

Marriott Custom House

3 McKinley Square


Boston, MA 02109

Exterior Repairs

BLC SUBMISSION
4 JUNE 2019

- DRAWING LIST
- COVER SHEET AND SITE PLAN
- AE1-1 ELEVATIONS
- AE2-1 DOME LEVEL ROOF PLAN
AE2-2 DOME LEVEL ROOF DETAILS
- AE3-1 OBSERVATION AND EAGLE SUITE ROOF PLANS AND DETAILS
AE3-2 OBSERVATION AND EAGLE SUITE ROOF DETAILS

SIMPSON GUMPERTZ & HEGER
Engineering of Structures
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No.	Date	Description	By

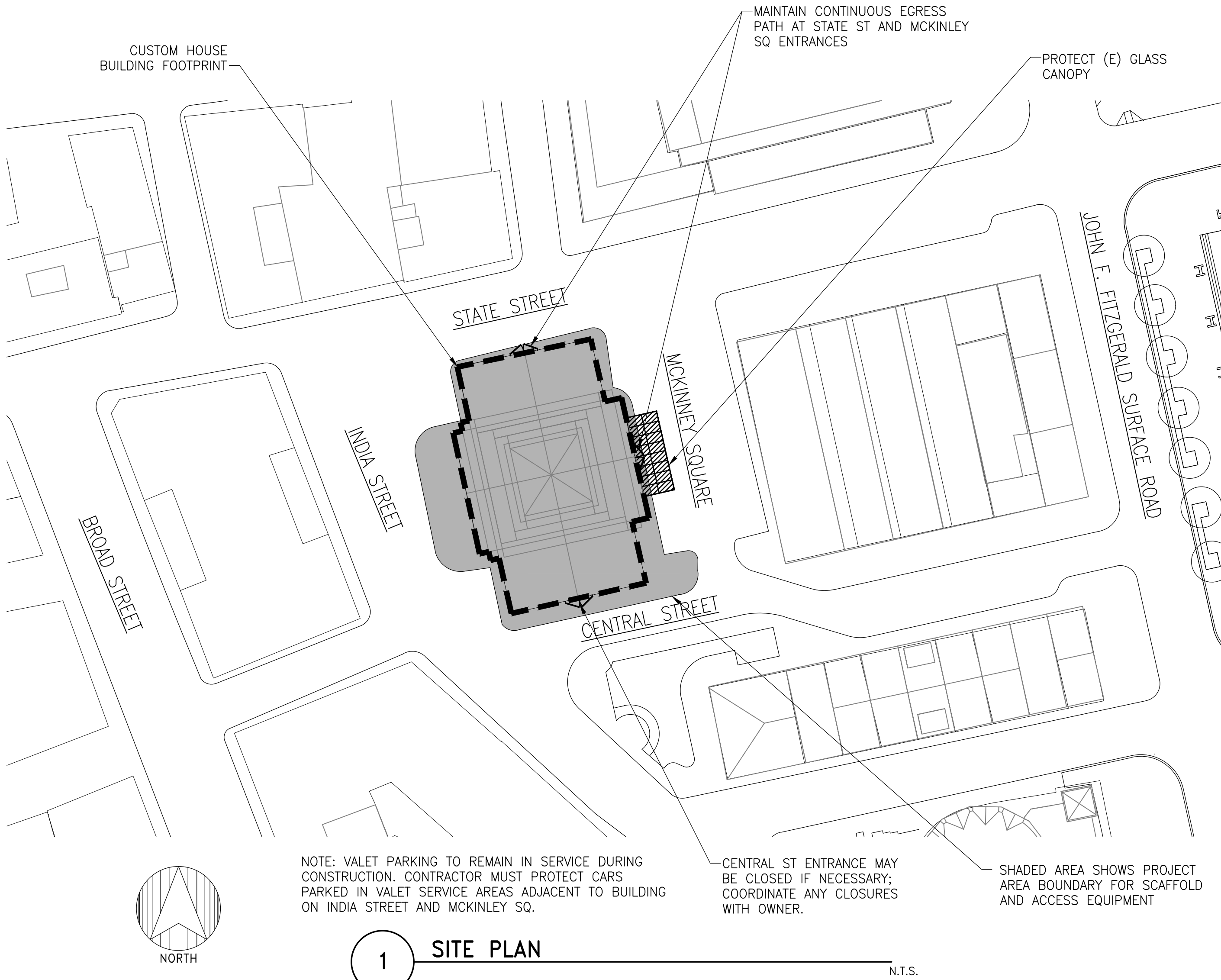
MARRIOTT
CUSTOM HOUSE
EXTERIOR REPAIRS
3 McKinley Square
Boston, MA

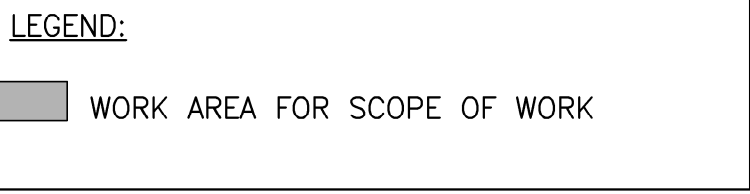
Project

COVER SHEET AND
SITE PLAN

Drawing Title

Project No. 180838.01	Checked NTF	Date 4 JUNE 2019
Drawn NTF	Approved SLK	Scale
Seal		Drawing No.




