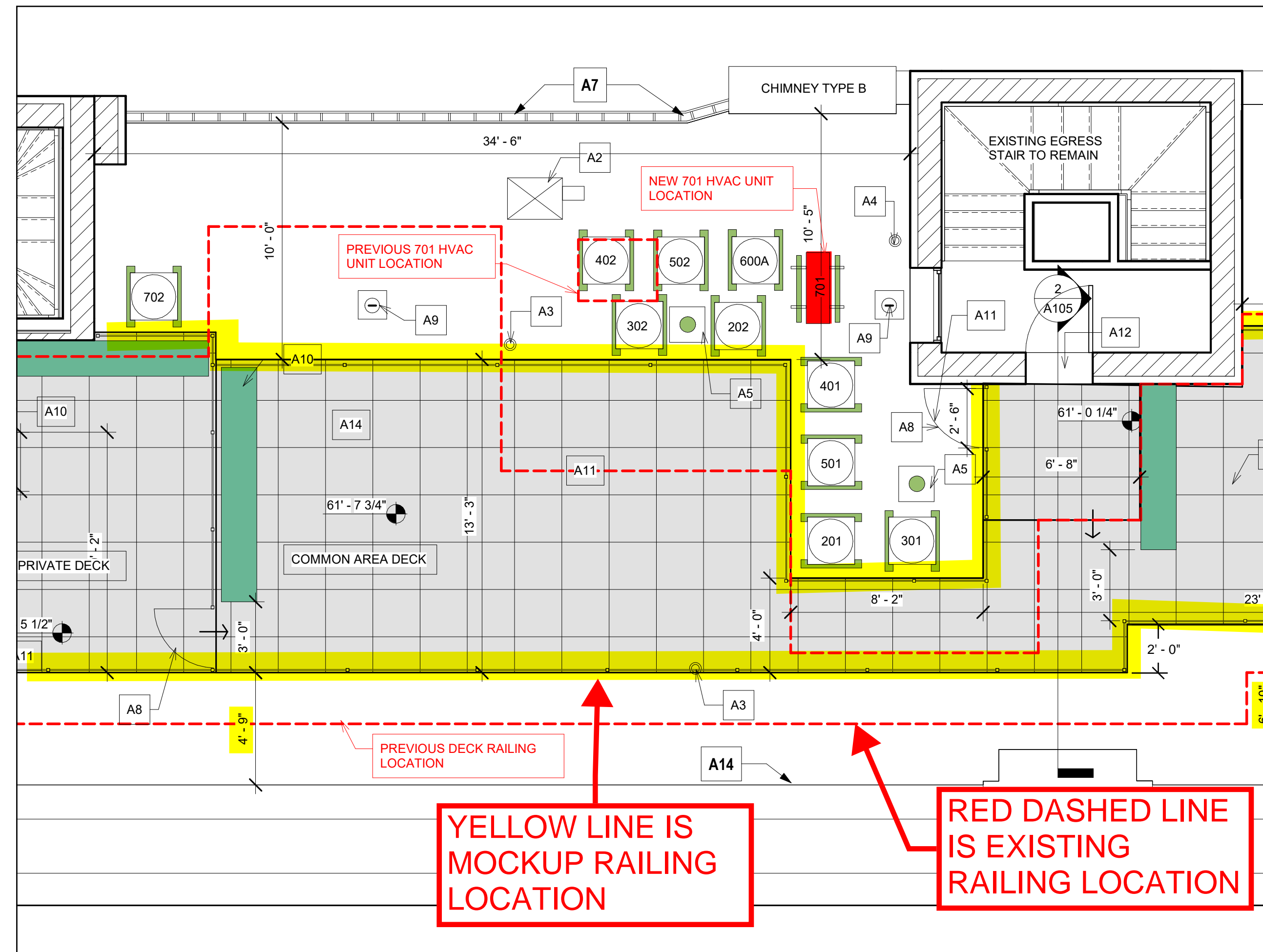
A2



ZOOMED IN VIEW FROM MARLBOROUGH STREET LOOKING WEST - MOCKUP RAILING IS NOT VISIBLE



STREET VIEW FROM MARLBOROUGH STREET LOOKING WEST - MOCKUP RAILING IS NOT VISIBLE



ROOF PLAN EXCERPT SHOWING MOCKUP RAILING SECTION IN PHOTO BELOW.



