



context
a collaborative design workshop

53-55 CUMMINGS ROAD

BRIGHTON, BOSTON, MA 02135

PROPOSED RENDERING

AI-GENERATED RENDERING. ACTUAL EXISTING CONDITIONS MAY VARY AND MAY APPEAR MORE WEATHERED THAN DEPICTED.



EXISTING PHOTO



SATELLITE PHOTO



SCOPE OF WORK

EXISTING FREE-STANDING TWO-FAMILY RESIDENTIAL BUILDING, CONSISTING OF CONDOMINIUMS 53 AND 55 RESPECTIVELY, TO BE RENOVATED AND HAVE AN ADDITIONAL FLOOR ABOVE. BUILDING WILL NOT HAVE AN ELEVATOR AND WILL NOT BE SPRINKLERED.

CODE ANALYSIS

OCCUPANCY TYPE: RESIDENTIAL (R-2)
TYPE OF CONSTRUCTION: **TYPE V.B**
ZONE: **MFR-1**

ZONING ANALYSIS

	ZONE MFR-1	EXISTING	PROPOSED	COMMENTS
LOT AREA MIN. FOR 3 DWELLING UNITS	4,000	15,447	UNCHANGED	*EXISTING LOT CONDITIONS
ADD'TL LOT AREA PER UNIT	1,000	-	-	*NO ADD'TL UNITS
LOT WIDTH	40'	91' & 125'	UNCHANGED	*EGREMONT RD. & CUMMINGS RD. WIDTH RESPECTIVELY
LOT FRONTAGE	40'	91' & 125'	UNCHANGED	
FAR	1.0	-	-	FAR: 1,583 GSF (EXISTING BDG) AND 2,366 GSF (PROPOSED BDG)
MAX. BUILDING HEIGHT (STORIES/FEET)	3/35'	2/21'	3/33'	
OPEN SPACE PER UNIT (SF)	200	9,700	UNCHANGED	
FRONT YARD	20'	5.9'	UNCHANGED	
SIDE YARD	10'	50.6'	UNCHANGED	
REAR YARD	20'	1.3'	UNCHANGED	
REAR YARD MAX. OCCUPANCY BY ACCESSORY BUILDING	25%	-	UNCHANGED	
OFF-STREET PARKING	1.75	-	2 SPACES	

APPLICABLE CODES

- BUILDING CODE:** 780 CMR MASSACHUSETTS STATE BUILDING CODE, 10TH EDITION (AMENDED INTERNATIONAL BUILDING CODE 2021, INTERNATIONAL RESIDENTIAL CODE 2021 AND THE 2021 INTERNATIONAL EXISTING BUILDING CODE W/ MASSACHUSETTS AMENDMENTS)
- ACCESSIBILITY:** MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR AND UNIFORM FEDERAL ACCESSIBILITY STANDARDS
- FIRE PROTECTION:** MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE 527 CMR 1.00 - 2015 NFPA 1: FIRE CODE WITH AMENDMENTS
- ELECTRICAL:** 527 CMR 12.00 MASSACHUSETTS ELECTRICAL CODE - 2020 NFPA 70 NATIONAL ELECTRICAL CODE WITH AMENDMENTS
- MECHANICAL:** INTERNATIONAL MECHANICAL CODE 2021 W/ AMENDMENTS
- PLUMBING:** 248 CMR BOARD OF STATE EXAMINERS OF PLUMBERS AND GAS FITTERS - UNIFORM STATE PLUMBING CODE
- ENERGY:** INTERNATIONAL ENERGY CONSERVATION CODE 2021 (IECC)
- AMERICANS WITH DISABILITIES ACT**
- BOSTON ZONING CODE**
- MGL CH. 148 SECTION 28G**

CODE SUMMARY

- PROPOSED USE OR OCCUPANCY: RESIDENTIAL (R-2)
 - OCCUPANT LOAD: (200 GROSS SF/PERSON PER TABLE 1004.1.2) APPROX. 2,380 SF = 12 PERSONS
- CONSTRUCTION TYPE: V.B. - TABLE 504.4
 - PER TABLE 601: STRUCTURAL FRAME, BEARING WALLS, FLOORS AND ROOF ARE NOT REQUIRED TO BE RATED
 - MAX. AREA IS 7,000 SF PER FLOOR PER TABLE 506 AND MAXIMUM HEIGHT IS 3 STORIES ABOVE GRADE - 504.4
- PER TABLE 1006.3.2(1):FOR USE GROUP R-2; ONLY ONE EXIT IS REQUIRED WHEN THERE ARE LESS THAN FOUR STORIES AND 4 DWELLING UNITS OR LESS PER STORY. TRAVEL DISTANCE IS LIMITED TO 125'
- MINIMUM WIDTH OF EGRESS STAIR: 36 INCHES PER SECTION 1011.2
- MAXIMUM LENGTH OF EXIT TRAVEL: 250 FEET PER 1017.2
- AREA OF REFUGE IS NOT REQUIRED IN GROUP R-2 OCCUPANCIES
- FIRE RATED CONSTRUCTION:
 - PER TABLE 602, IN V.B CONSTRUCTION EXTERIOR WALLS MORE THAN 10' FROM PROPERTY LINE ARE NOT REQUIRED TO BE RATED, 10' OR LESS MUST BE 1 HOUR RATED.
 - DEMISING PARTITION/CORRIDORS MUST BE 1 HOUR IN A TYPE V.B BUILDING 420.2 AND 708.3
 - HORIZONTAL SEPARATION BETWEEN DWELLING UNITS: 1/2 HOUR IN A FULLY SPRINKLERED TYPE V.B BUILDING, 1 HOUR IN A NON-SPRINKLERED TYPE V.B BUILDING PER 420.3 AND 711.2.4.3
 - STAIRWAYS CONNECTING 4 OR MORE STORIES ARE TO BE 2 HOUR RATED, STAIRS CONNECTING LESS THAN 4 STORIES ARE TO BE 1 HOUR RATED PER 1023.2
 - PER TABLE 716.5: 1 HOUR ENCLOSURES AND EXIT ACCESS SHALL HAVE 1 HOUR DOORS. 1 HOUR AND 1/2 HOUR CORRIDORS SHALL HAVE A MINIMUM 1/3 HOUR RATED DOOR. 2 HOUR ENCLOSURES AND EXIT ACCESS SHALL HAVE 1-1/2 HOUR RATED DOORS.
- DEMISING PARTITION MINIMUM: STC 50 PER SECTION 1207.2 AND MIN. 50 IIC BETWEEN FLOORS
- ACCESSIBILITY REQUIREMENTS:
 - 521 CMR 9.2.1 - EXISTING BUILDINGS RENOVATED FOR RESIDENTIAL USE ARE EXEMPT FROM MAAB REQUIREMENTS

ENERGY REQUIREMENTS

- MASSACHUSETTS ENERGY STRETCH CODE, CHAPTER 4 - RESIDENTIAL ENERGY EFFICIENCY - RESIDENTIAL BUILDINGS, INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2021
- CLIMATE ZONE 5 PER TABLE 301.1
- EXISTING WALLS AND CEILINGS: FILL EXISTING WALL AND CEILING CAVITIES WITH INSULATION PER IECC 503.1
- PER IECC TABLE 402.4, FIXED FENESTRATION SHALL HAVE A U-FACTOR OF 0.36 OR BETTER; OPERABLE FENESTRATION SHALL HAVE A U-FACTOR OF 0.45 OR BETTER, AND SHGC 0.33 OR BETTER.
- SKYLIGHTS SHALL HAVE A U-FACTOR OF 0.5 OR BETTER, SHGC OF 0.4 OR BETTER PER 402.4.
- VAPOR RETARDER IS REQUIRED TO COMPLY WITH R402.1.1 OF THE IECC AND R702.7 OF THE INTERNATIONAL RESIDENTIAL CODE. VAPOR RETARDER IS NOT REQUIRED IN BASEMENT OR BELOW GRADE WALLS.
- R402.1.3 - CEILING: R=60; WOOD FRAME WALL: R-20 (CAVITY)+ 5 (CONTINUOUS); FLOOR R=30; BASEMENT WALLS AND CRAWL SPACES: R=15 CONTINUOUS OR R=19 IN CAVITY OR R=13 IN CAVITY WITH R=5 CONTINUOUS; SLAB R=10ci TO 4"
- DEMAND RECIRCULATION WATER SYSTEMS SHALL HAVE CONTROLS THAT COMPLY WITH REQUIRED CODES
- REFER TO PLUMBING DRAWINGS FOR INSULATION AT PIPING.

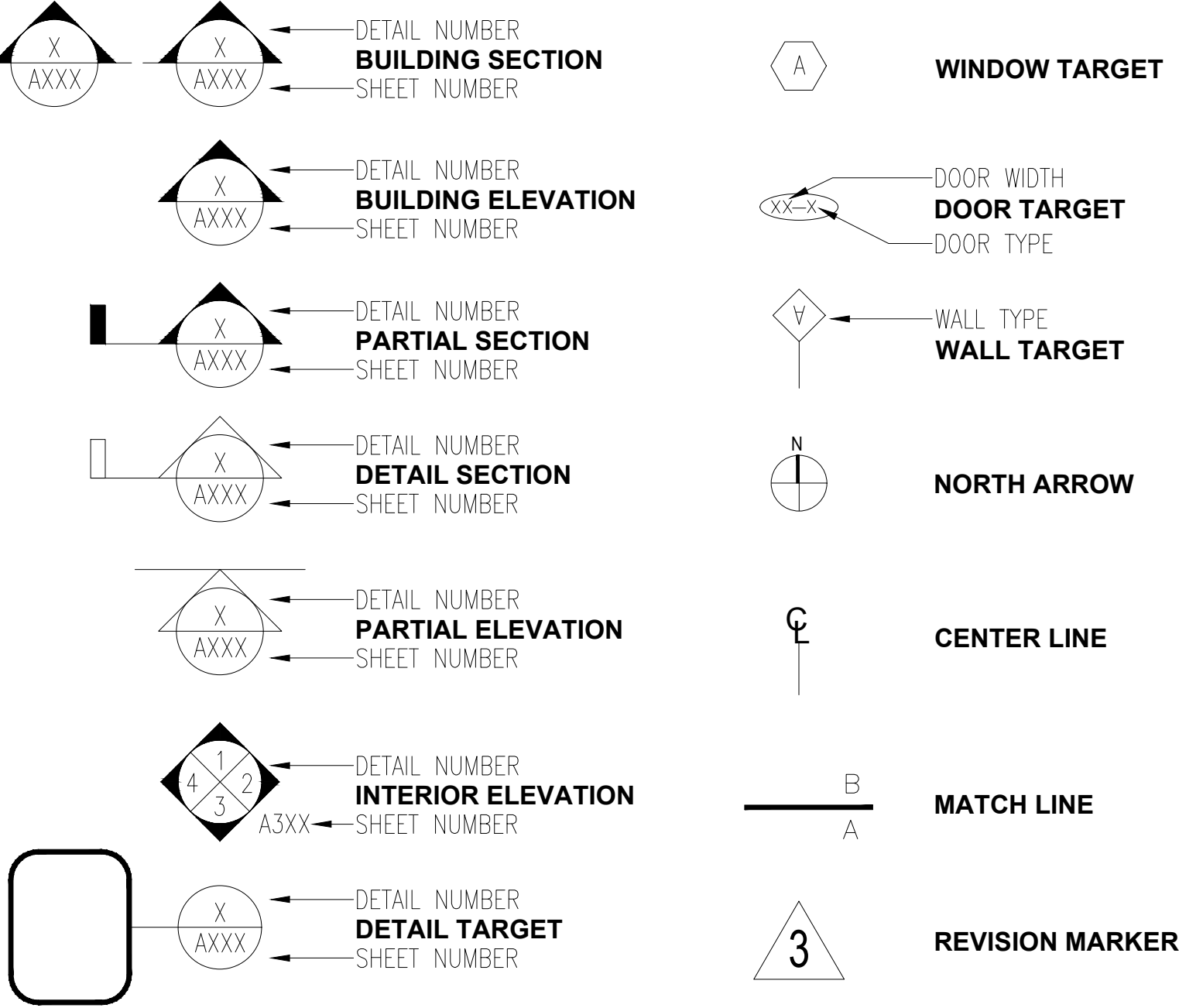
GENERAL NOTES

- ALL WORK SHALL COMPLY WITH STATE, NATIONAL CODES, REGULATIONS AND RESTRICTIONS WHICH APPLY TO THIS PROJECT.
- THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND POSTING ALL NECESSARY VALID CONSTRUCTION PERMITS FROM ALL LOCAL, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION PRIOR TO THE START OF ON-SITE CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP ALL BUILDING MEANS OF EGRESS CLEAR OF ANY OBSTRUCTIONS AT ALL TIMES.
- THE GENERAL CONTRACTOR MUST COORDINATE WITH THE BUILDING FACILITIES MANAGER ALL ACTIVITIES INCLUDING, BUT NOT LIMITED TO WORK WHICH WILL GENERATE EXCESSIVE NOISE NOISE AND MODIFICATION TO UTILITIES. WORK MUST NOT INTERFERE WITH EXISTING SMOKE DETECTORS, ALARMS OR BUILDING SYSTEM MANAGEMENT
- THE GENERAL CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH ANY TENANT DESIGN AND CONSTRUCTION MANUAL AND ANY OTHER BUILDING OWNER OR BUILDING STANDARDS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION ACTIVITIES, MATERIALS, MEANS AND METHODS. THE CONTRACTOR IS TO COORDINATE ALL SUBCONTRACTORS TO COMPLETE THE FULL SCOPE OF WORK AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROPERLY LAYING OUT THE WORK AND FOR ALL LINES AND MEASUREMENTS FOR THE WORK.
- BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED OR DAMAGED BY THE WORK SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR, OR AS APPROVED BY THE OWNER.
- WHERE THE DESIGN INTENT CANNOT BE DETERMINED FROM THE DRAWINGS, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. (312) 780-9456
- THE CONTRACTOR SHALL VERIFY THE DIMENSIONS SHOWN ON THE DRAWINGS BEFORE LAYING OUT THE WORK, AND SHALL BE HELD RESPONSIBLE FOR ANY ERRORS OR INACCURACIES RESULTING FROM FAILURE TO DO SO.
- DETAILS SHOWN ARE INDICATIVE OF THE CHARACTER, PROFILES, MATERIALS AND SYSTEMS REQUIRED FOR THE WORK INCLUDING THOSE CONDITIONS NOT COVERED BY SPECIFIC DETAILS.
- DIMENSIONS SHALL GOVERN, DO NOT SCALE THE DRAWINGS. WHERE THERE APPEARS TO BE A CONFLICT OR WHERE DIMENSIONS CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL DIMENSIONS ARE TO INSIDE FACE OF WALLS.
- UNLESS SHOWN OTHERWISE, ALL DOORS SHALL BE LOCATED SUCH THAT THERE IS A 6 INCH WALL RETURN BETWEEN THE JAMB FRAME AND THE ADJACENT WALL.
- +0'-0" IN THE DRAWINGS TO INDICATE ELEVATION OF _____.
- CONSULT WITH THE ARCHITECT OR ENGINEER BEFORE PENETRATING ANY JOISTS, BEAMS, OR OTHER STRUCTURAL MEMBERS