$$1/16'' = 1'-0''$$

Consultant

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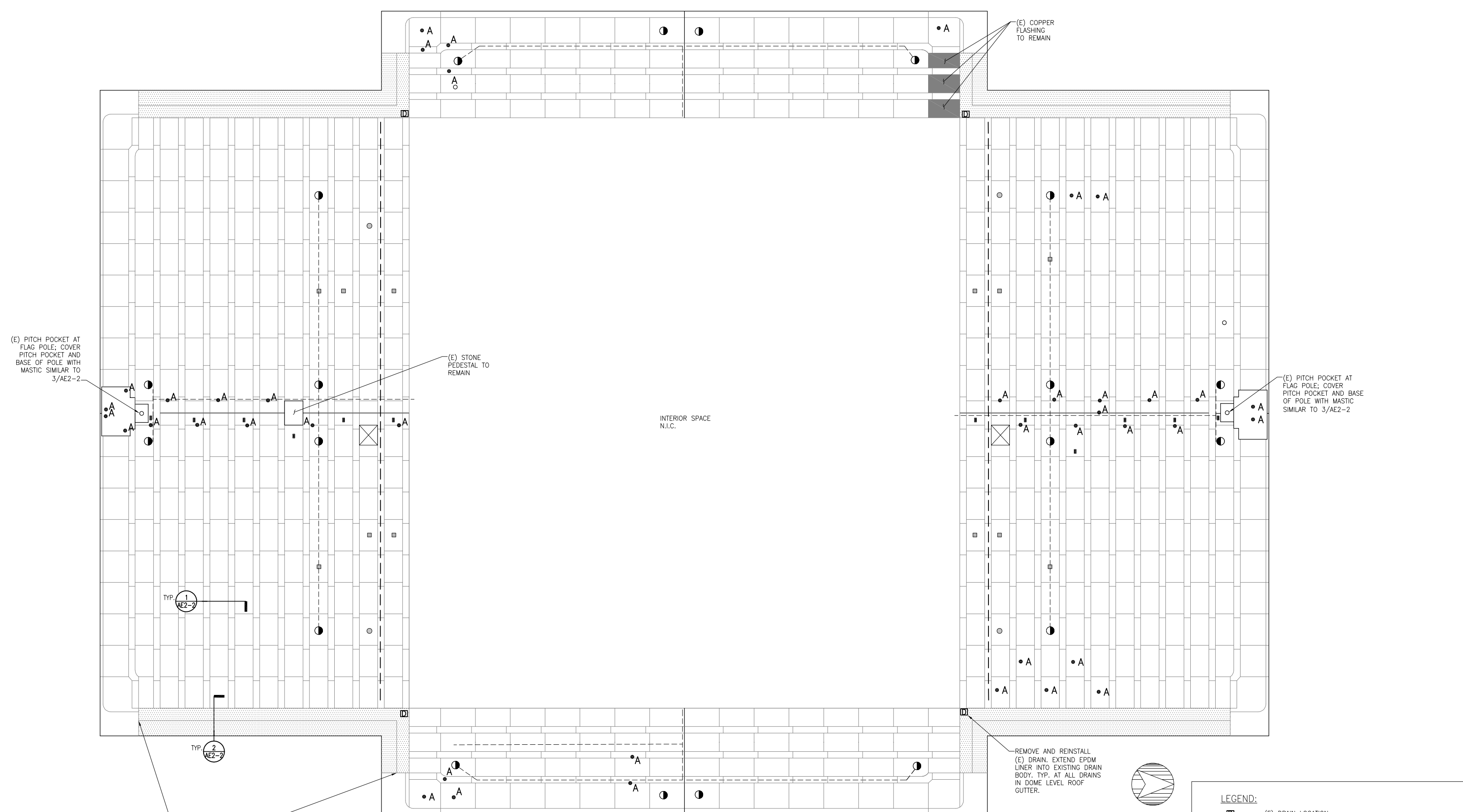
Project

Drawing Title

Project No. 180838.01	Checked NTF	Date 4 JUNE 2019
Drawn MA/ESF	Approved SLK	Scale AS NOTED