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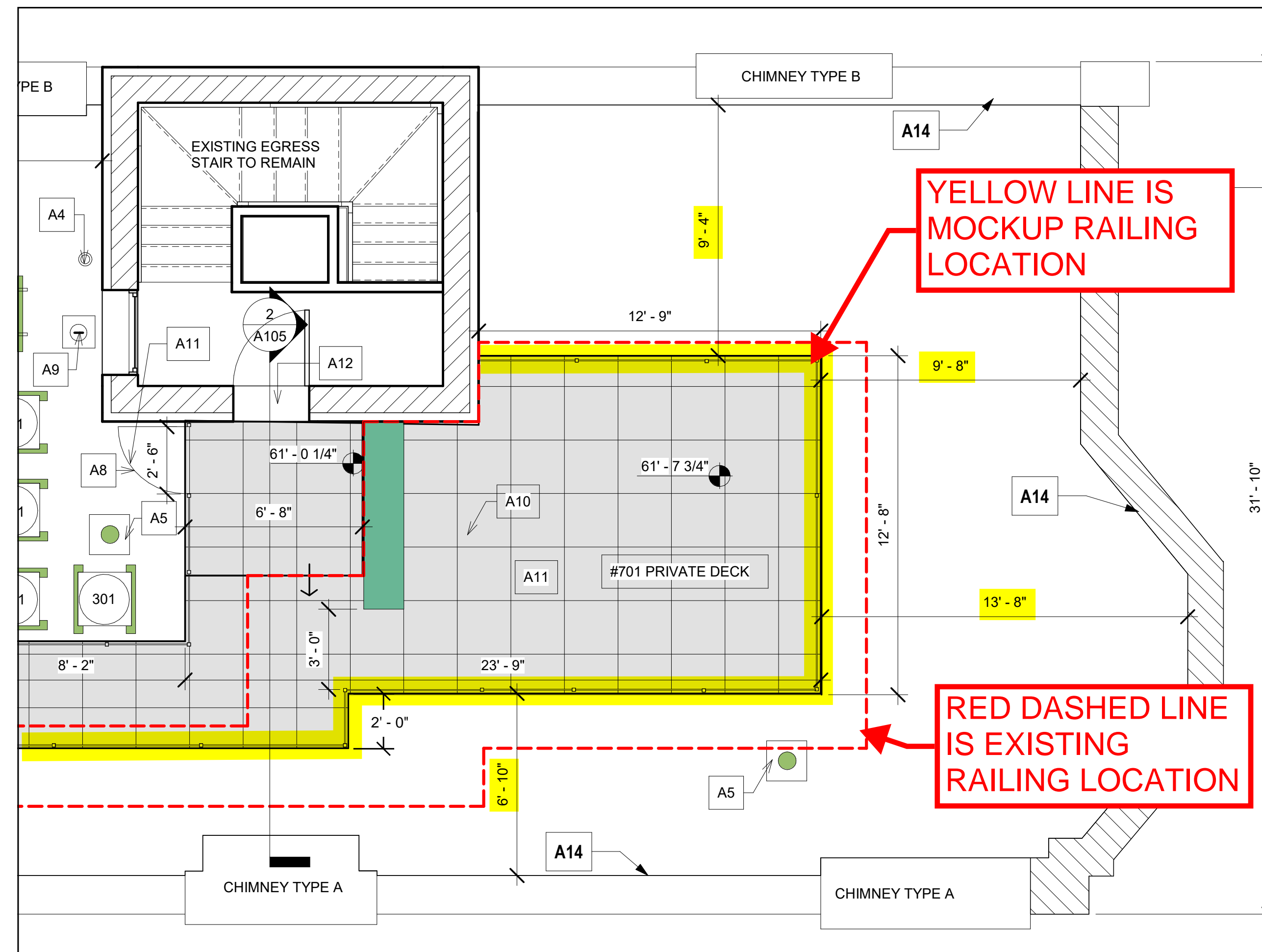
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ZOOMED IN VIEW FROM EXETER STREET LOOKING NORTH - MOCKUP RAILING IS NOT VISIBLE



ROOF PLAN EXCERPT SHOWING MOCKUP RAILING SECTION IN PHOTO BELOW.