ISSUED FOR REVISION #2 07-28-2026

- ALL CONSTRUCTION MATERIALS AND EQUIPMENT ARE TO BE STORED NEATLY WITHIN THE SCOPE OF WORK AREA ONLY.
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS
 - SUBMIT SHOP DRAWINGS AND SAMPLES FOR ALL STEEL, MILLWORK, SIGNAGE, HARDWARE AND INTERIOR FINISHES
 - SUBMIT PRODUCT DATA FOR FIXTURES AND HARDWARE
 - ALL INTERIOR AND EXTERIOR FINISHES, COLORS AND MATERIALS ARE TO BE SELECTED AND APPROVED BY THE OWNER PRIOR TO CONSTRUCTION
 - ALL INTERIOR FINISHES AND FURNISHINGS ARE TO BE CLASS 'A' FIRE RATED AND ARE TO COMPLY WITH MASSACHUSETTS BUILDING CODE AND THE BOSTON FIRE CODE
 - ALL WOOD COMPONENTS SHALL BE FIRE TREATED
 - CONFIRM THAT ALL MATERIALS AND FINISHES, INCLUDING THEIR FABRICATION AND INSTALLATION WILL NOT RELEASE FUMES OR AROMAS WHICH MAY BE A HAZARD OR NUISANCE TO PERSONNEL
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PANEL CONTROL AND CIRCUIT DESIGN AND FOR COMPLIANCE WITH ALL BUILDING, LIFE SAFETY, AND STATE AND NATIONAL ELECTRICAL CODES WHICH MAY APPLY
- ALL EXPOSED UTILITY WIRES AND PIPES SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS AND CEILINGS; THEY SHALL BE INSTALLED A MINIMUM OF 6" OFF OF FLOORS AND 1" OFF OF WALLS, CEILINGS OR ADJACENT PIPES OR WIRES
- WHERE APPROPRIATE, EXISTING SPRINKLER HEADS ALARM SYSTEM AND DETECTORS ARE TO REMAIN. MODIFY LOCATIONS ONLY WHERE CEILING IS ALTERED OR AS INDICATED ON FIRE PROTECTION DRAWINGS.
- EQUIPMENT INFORMATION AND SPECIFICATIONS, INCLUDING EQUIPMENT SUPPLIED BY THE OWNER, ARE TO BE THE MOST CURRENT AT THE TIME OF DOCUMENTATION PREPARATION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT DIMENSIONS AND EQUIPMENT CONNECTION REQUIREMENTS.
- MAKE ALL FINAL CONNECTIONS, INSTALL THE SET UP IN WORKING ORDER, CHECK WARRANTIES, TEST AND NOTE VOID WARRANTIES.
- COORDINATE WITH THE OWNER DELIVERY, STORAGE AND INSTALLATION OF ALL EQUIPMENT, INCLUDING THAT SUPPLIED BY THE OWNER.
- PROVIDE ALL TEMPORARY FACILITIES AND SERVICES, CONSTRUCTION AND SUPPORT FACILITIES AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF THE WORK
- ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS OTHERWISE SPECIFIED FOR A LONGER PERIOD OF TIME FOR A CERTAIN ITEM
- SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS OR RODENTS
- EMPLOY EXPERIENCED WORKERS FOR FINAL CLEANING, CLEAN TO COMMERCIAL BUILDING PROGRAM STANDARDS
- DISPOSE OF ALL WASTE AND DEBRIS OFF THE PREMISES

SYMBOLS



REVISIONS

- MODIFICATIONS TO THE PERMIT SET DATED 06/15/2026 INCLUDED IN THIS DRAWING SET:
- EXTERIOR UPGRADES: WINDOW TYPE, CORNICE AND SIDING ORIENTATION.
 - MINOR LANDSCAPE UPDATES

53-55 Cummings Rd.
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ARCHITECT:

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LIST OF DRAWINGS

A000 COVER, ANALYSIS, NOTES

A101 SITE PLAN
A102 PROPOSED PLANS

A201 PROPOSED ELEVATIONS
A251 BUILDING SECTION

A701 DETAILS
A702 DETAILS

A901 EXISTING PLANS
A951 EXISTING ELEVATIONS

PROJECT KEY PLAN:



SEAL:

DRAWN BY: FA CHECKED BY: EZ

03 07-28-2026 ISSUED FOR REVISION #2
02 06-15-2026 ISSUED FOR REVISION #1
01 10-29-2025 ISSUED FOR PERMIT SET

COVER, ANALYSIS, NOTES

PROJECT No. 779 SHEET No. A000
DATE: 07-28-2026
SCALE: AS INDICATED

A000

1. REFER TO SHEET A701
FOR TYP. WALL
ASSEMBLIES
2. REFER TO SHEET A702
FOR TYP. FLOOR,
ROOF, & CEILING
ASSEMBLIES
3. ALL NEW INTERIOR
PARTITIONS TO BE
TYPE A UNLESS NOTED
OTHERWISE
4. ALL NEW BATHROOM
TUBS TO BE 30"x60".
AND SHOWERS 36"x60"
UNLESS NOTED
OTHERWISE
5. COORD. WITH OWNER
AND ARCHITECT ON
FINISHED FLOOR
MATERIAL

SEAL:

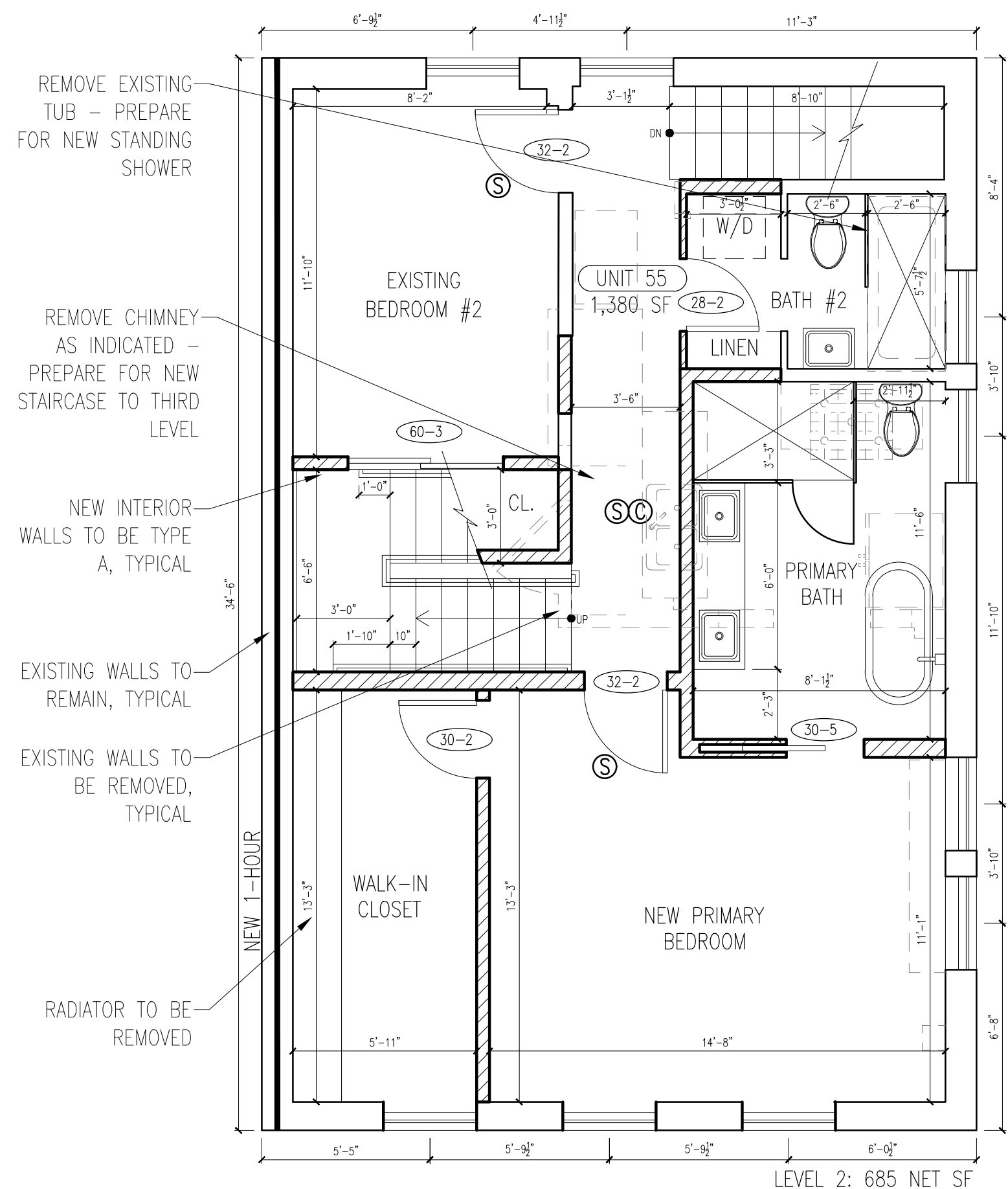
HECKED BY: EZ

ISSUED FOR PERMIT SET

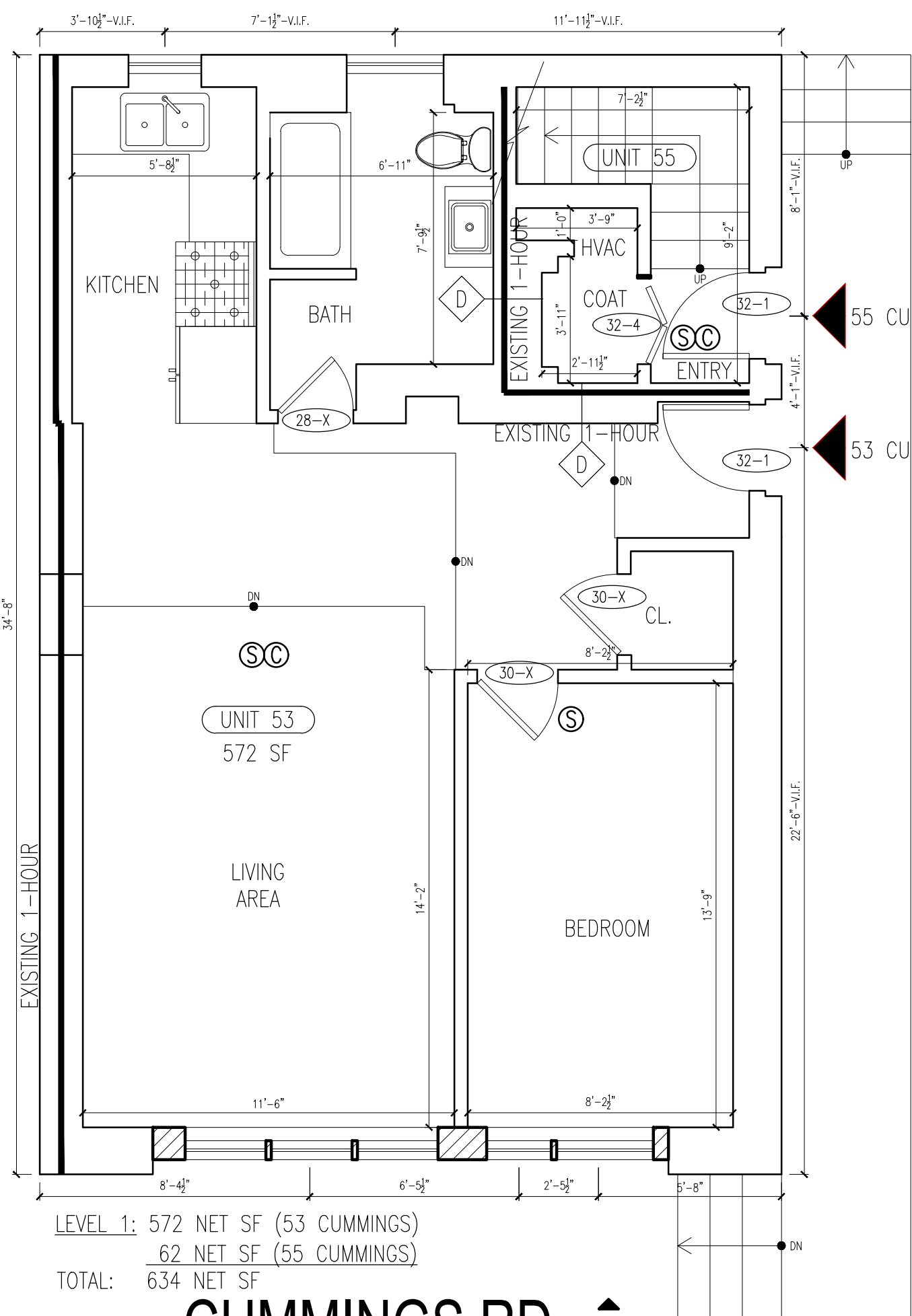
E: AS INDICATED

Context 2026

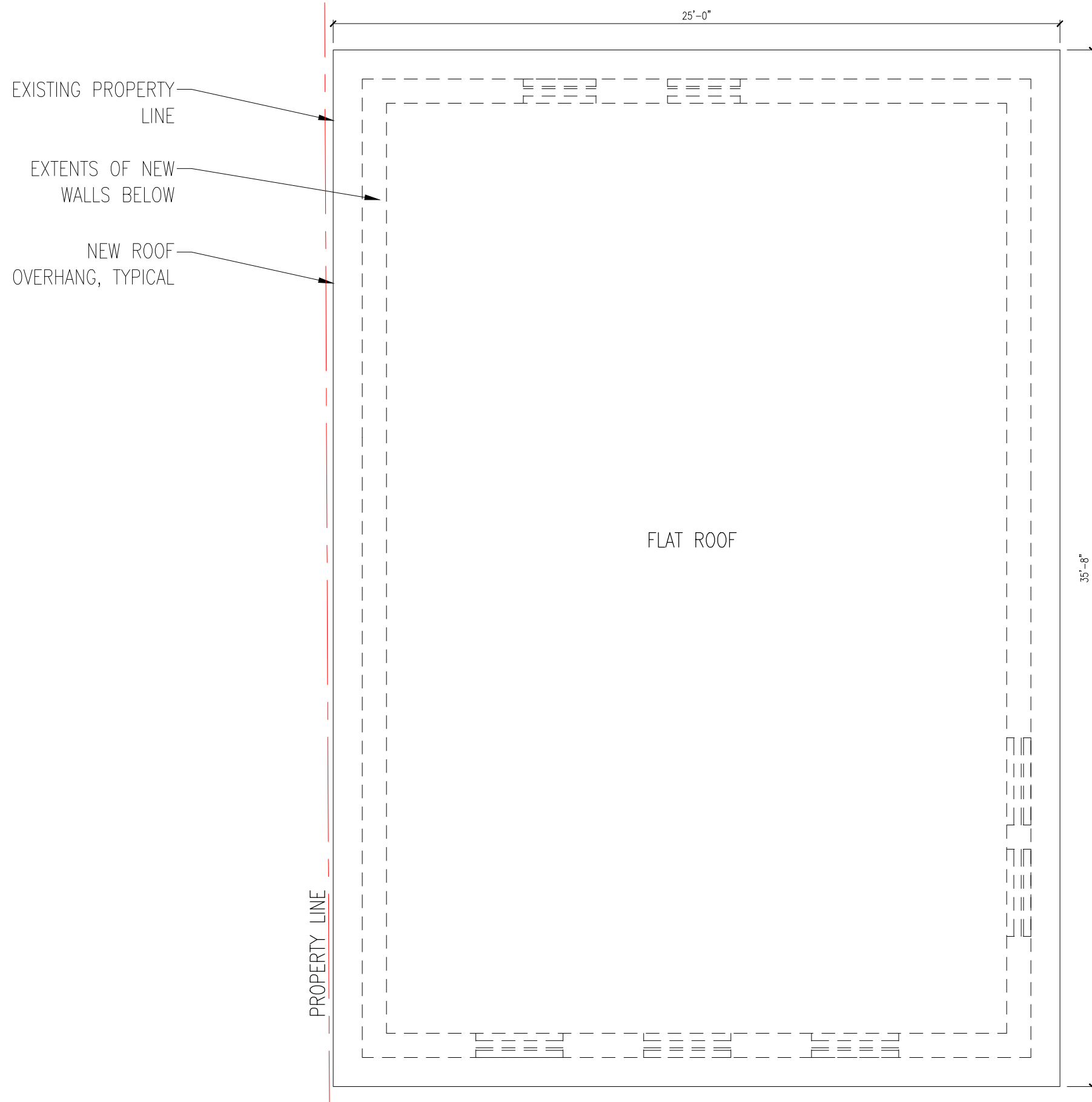




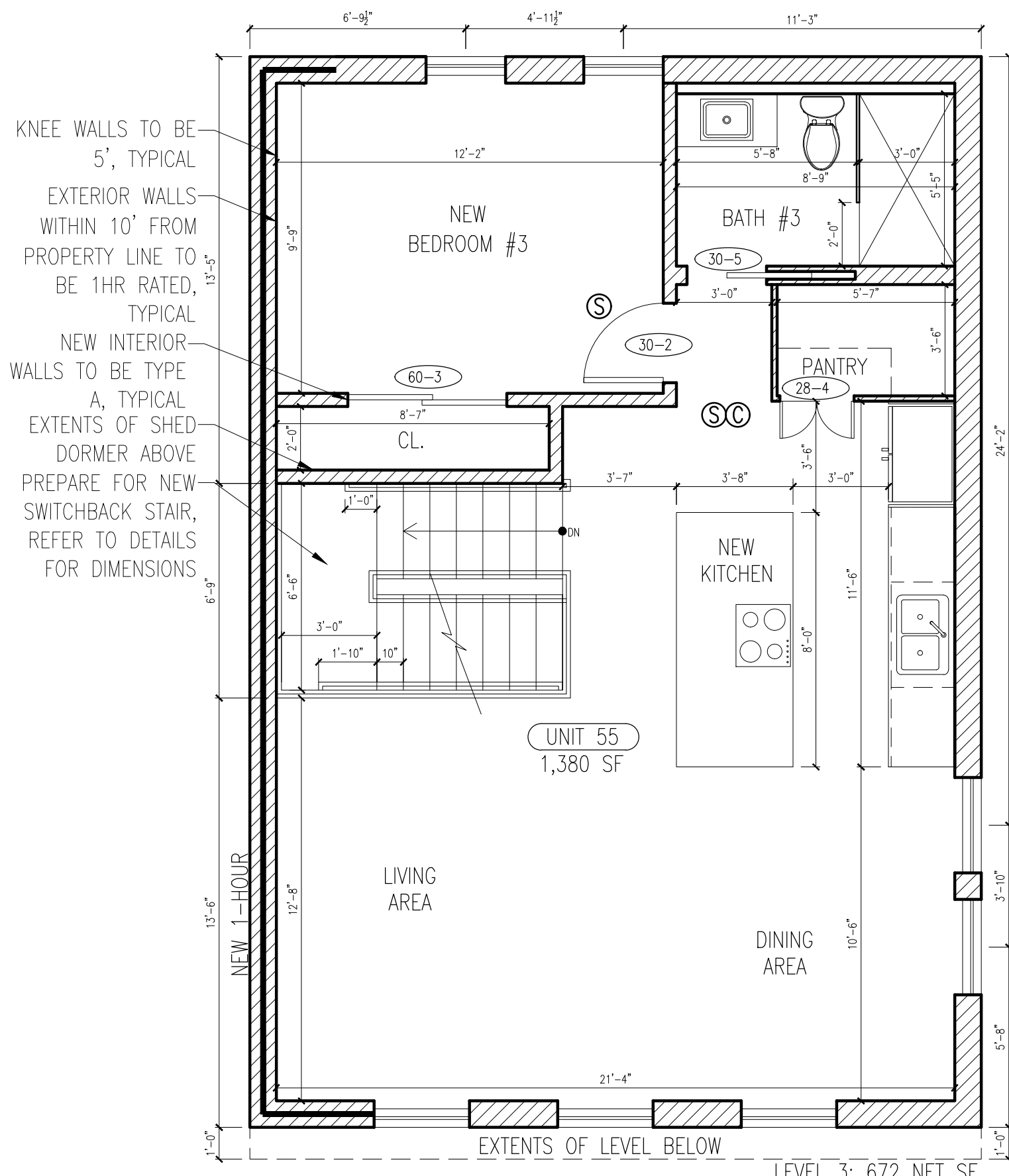
2 LEVEL 2 PLAN
SCALE: 1/4" = 1'-0"



1 LEVEL 1 PLAN
SCALE: 1/4" = 1'-0"



4 ROOF LEVEL PLAN
SCALE: 1/4" = 1'-0"



3 LEVEL 3 PLAN
SCALE: 1/4" = 1'-0"

NOTES TODAY:

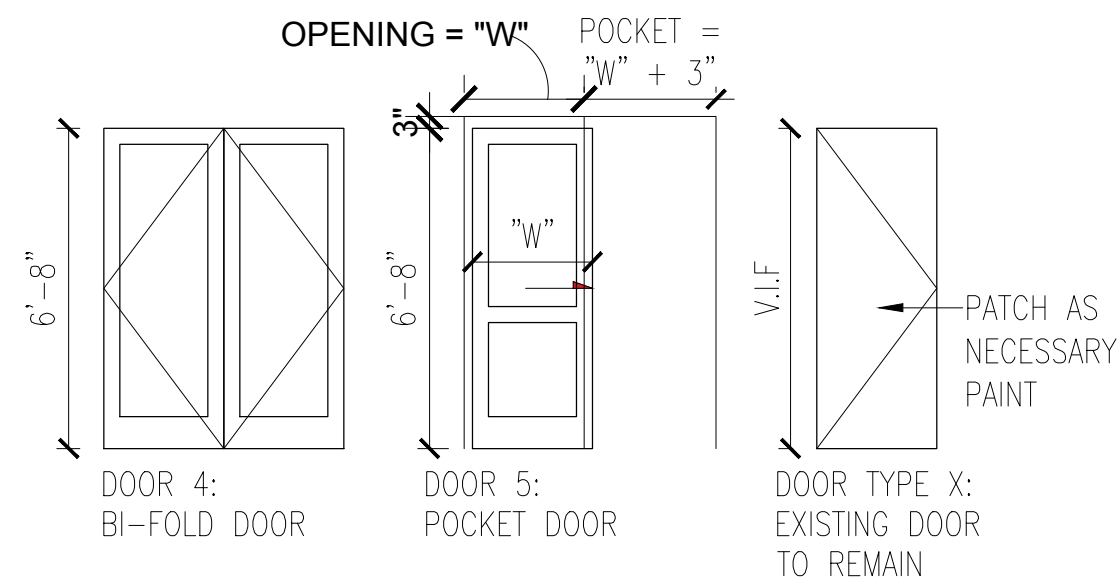
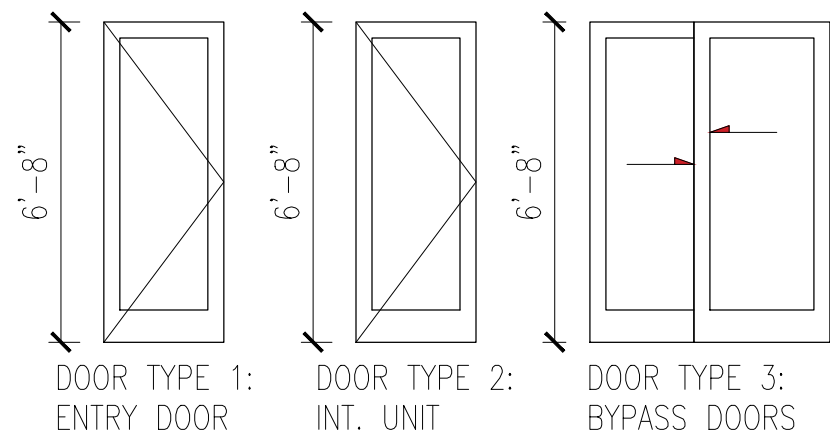
LEGEND

- NEW PARTITION
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVE
- 1/2 HR PARTITION RATING
- 1 HR 1 HOUR RATED PARTITION
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR 4" BETWEEN ADJACENT WALL AND OPENING, UNLESS NOTED OTHERWISE

- SMOKE DETECTOR, HARDWIRED AND INTERCONNECTED
- CARBON MONOXIDE DETECTOR, HARDWIRED AND INTERCONNECTED
- HEAT DETECTOR, HARDWIRED AND INTERCONNECTED

DOOR SCHEDULE

- ALL NEW DOORS TO BE 6'-8" HIGH, 1 3/4" THICK SOLID CORE WOOD DOORS WITH WOOD FRAMES UNLESS NOTED OTHERWISE.
- INTERIOR DOORS ARE TO BE PAINTED WHITE, CONFIRM EXTERIOR DOOR COLOR AND FINISH WITH OWNER AND ARCHITECT
- DOOR TYPES:



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ARCHITECT:

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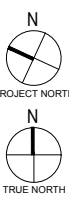
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SHEET NOTES

- REFER TO SHEET A701 FOR TYP. WALL ASSEMBLIES
- REFER TO SHEET A702 FOR TYP. FLOOR, ROOF, & CEILING ASSEMBLIES
- ALL NEW INTERIOR PARTITIONS TO BE TYPE A UNLESS NOTED OTHERWISE
- ALL NEW BATHROOM TUBS TO BE 30"X60", AND SHOWERS 36"X60" UNLESS NOTED OTHERWISE
- COORD. WITH OWNER AND ARCHITECT ON FINISH MATERIALS

PROJECT KEY PLAN:



SEAL:

DRAWN BY: FA

CHECKED BY: EZ

03 07-28-2026 ISSUED FOR REVISION #2
02 06-15-2026 ISSUED FOR REVISION #1
01 10-29-2025 ISSUED FOR PERMIT SET

PROPOSED PLANS

PROJECT No.: 779
DATE: 07-28-2026
SCALE: AS INDICATED

SHEET No.:

A102

ARCHITECT:

context

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SHEET NOTES

- ELEVATION MARKERS INDICATE ELEVATION AT TOP OF FINISHED FLOOR
- A.F.F = SILL ELEVATION AWAY FROM FINISHED FLOOR
- MATERIAL DIMENSIONS SUGGEST NOMINAL SIZE; REFER TO MANUFACTURER FOR EXACT DIMENSIONS

PROJECT KEY PLAN:



SEAL:

DRAWN BY: FA

CHECKED BY: EZ

03	07-28-2026	ISSUED FOR REVISION #2
02	06-15-2026	ISSUED FOR REVISION #1
01	10-29-2025	ISSUED FOR PERMIT SET

PROPOSED ELEVATIONS

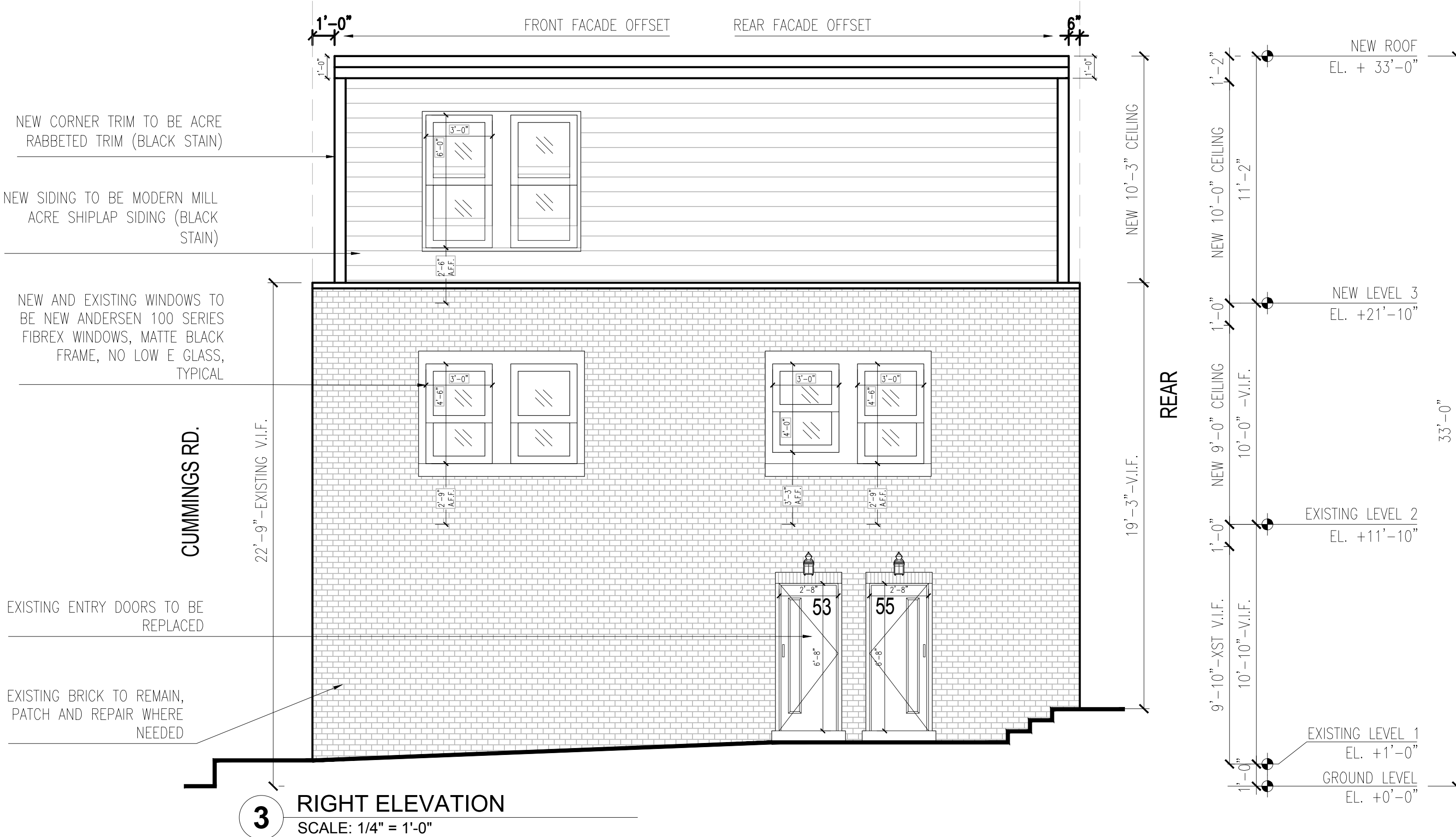
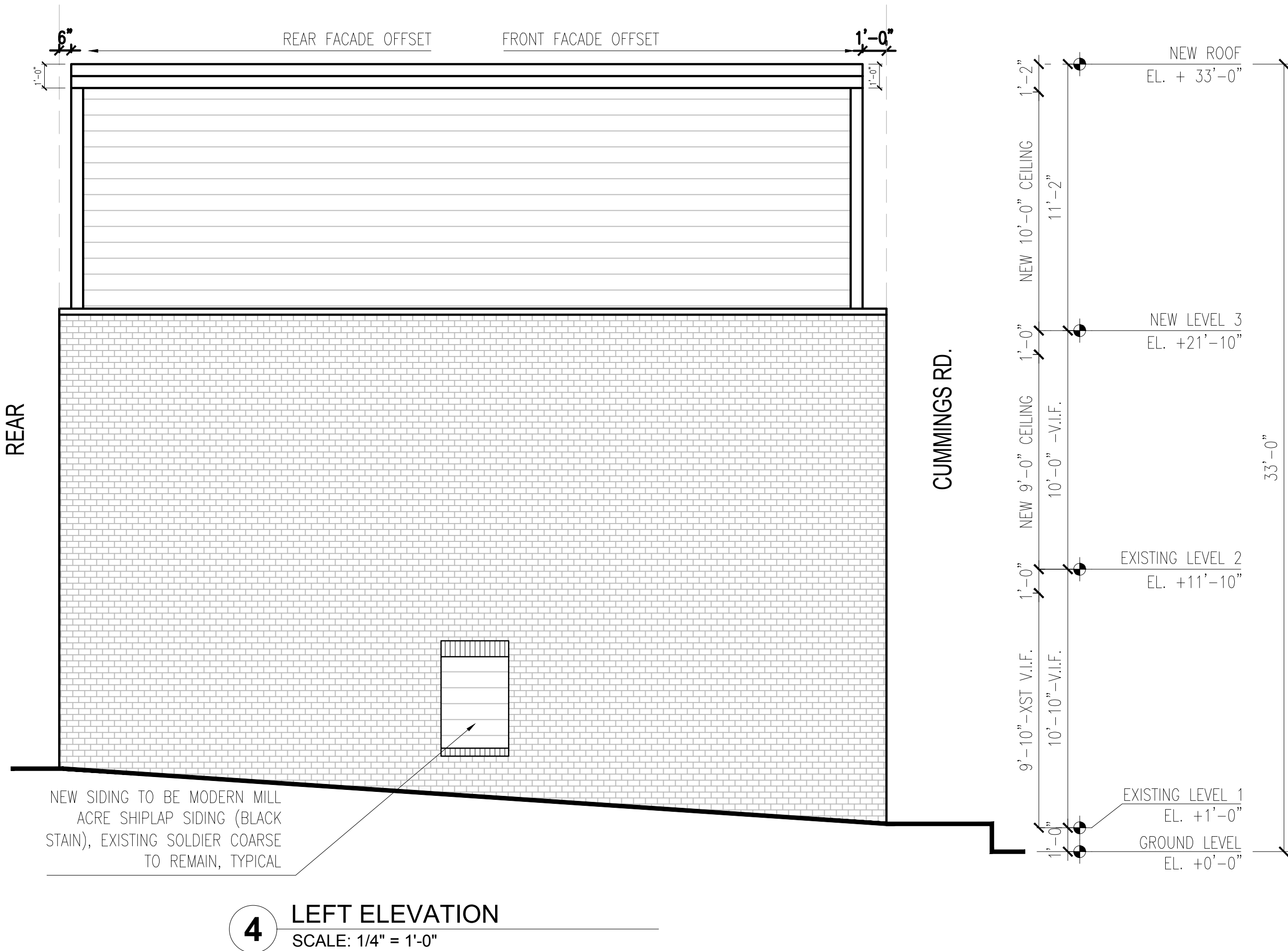
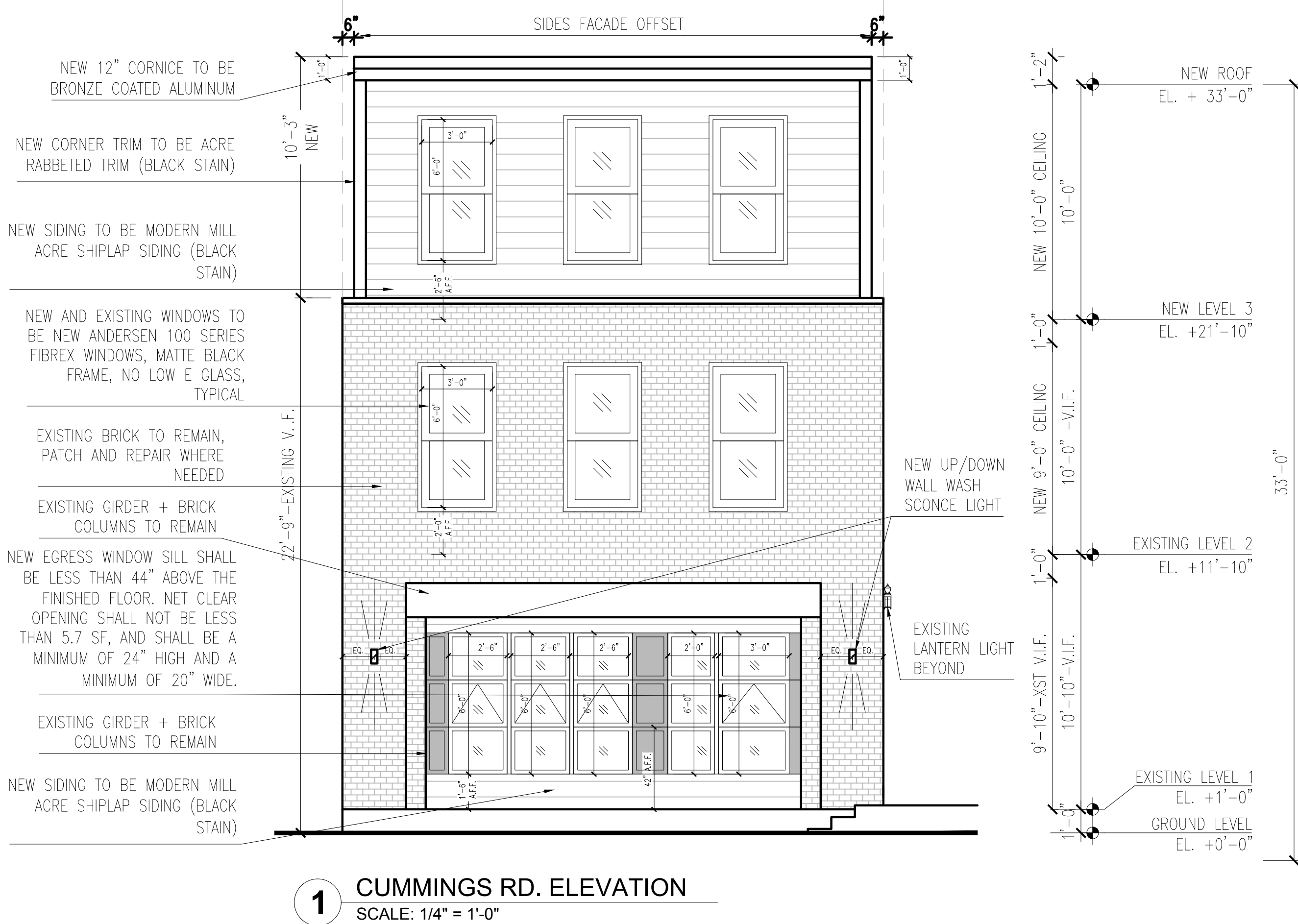
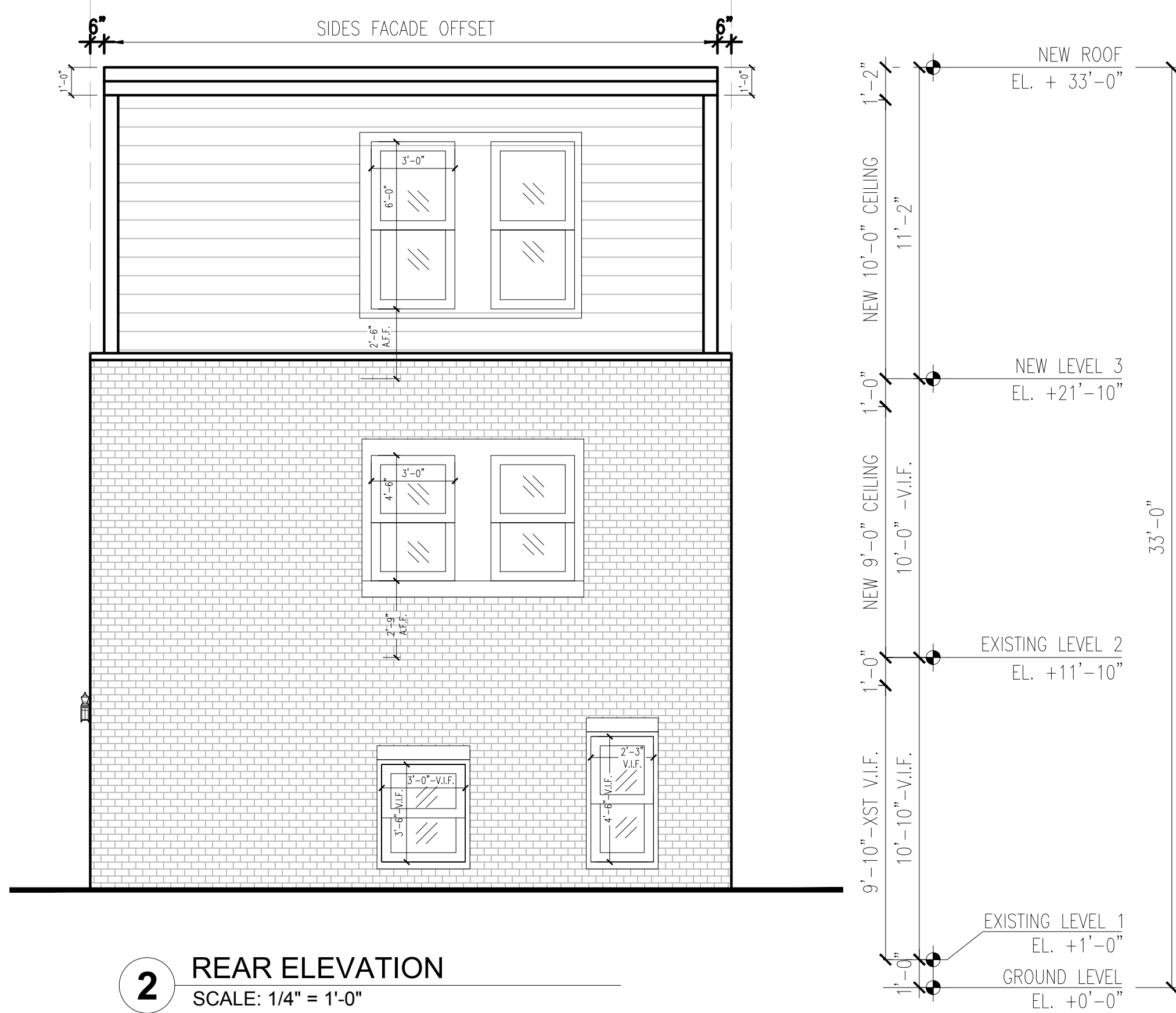
PROJECT No.: 779

SHEET No.:

A201

DATE: 07-28-2026

SCALE: AS INDICATED



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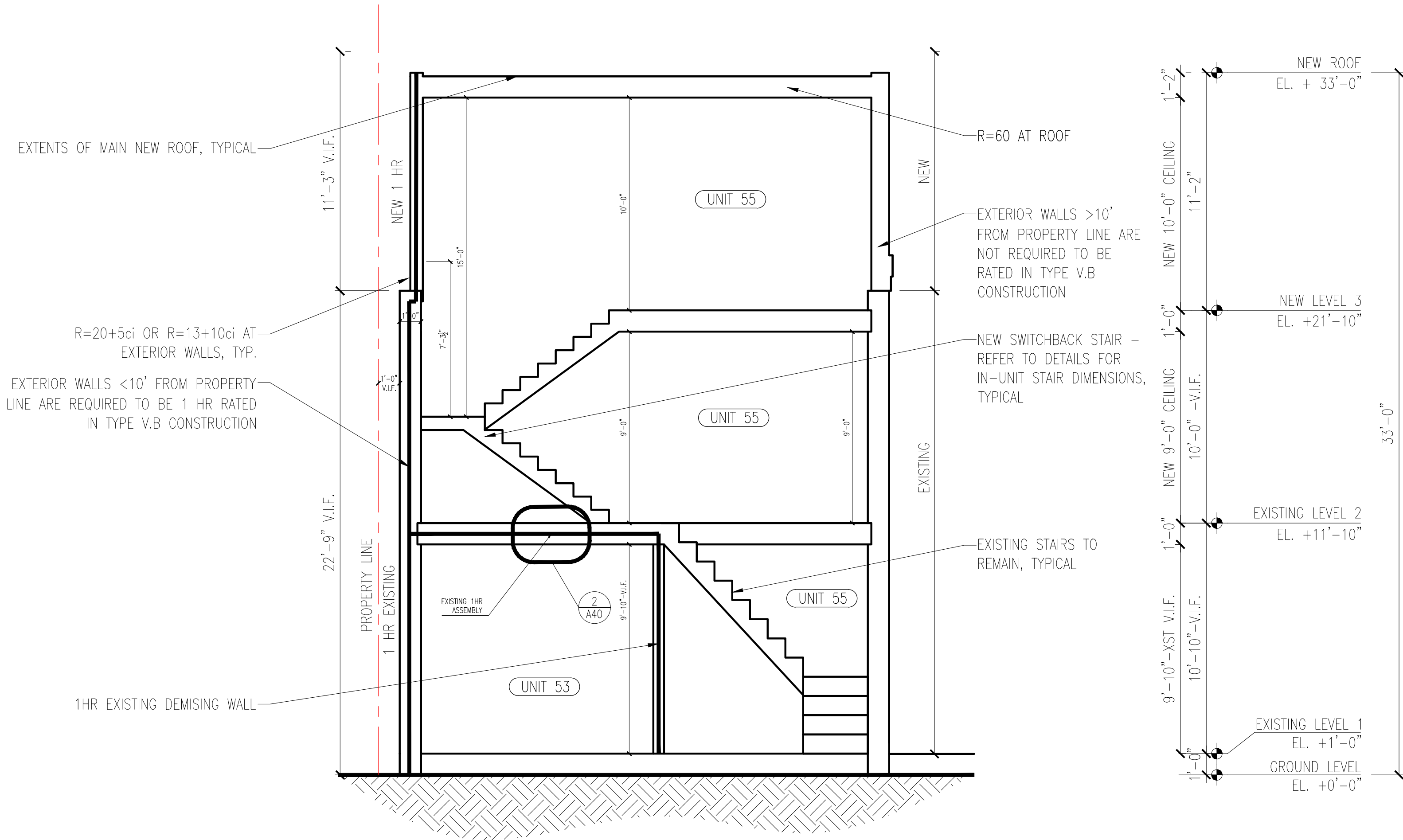
ARCHITECT:

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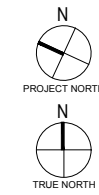
SHEET NOTES

1. REFER TO PLANS ON SHEETS A102-AXX FOR FIRE-RATED WALL TYPE AND LOCATION
2. REFER TO SHEET A702 FOR TYP. FLOOR, ROOF, & CEILING ASSEMBLIES
3. ELEVATION MARKERS INDICATE ELEVATIONS AT TOP OF FINISH FLOOR
4. CONTRACTOR TO CONFIRM FLOOR AND ROOF MEMBER DEPTHS WITH FRAMING PLAN