AE2-1

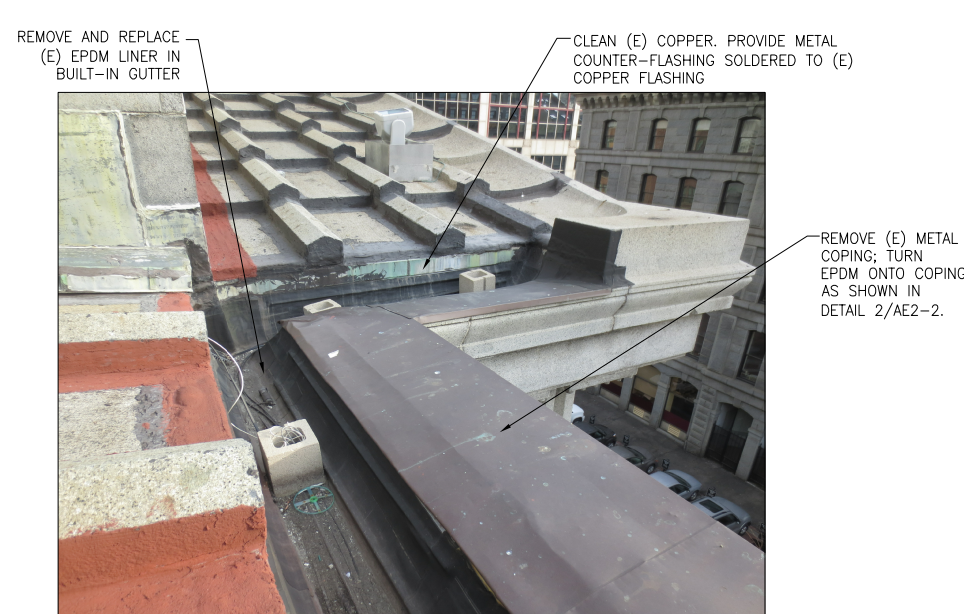
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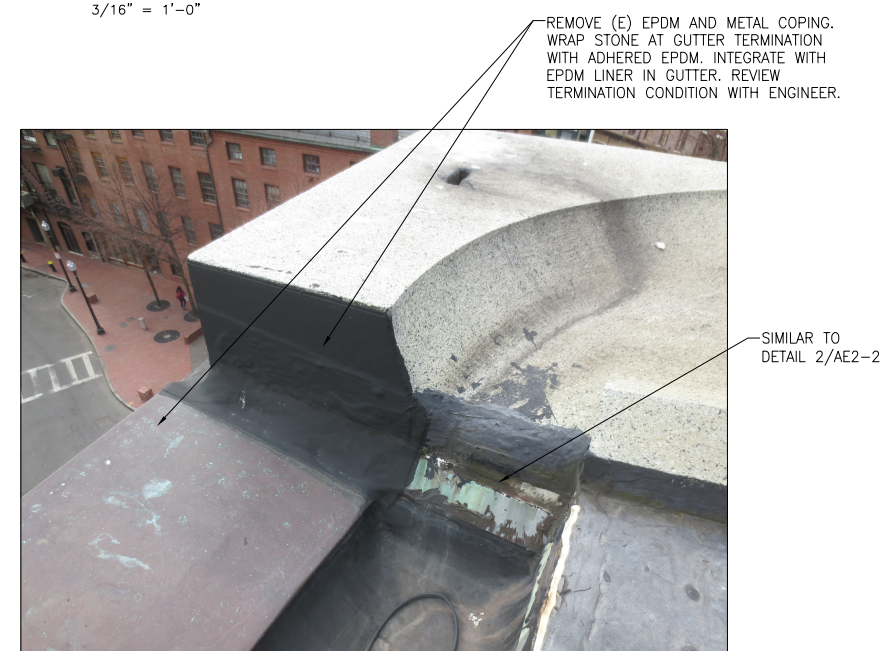
 DOME LEVEL ROOF PLAN