STREET VIEW FROM EXETER STREET LOOKING NORTH - MOCKUP RAILING IS NOT VISIBLE



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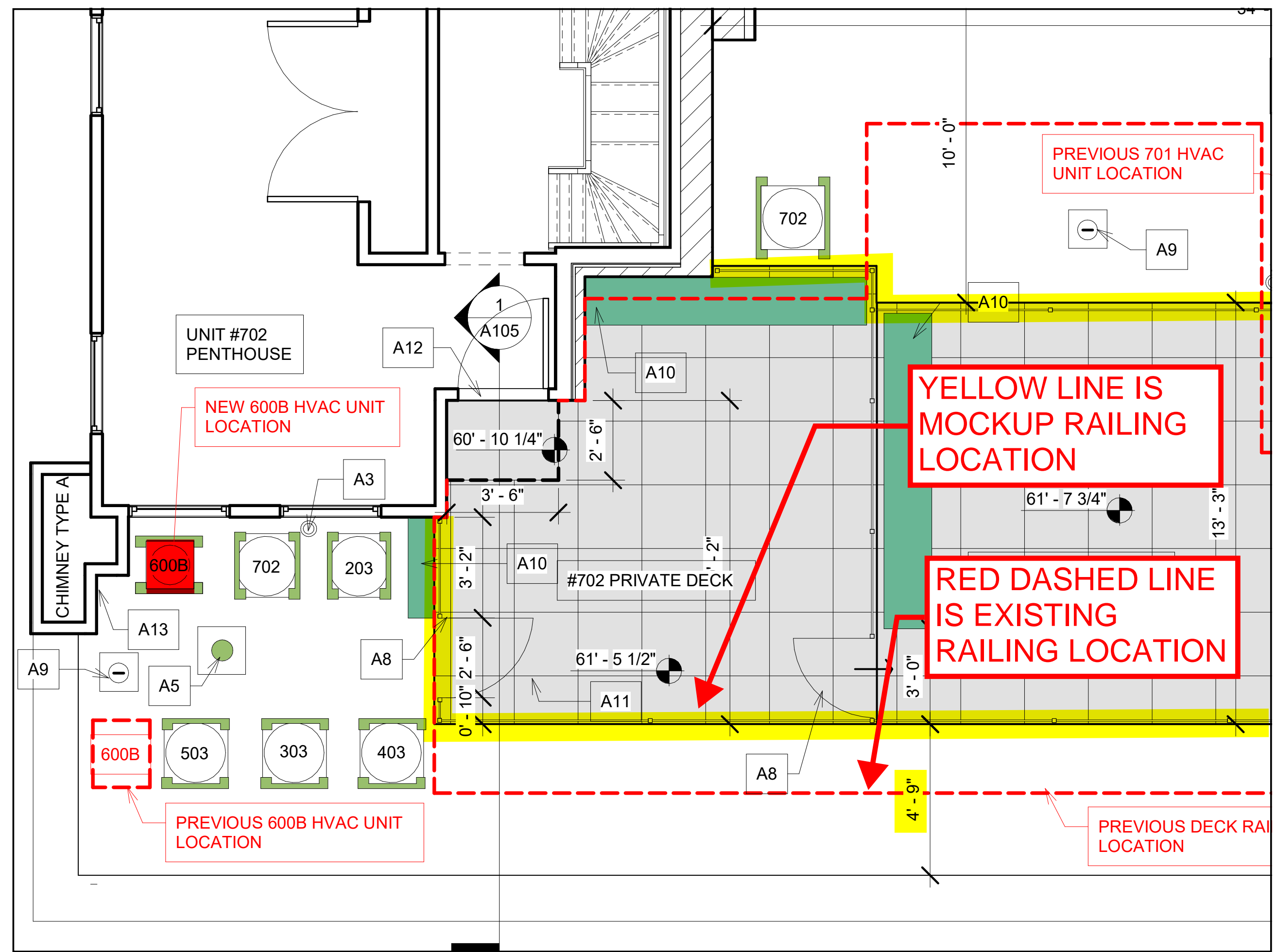
VIEW FROM
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ZOOMED IN VIEW FROM EXETER STREET LOOKING SOUTH - MOCKUP RAILING AND HVAC ARE NOT VISIBLE



ROOF PLAN EXCERPT SHOWING MOCKUP RAILING SECTION IN PHOTO BELOW.