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

PROJECT KEY PLAN:



SEAL:

DRAWN BY: FA

CHECKED BY: EZ

03	07-28-2026	ISSUED FOR REVISION #2
02	06-15-2026	ISSUED FOR REVISION #1
01	10-29-2025	ISSUED FOR PERMIT SET

BUILDING SECTION

PROJECT No.: 779
DATE: 07-28-2026
SCALE: AS INDICATED

SHEET No.:

A251

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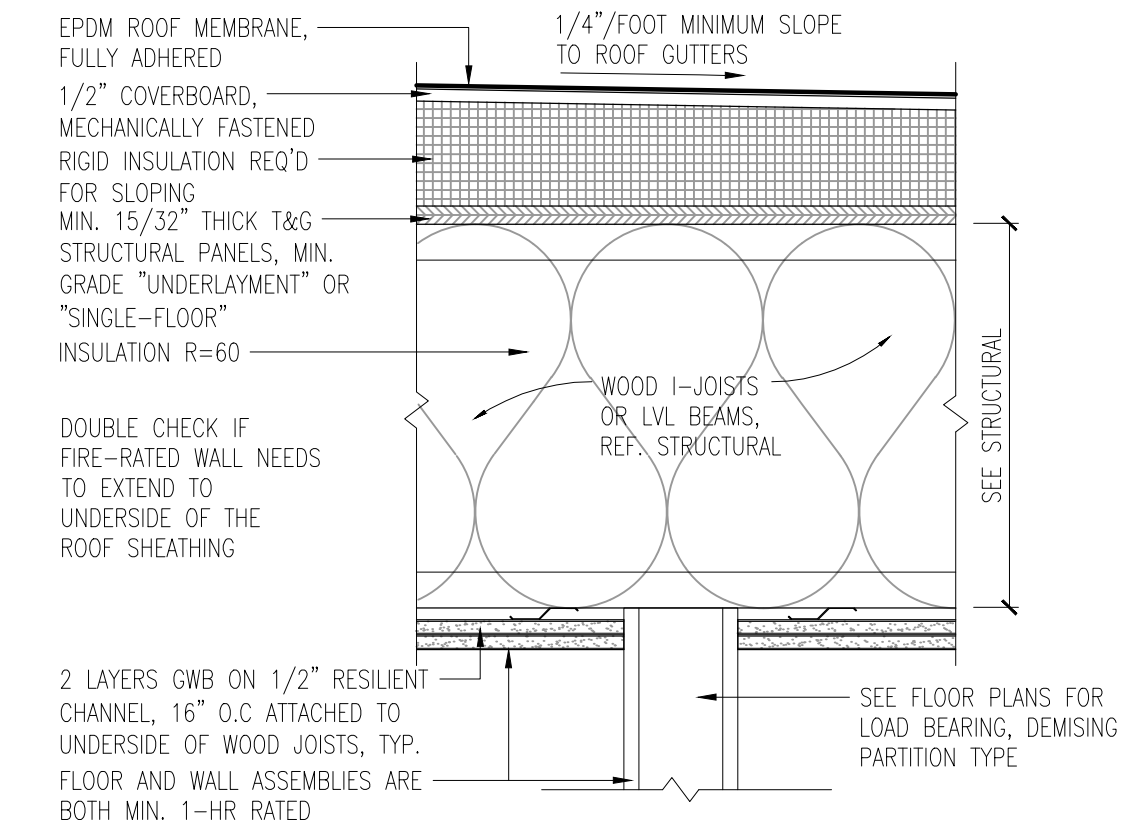
ARCHITECT:

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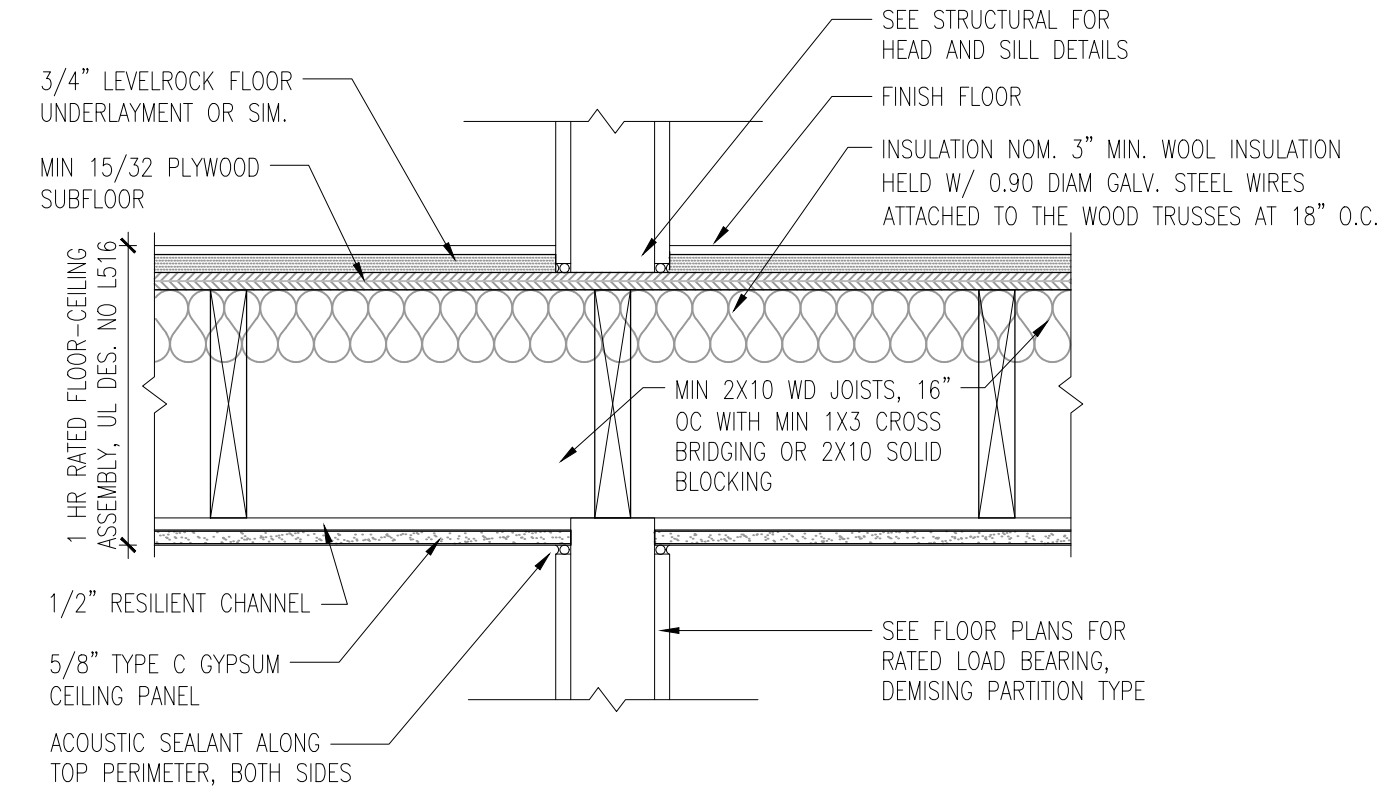
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SHEET NOTES

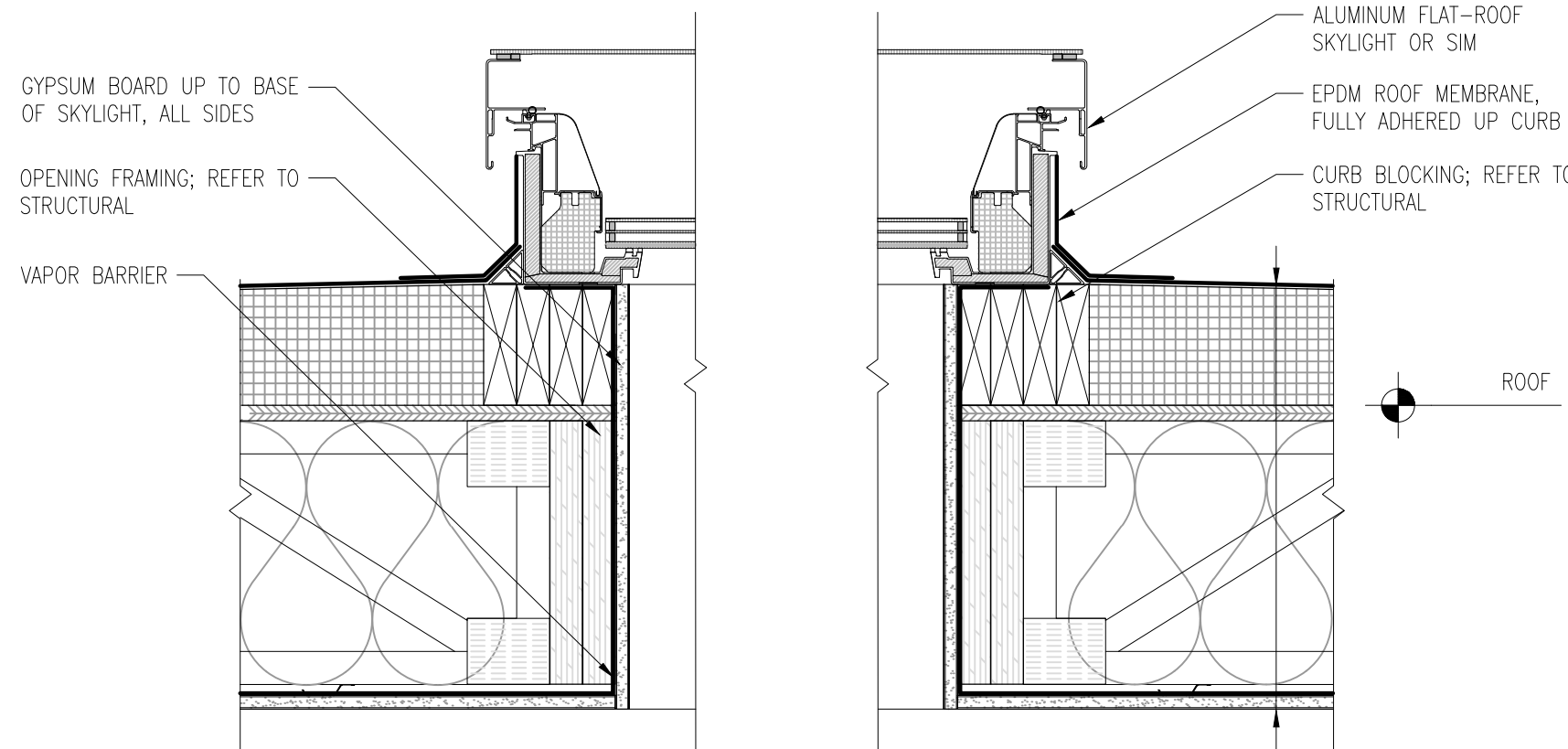
- EWA = EXTERIOR WALL ASSEMBLY
- IP = INTERIOR PARTITION
- NR = NOT RATED



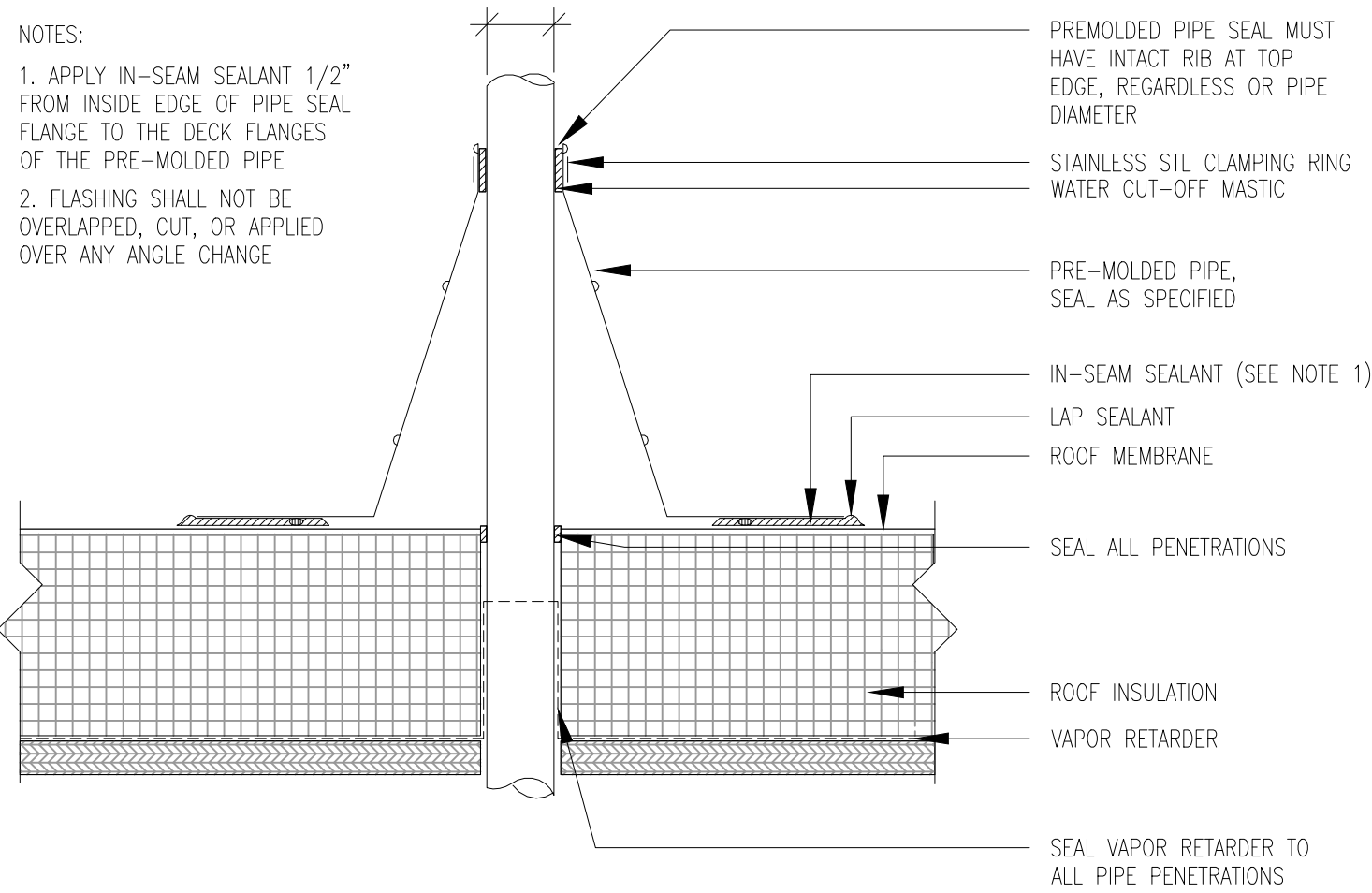
RCA1 ROOF-CEILING ASSEMBLY (1-HR)
SCALE: 1 1/2" = 1'-0"