$$\frac{3}{16}'' = 1'-0''$$


DOME LEVEL ROOF














 DOME LEVEL ROOF GUTTER



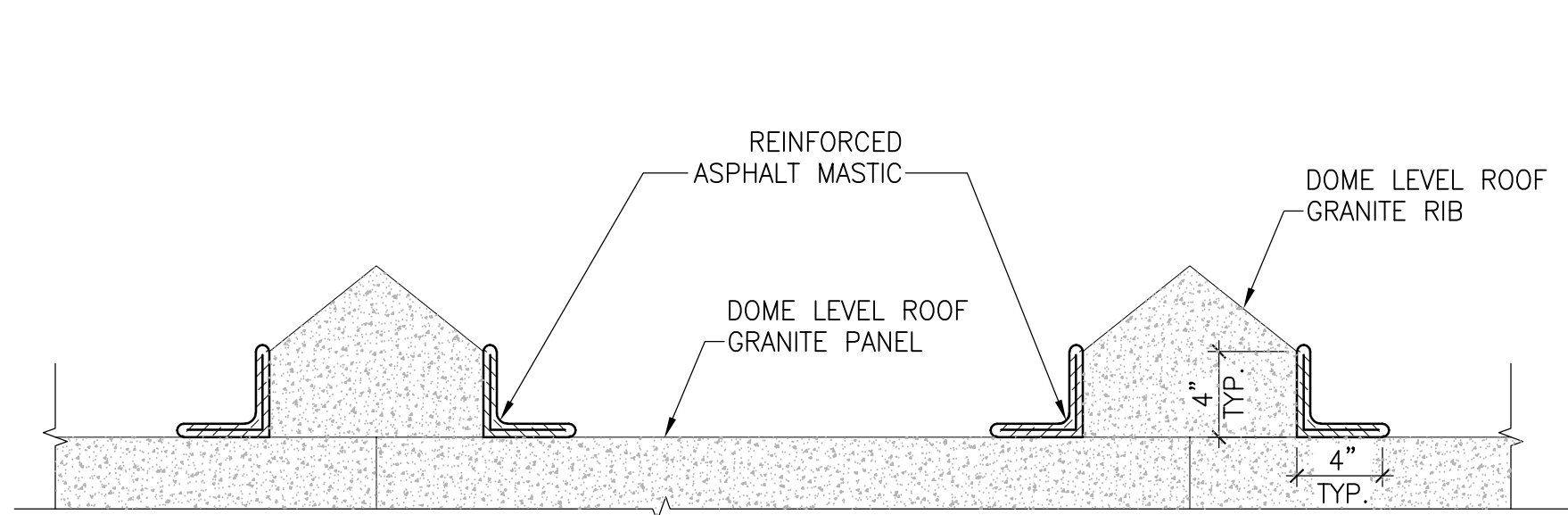
DOME LEVEL ROOF GUTTER TERMINATION

LEGEND:

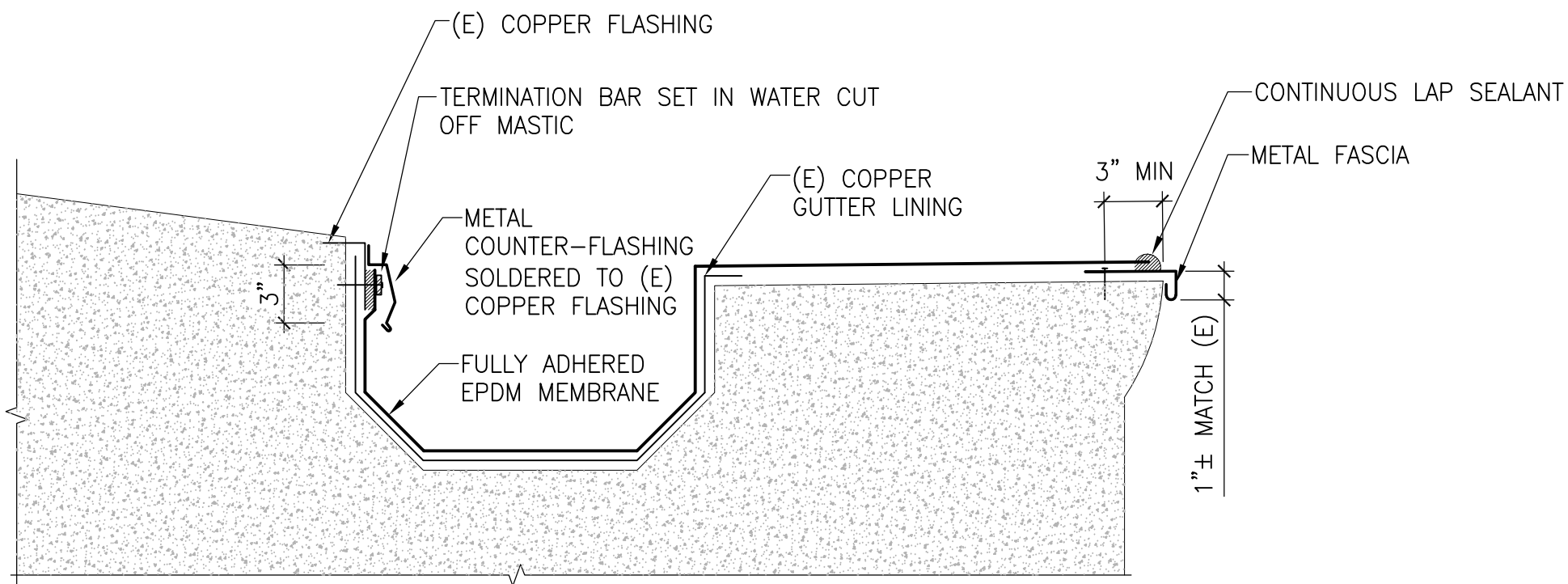
- | | |
|---|---|
|  | (E) DRAIN LOCATION |
|  | (E) LIGHT; REPAIR MASTIC AS REQUIRED AT LIGHT PENETRATIONS SIMILAR TO 3/AE2-2 |
|  | (E) STAINLESS STEEL TIE OFF TO REMAIN |
|  | (E) ROOF HATCH |
|  | (E) PENETRATION REPAIR; REPAIR WITH MASTIC AS REQUIRED |
|  | SIMILAR TO 3/AE2-2 |
|  | (E) CONDUIT TO REMAIN; SEAL PENETRATIONS THROUGH GRANITE, SIMILAR TO 3/AE2-2 |
|  | REMOVE (E) ANCHOR; PROVIDE MORTAR REPAIR |
|  | (E) HEAT TRACE TO REMAIN; SEAL PENETRATIONS THROUGH GRANITE, SIMILAR TO 3/AE2-2 |
|  | FULLY ADHERED EPDM MEMBRANE IN COPPER LINED GUTTER |
|  | CIRCULAR PENETRATION PROVIDE REINFORCED ASPHALT COATING SEE 3/AE2-2 |