STREET VIEW FROM EXETER STREET LOOKING SOUTH - MOCKUP RAILING AND HVAC ARE NOT VISIBLE



YELLOW RIBBON MOCKUP INDICATES PROPOSED RAILING LOCATION. TRAFFIC CONE IS NEW HVAC LOCATION.

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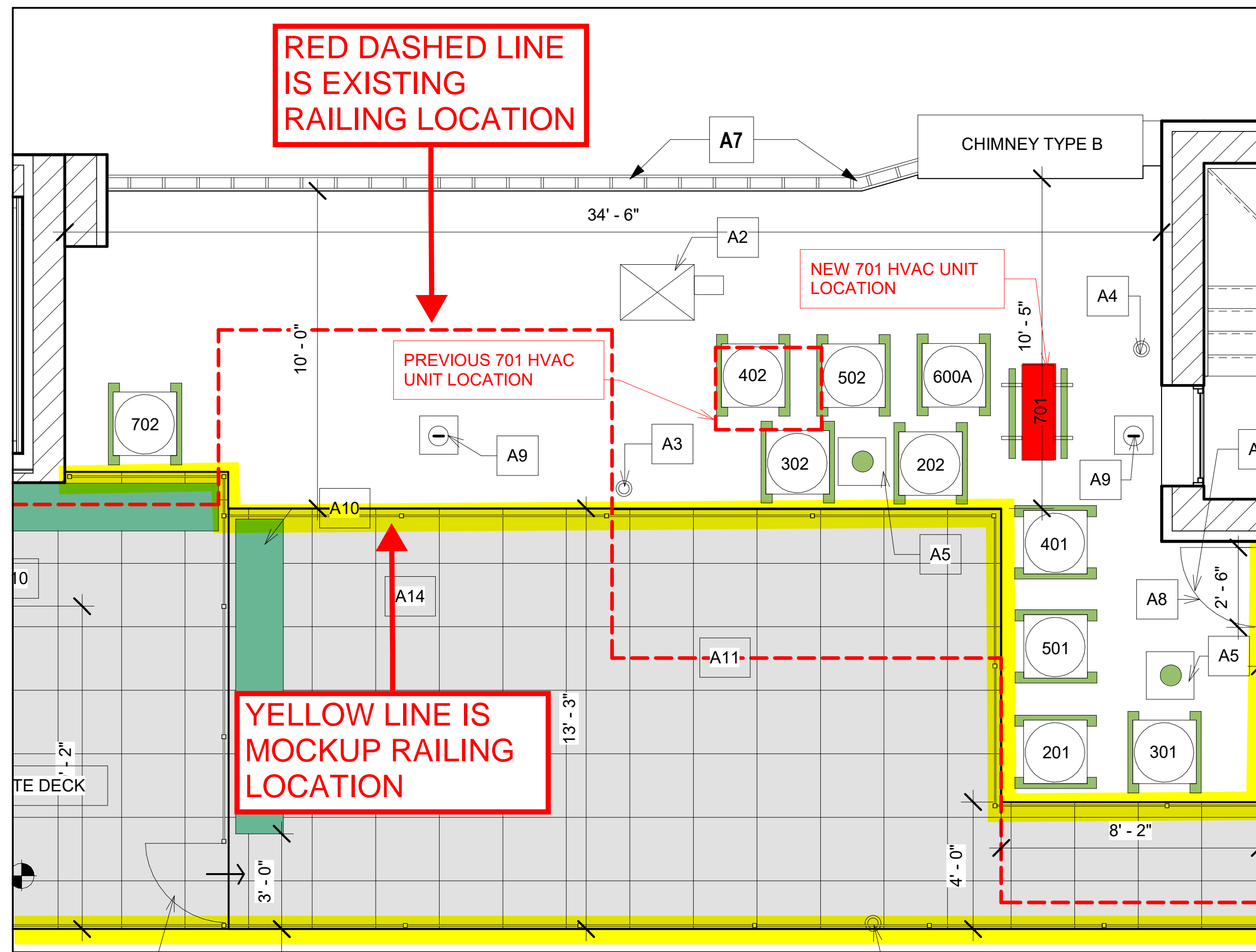