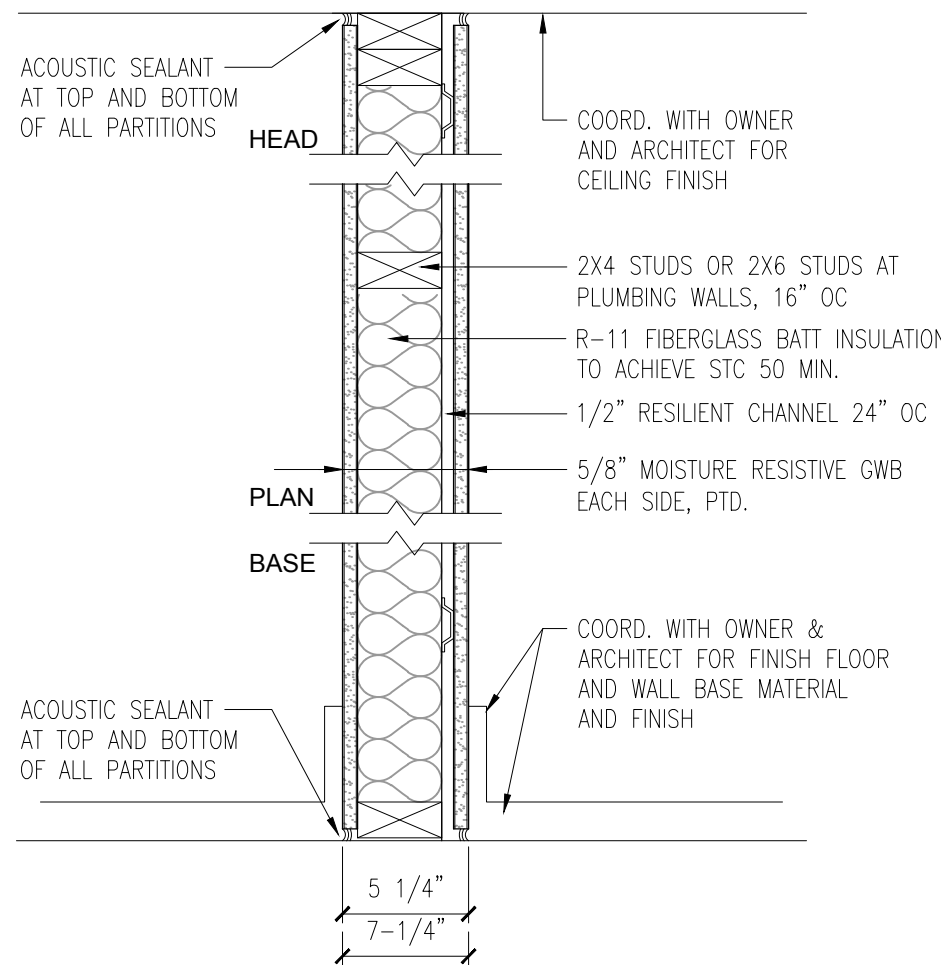
FCA1 TYP. FLOOR-CEILING ASSEMBLY (1HR)
SCALE: 1 1/2" = 1'-0"



2 SKYLIGHT DETAIL
SCALE: 1 1/2" = 1'-0"

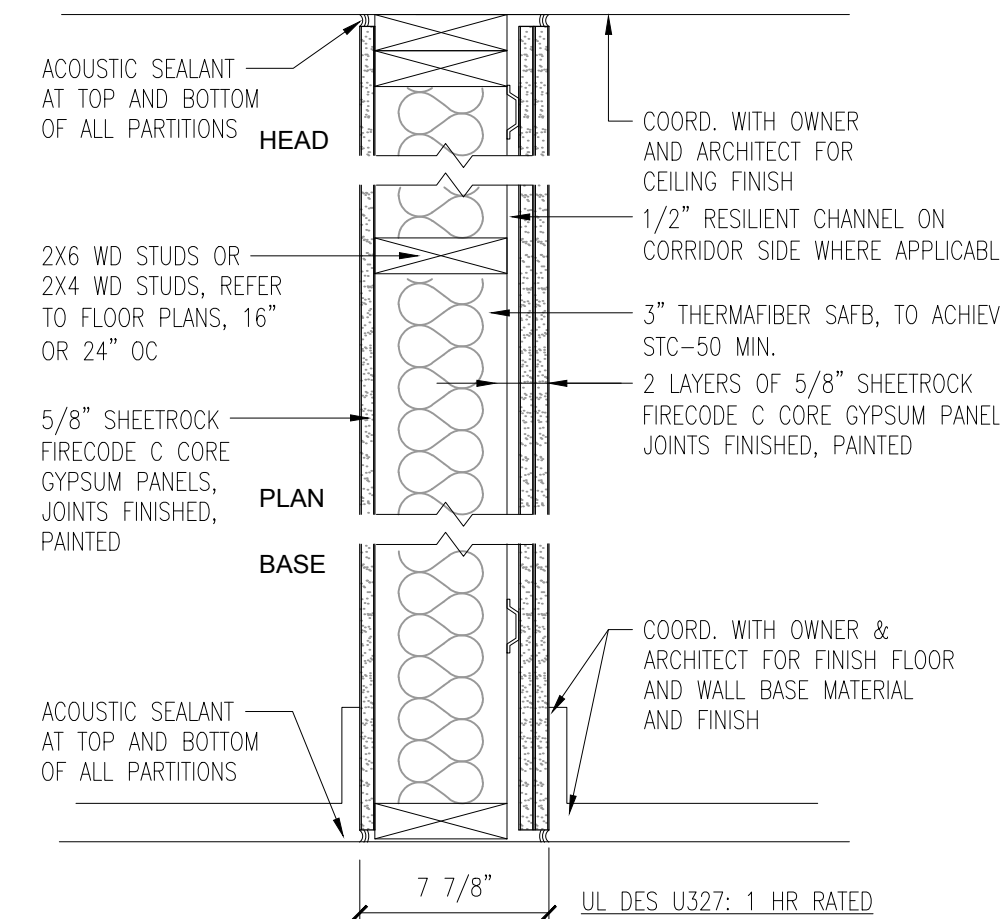


1 ROOF PENETRATION SECTION DETAIL
SCALE: 3" = 1'-0"

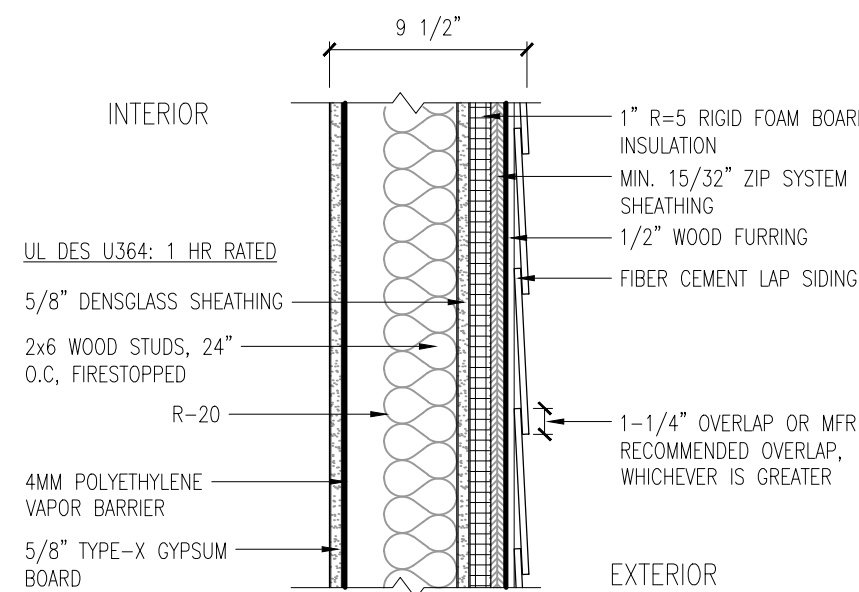


B IP: 2X4 BATHROOM PARTITION (NR)
SCALE: 1 1/2" = 1'-0"

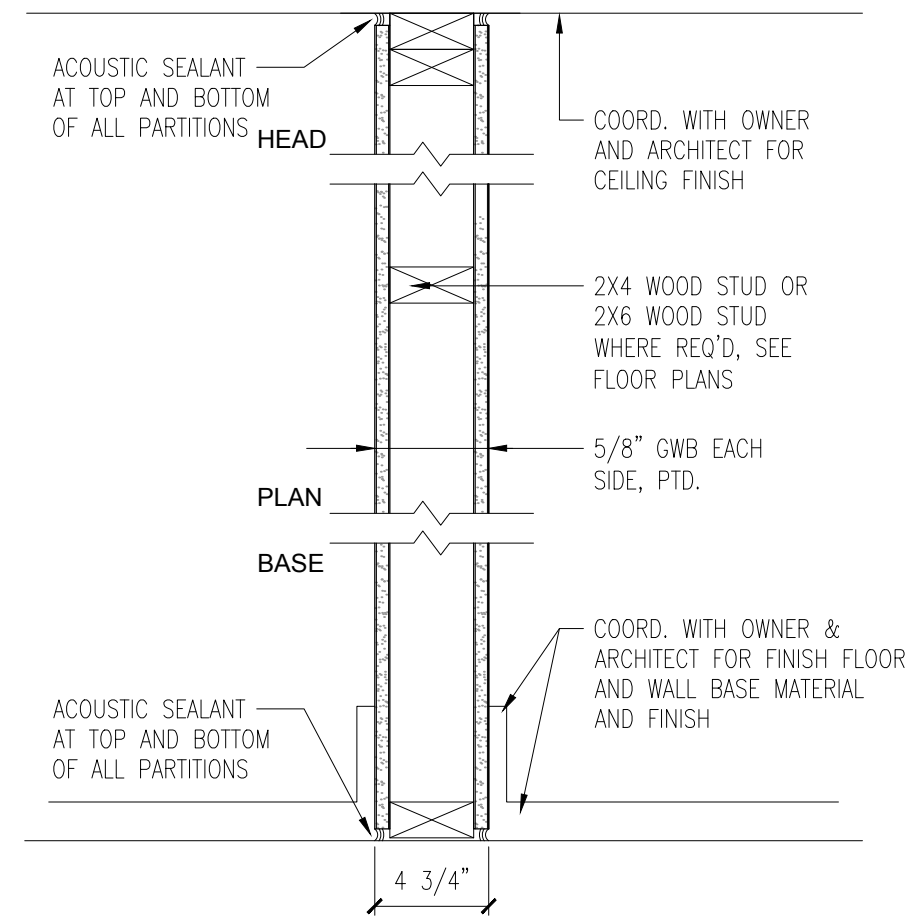
B2 IP: 2X6 BATHROOM PARTITION (NR)
SCALE: 1 1/2" = 1'-0"



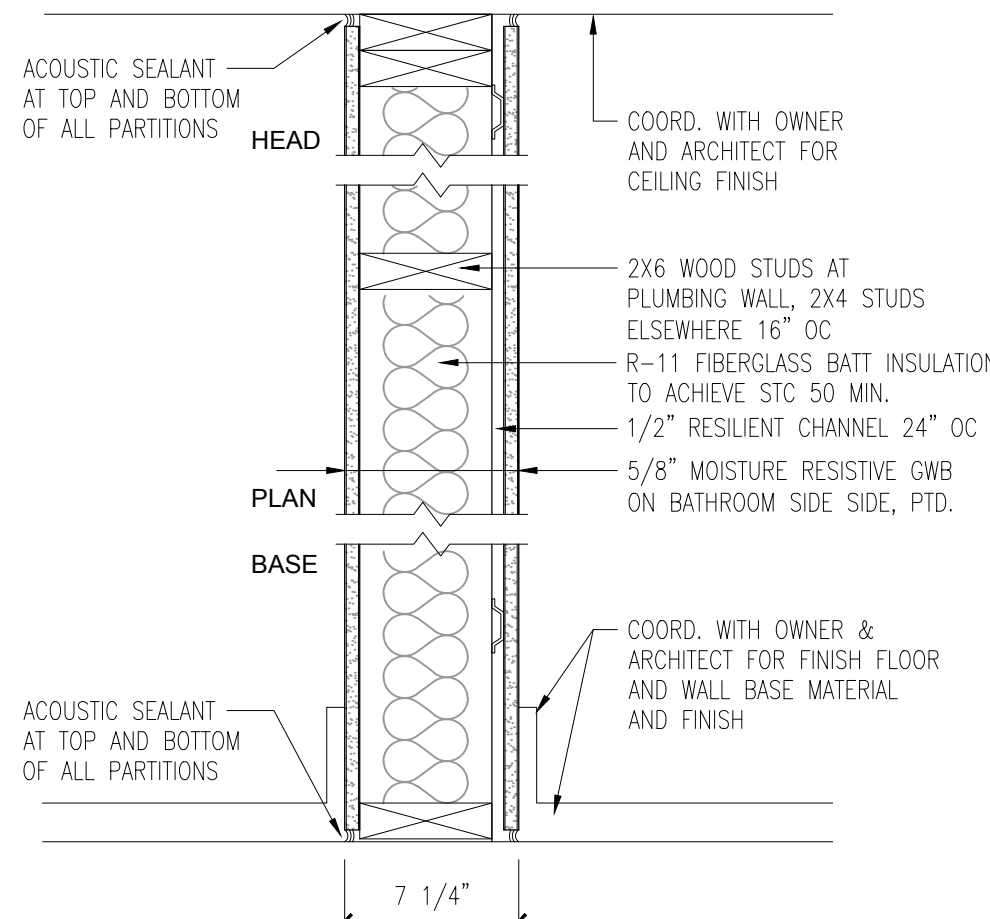
D IP: UNIT DEMISING WALL (1HR)
SCALE: 1 1/2" = 1'-0"



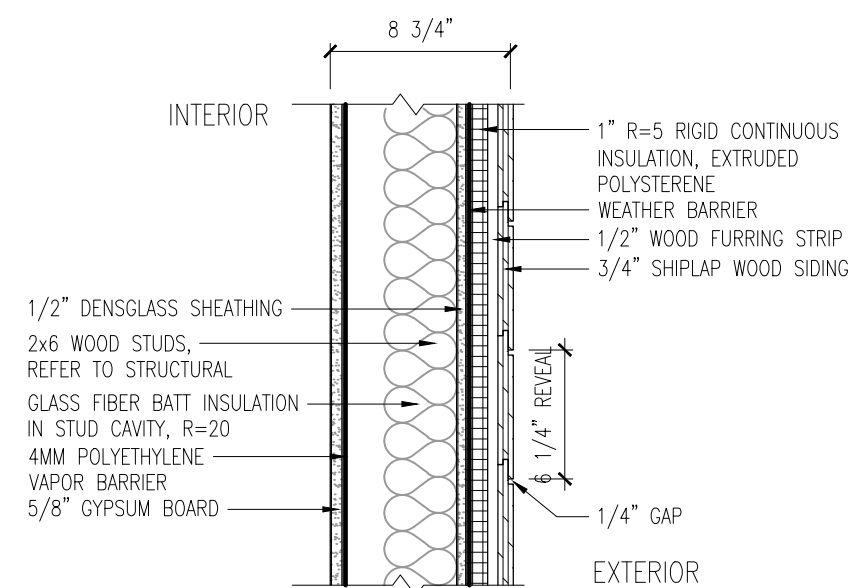
2 EWA: LAP SIDING (1HR)
SCALE: 1 1/2" = 1'-0"



A IP: INTERIOR PARTITION (NR)
SCALE: 1 1/2" = 1'-0"

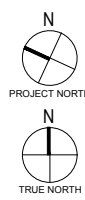


C IP: CORRIDOR WALL (1/2HR)
SCALE: 1 1/2" = 1'-0"



1 EWA: LAP SIDING
SCALE: 1 1/2" = 1'-0"

PROJECT KEY PLAN:



SEAL:

DRAWN BY: FA

CHECKED BY: EZ

03

07-28-2026

ISSUED FOR REVISION #2

02

06-15-2026

ISSUED FOR REVISION #1

01

10-29-2025

ISSUED FOR PERMIT SET

DETAILS

PROJECT

No.