DOME LEVEL ROOF SCOPE OF WORK:

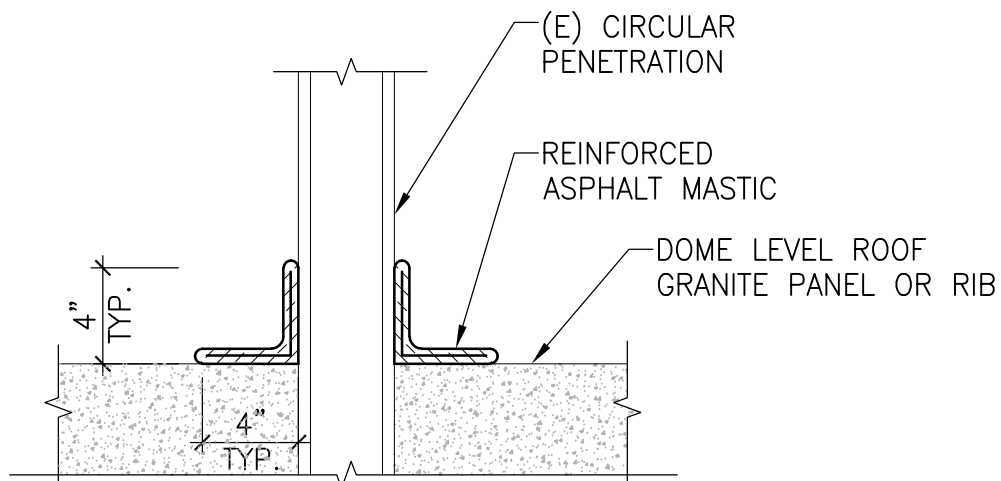
1. Replace deteriorated mastic at stone joints and penetrations; assume 100% of joints require repair.
2. Remove and replace EPDM liner within built-in gutter along roof eaves.
3. Remove embedded ferrous anchors at locations noted on plan and provide mortar repair.
4. Seal all light fixtures attachment and conduit and heat trace penetration through argente.



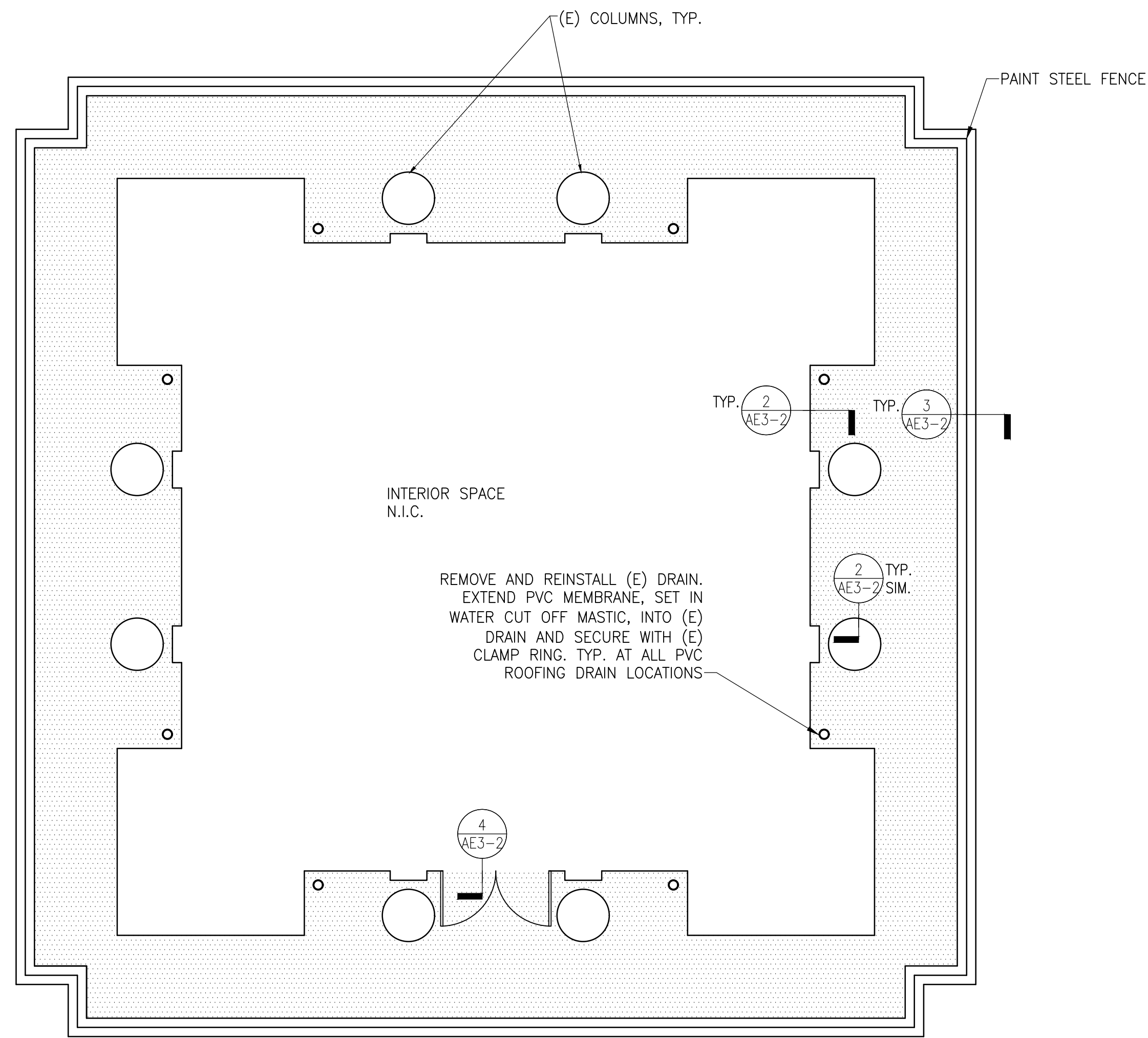
1 DOME LEVEL ROOF JOINT DETAIL N.T.S.