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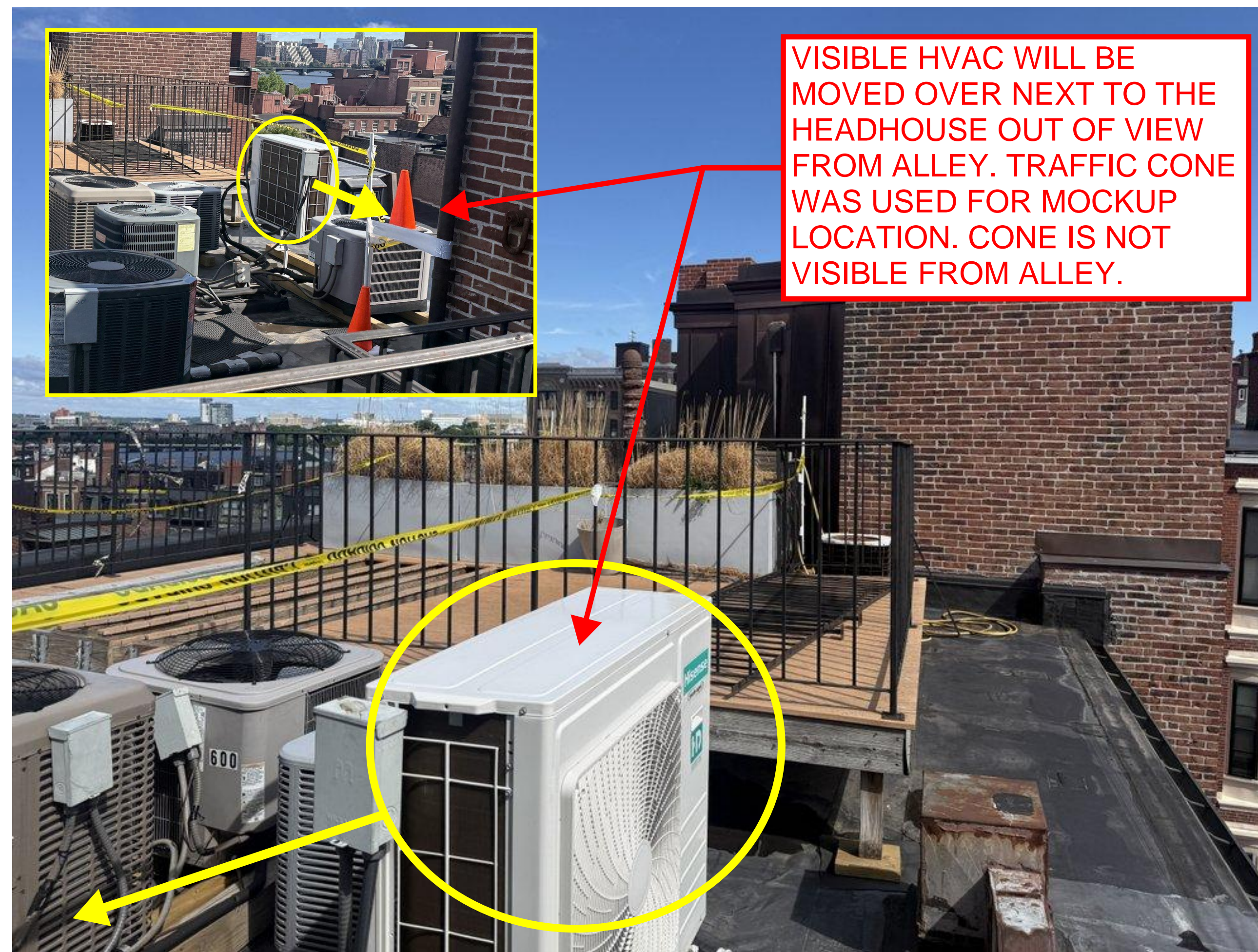
ZOOMED IN VIEW FROM PUBLIC ALLEY LOOKING WEST - MOCKUP RAILING IS PARTIALLY VISIBLE. HVAC CONE IS NOT.



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