779

SHEET

No.

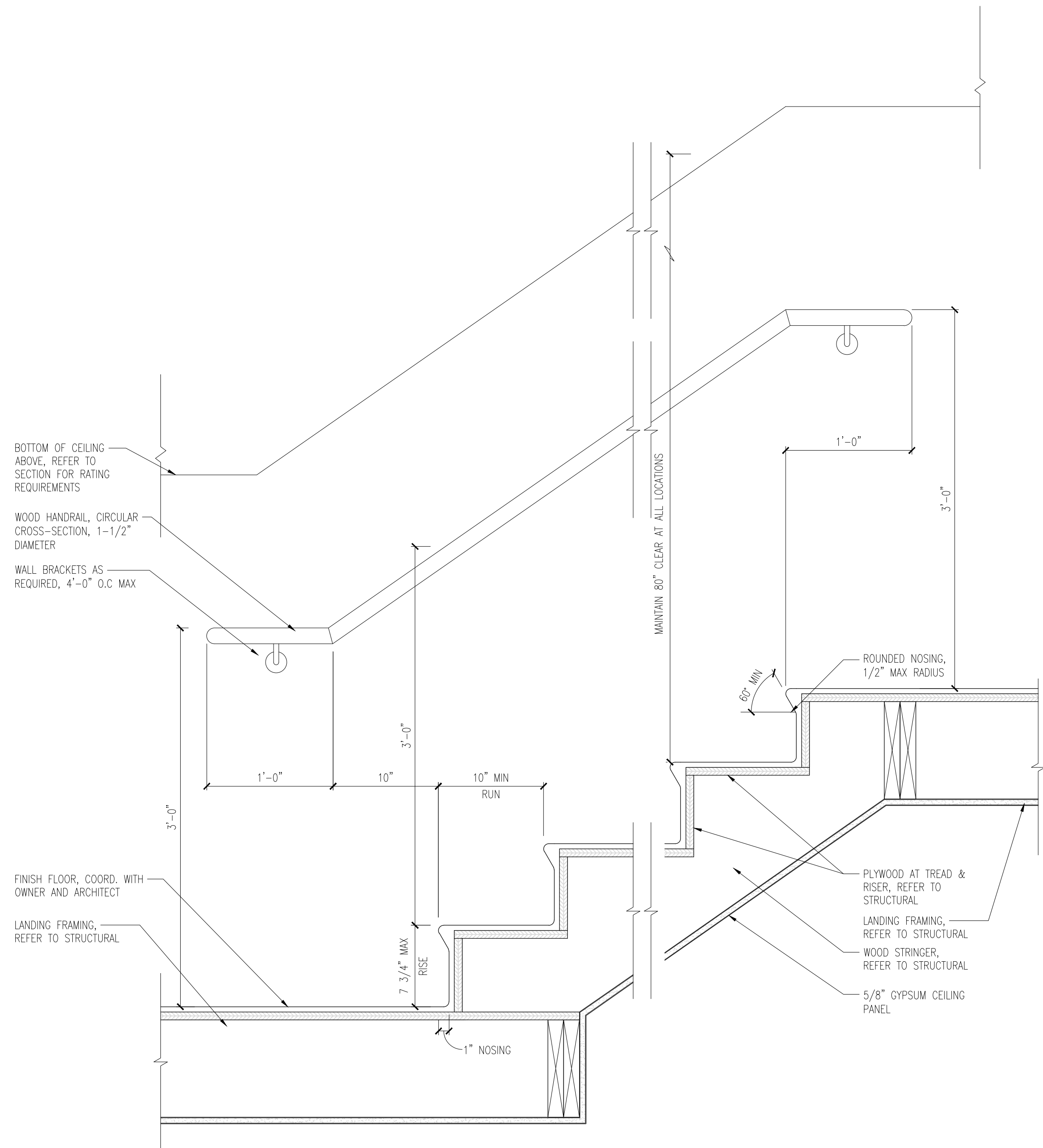
DATE:

07-28-2026

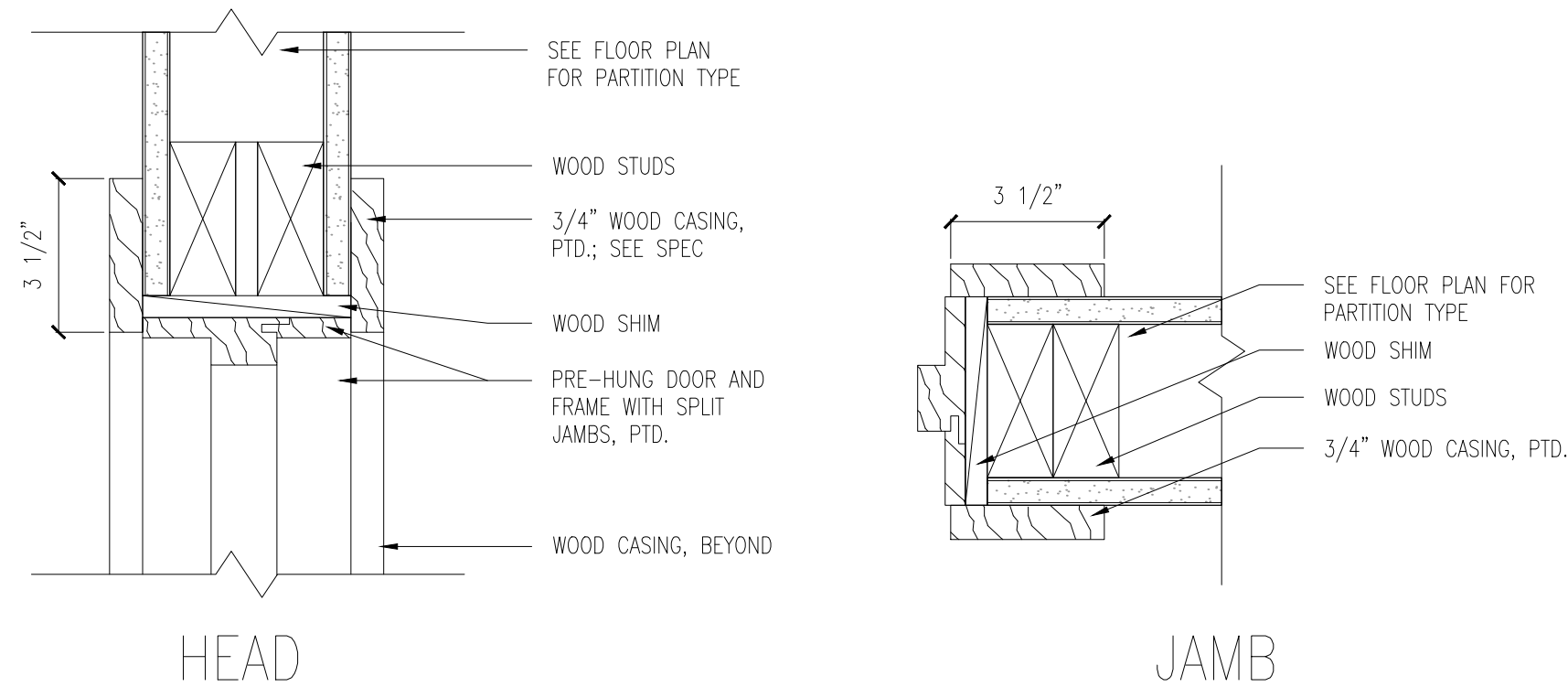
SCALE:

AS INDICATED

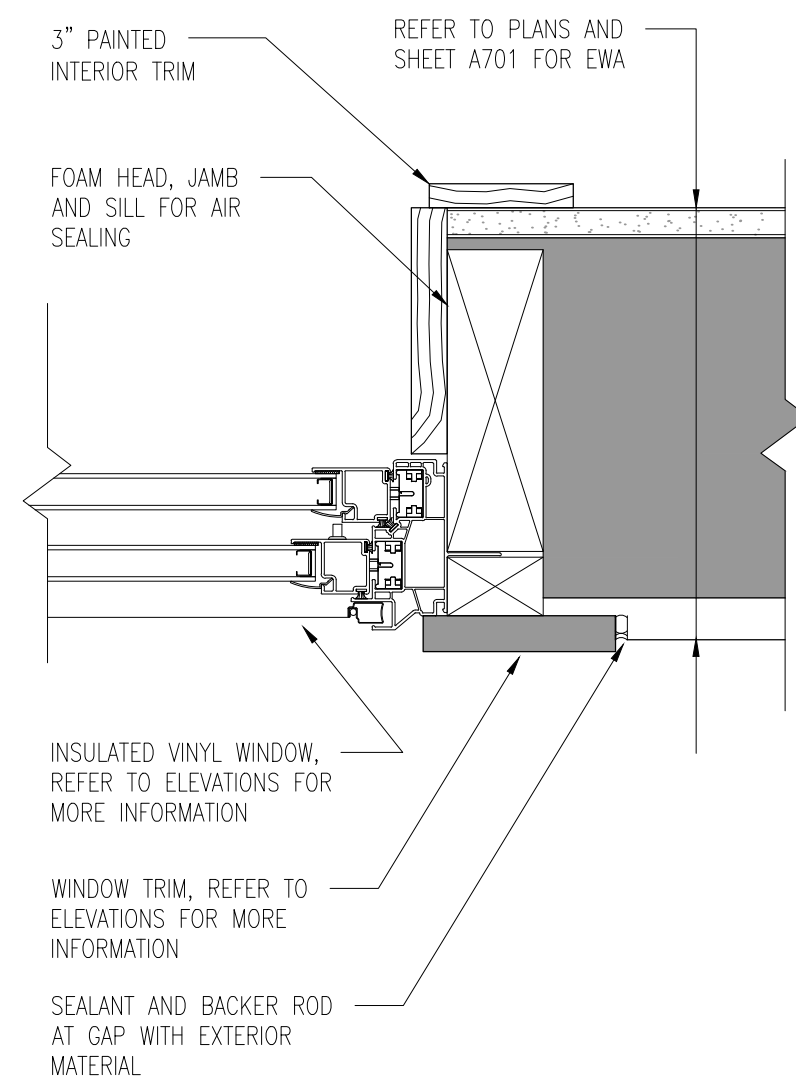
A701



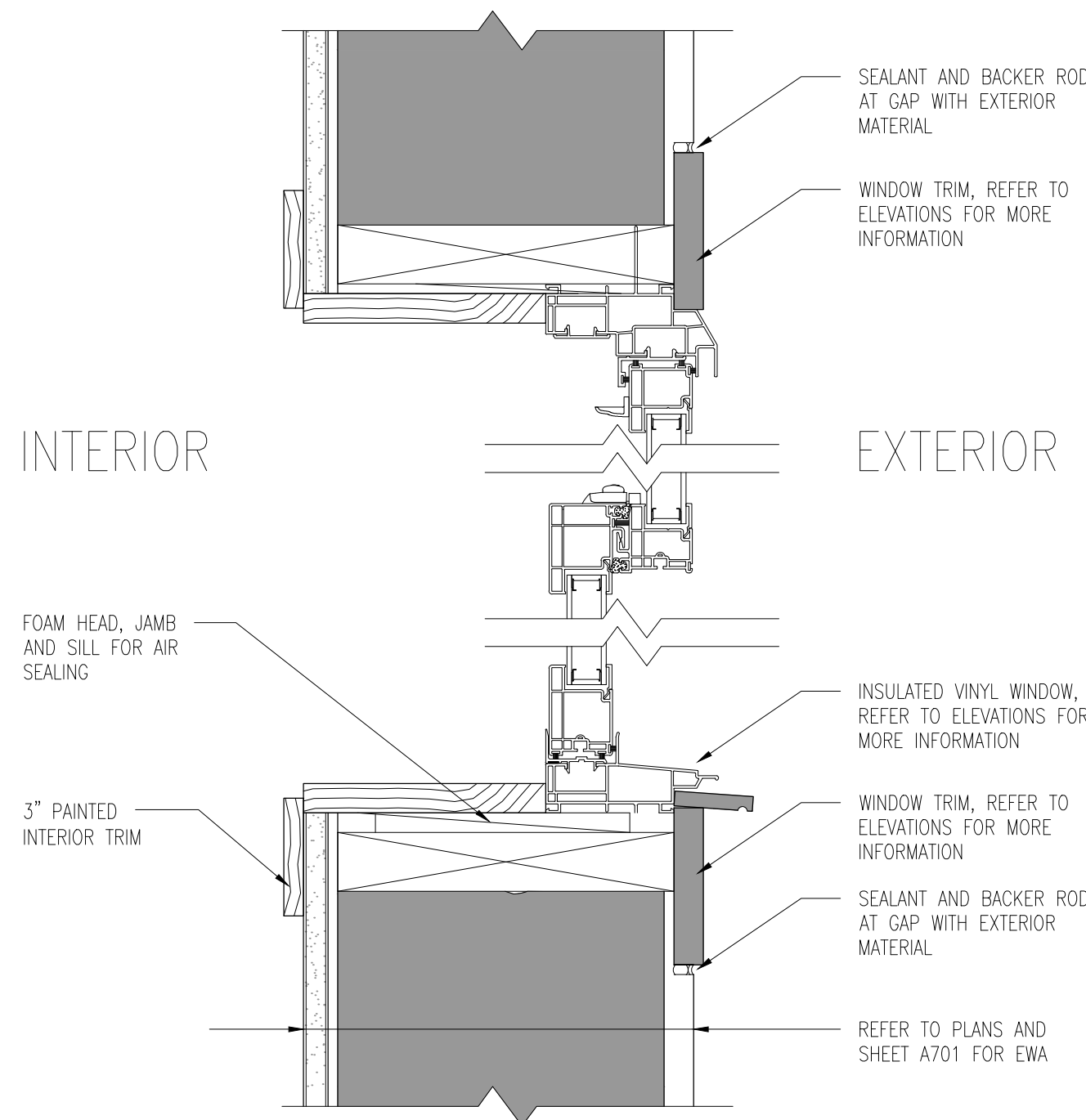
7 INTERIOR IN-UNIT STAIR DETAIL (STAIRWALL SIDE)
SCALE: 1-1/2" = 1'-0"