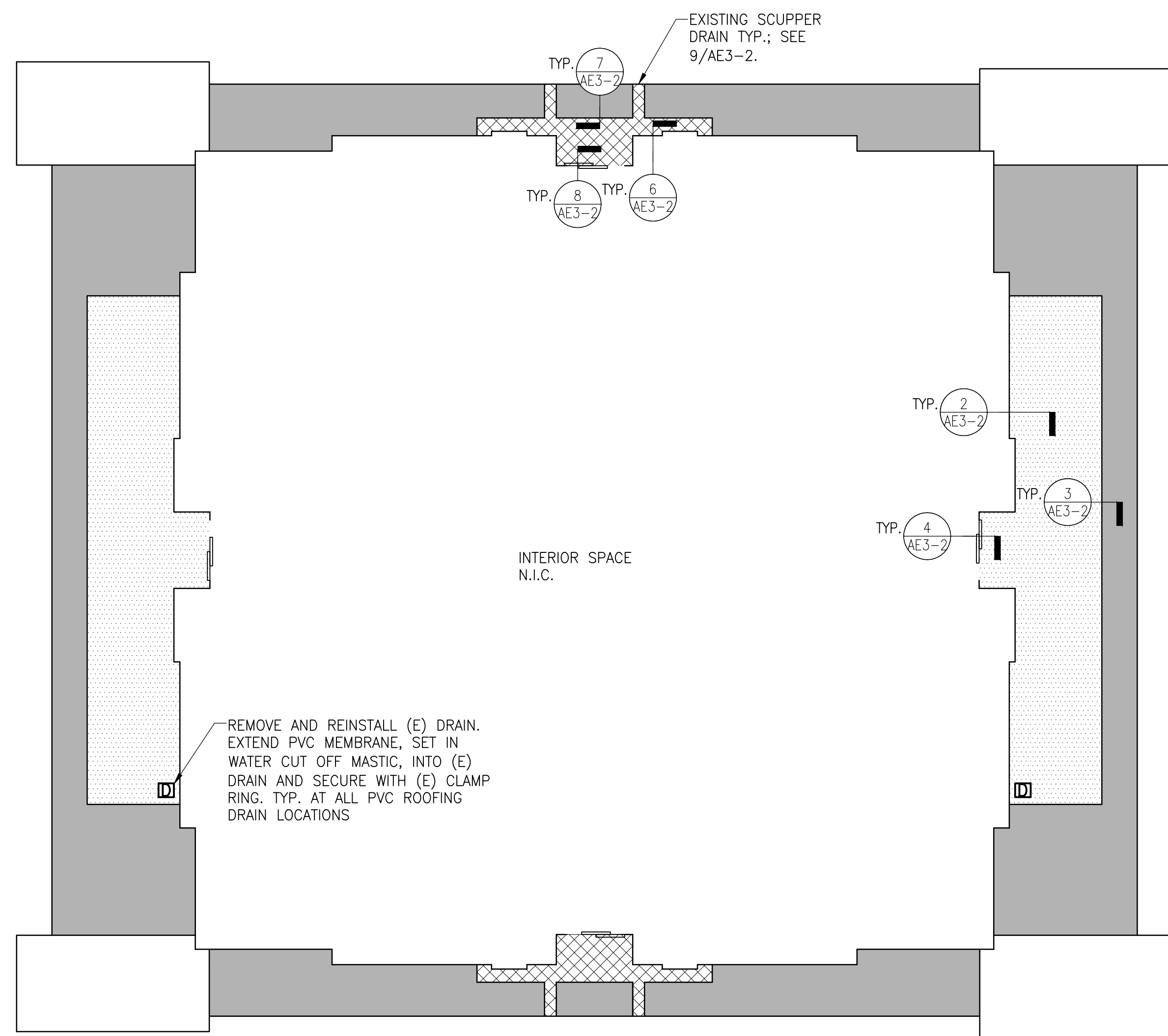
2 DOME LEVEL ROOF GUTTER DETAIL N.T.S.



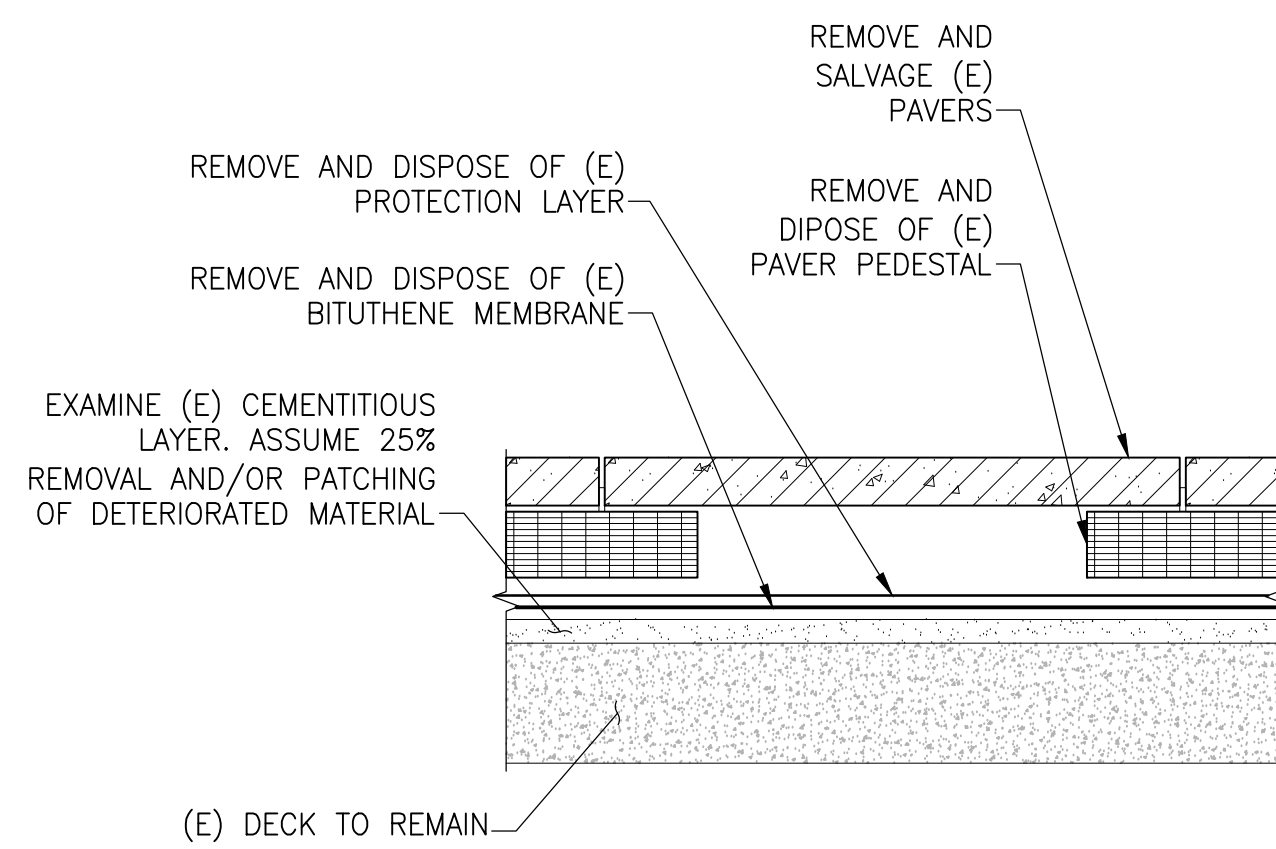
3 DOME LEVEL ROOF CIRCULAR PENETRATION DETAIL N.T.S.