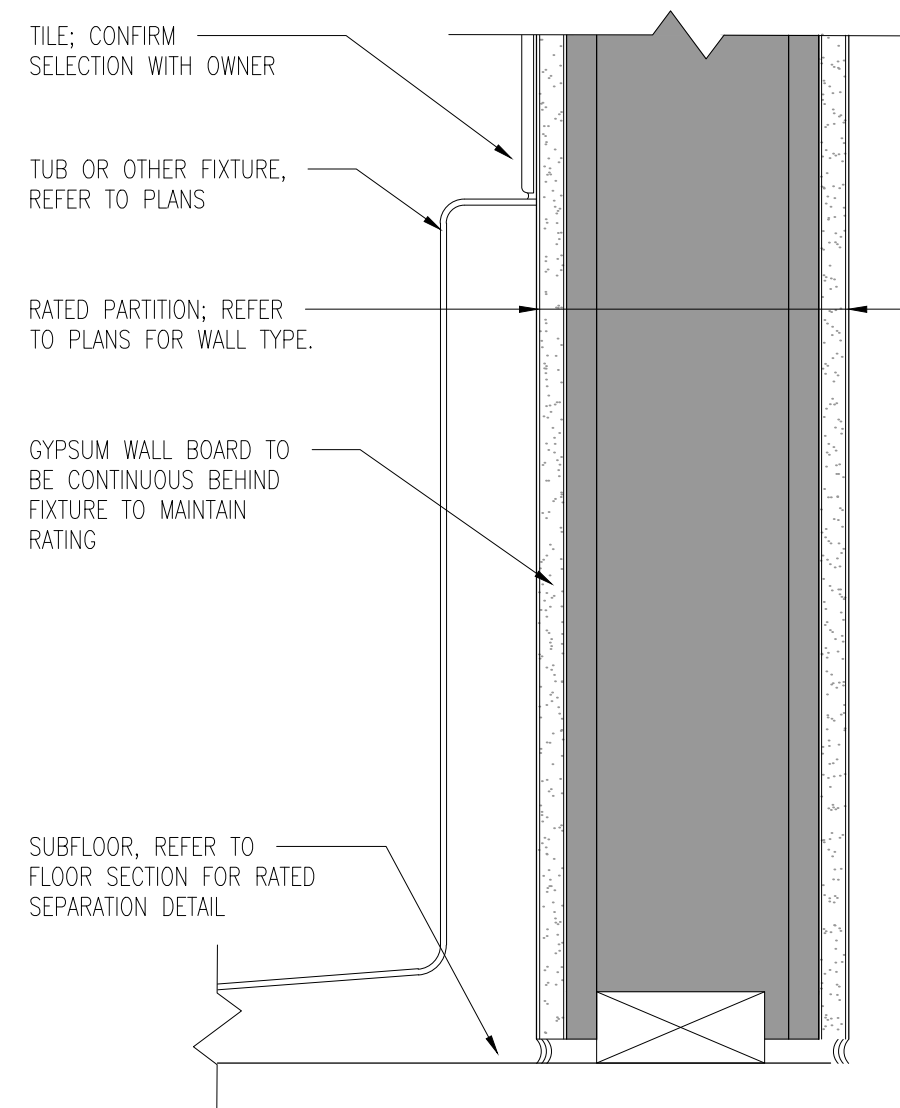
6 TYPICAL WOOD DOOR FRAME DETAILS
SCALE: 3" = 1'-0"



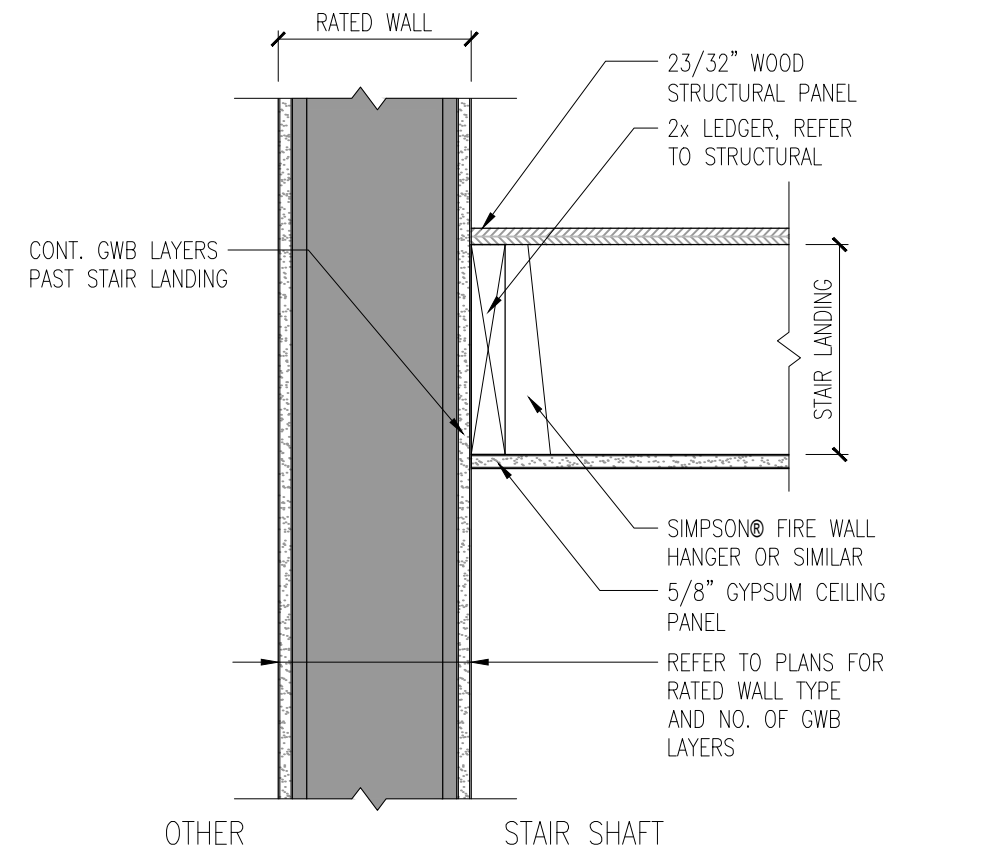
5 TYPICAL WINDOW JAMB DETAIL
SCALE: 3" = 1'-0"



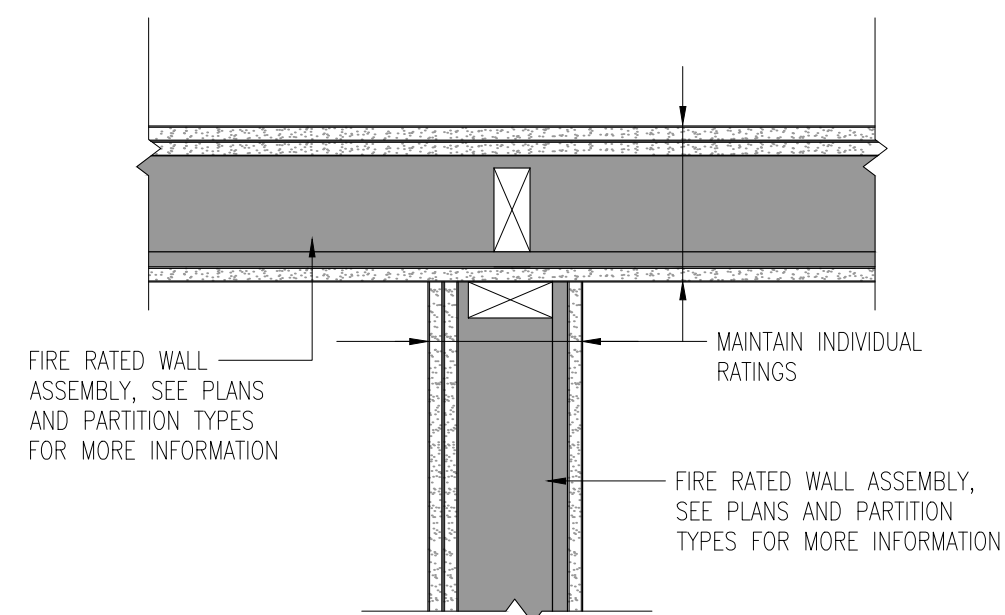
4 TYPICAL WINDOW HEAD/SILL DETAIL
SCALE: 3" = 1'-0"



3 FIXTURE @ FIRE-RATED WALL SECTION DETAIL
SCALE: 3" = 1'-0"



2 FIRE-RATED WALL @ STAIR LANDING
SCALE: 1-1/2" = 1'-0"



1 FIRE-RATED PARTITION PLAN DETAIL
SCALE: 1-1/2" = 1'-0"

53-55 Cummings Rd.
Brighton, Boston, MA 02135

VYT 53 CUMMINGS LLC
53-55 Cummings Road
Brighton, Boston, MA, 02135
(781) 608-2059

ARCHITECT:

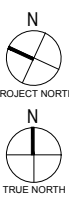
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SHEET NOTES

1.

PROJECT KEY PLAN:



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TYPICAL DETAILS

PROJECT No.: 779
DATE: 07-28-2026
SCALE: AS INDICATED

SHEET No.:

A702

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ARCHITECT:

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NEW PARTITION

EXISTING PARTITION TO REMAIN

EXISTING PARTITION TO BE REMOVED

-PARTITION RATING
1/2 HOUR RATED PARTITION

1 HOUR RATED PARTITION

EXISTING DOOR TO REMAIN

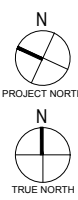
EXISTING DOOR TO BE REMOVED

NEW DOOR

-4" BETWEEN ADJACENT WALL AND
OPENING, UNLESS NOTED OTHERWISE

- (S) SMOKE DETECTOR, HARDWIRED AND INTERCONNECTED
- (C) CARBON MONOXIDE DETECTOR, HARDWIRED AND INTERCONNECTED
- (H) HEAT DETECTOR, HARDWIRED AND INTERCONNECTED

PROJECT KEY PLAN



SEAL

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EXISTING PLANS

PROJECT No.:	779
DATE:	07-28-2026
SCALE:	AS INDICATED

779 No.: **A901**

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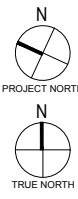
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Brighton, Boston, MA, 02135
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ARCHITECT:

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PROJECT KEY PLAN:



SEAL:

DRAWN BY: FA

CHECKED BY: EZ

03	07-28-2025	ISSUED FOR REVISION #2
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01	10-29-2025	ISSUED FOR PERMIT SET

EXISTING ELEVATIONS

PROJECT
No.: 779

SHEET
No.: 9

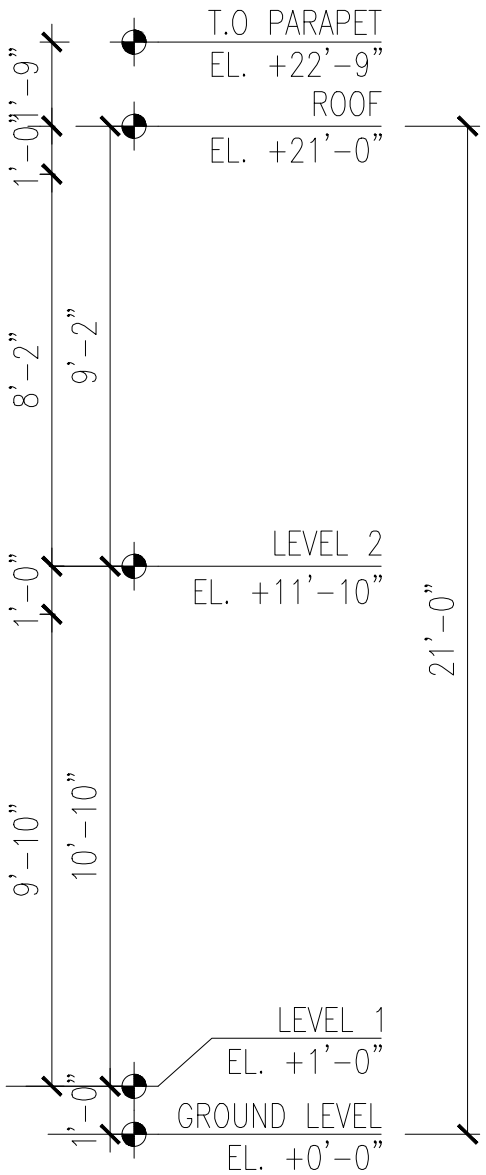
DATE: 07-28-2025

SCALE: AS INDICATED

A951

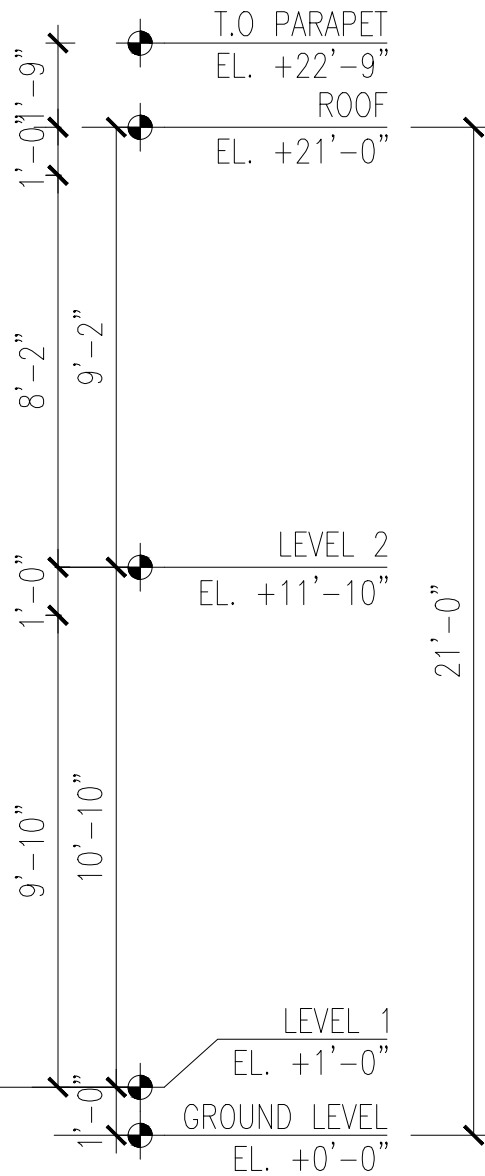
CUMMINGS RD.

2 REAR ELEVATION
SCALE: 1/4" = 1'-0"



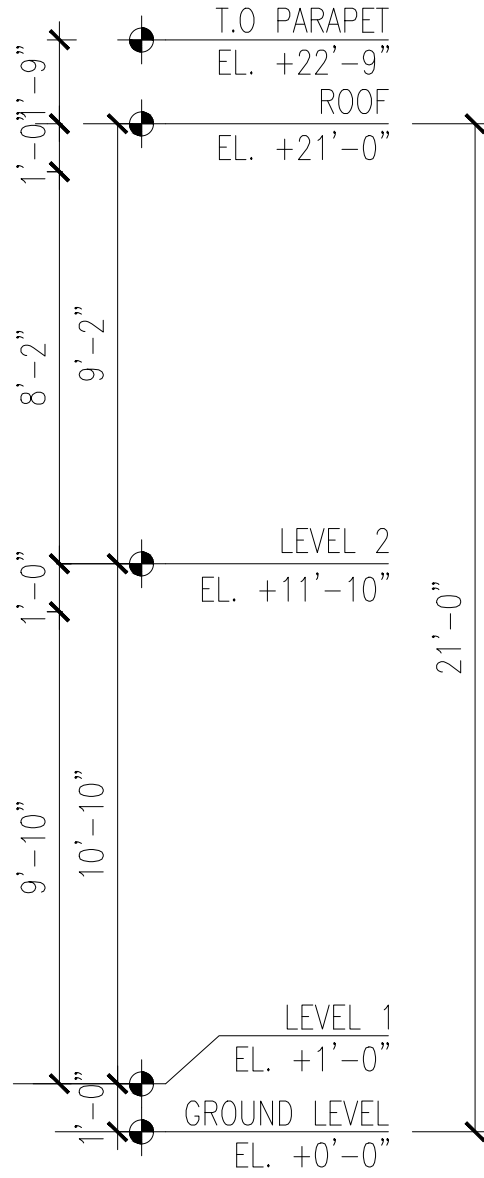
21'-9"

1 CUMMINGS RD. ELEVATION
SCALE: 1/4" = 1'-0"



CUMMINGS RD.

4 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



19'-3" V.I.F.

3 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