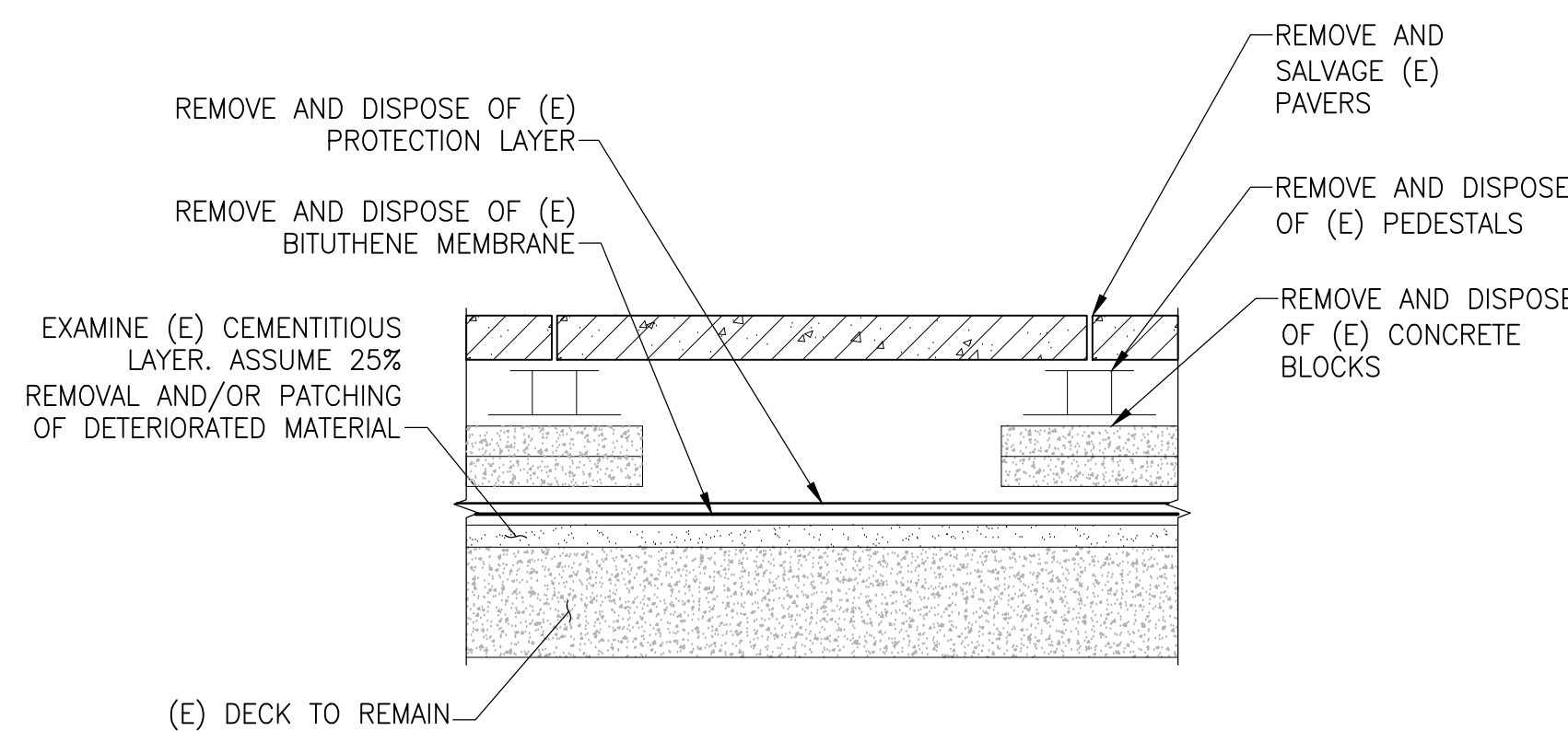
1 OBSERVATION DECK ROOF PLAN (LEVEL 25)
3/16" = 1'-0"



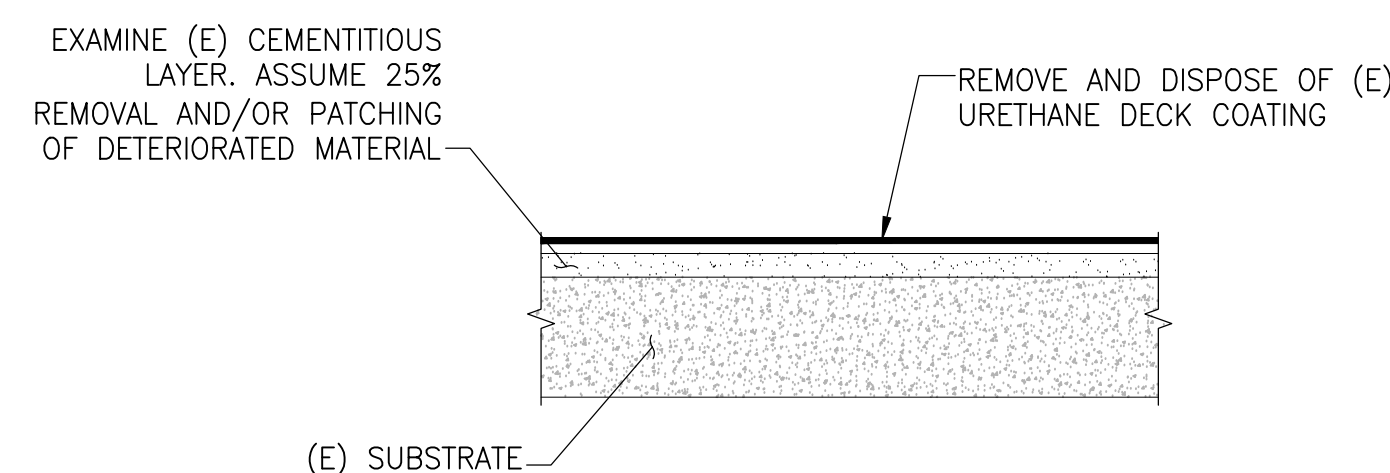
2 EAGLE SUITE BALCONY PLAN (LEVEL 20)
3/16" = 1'-0"



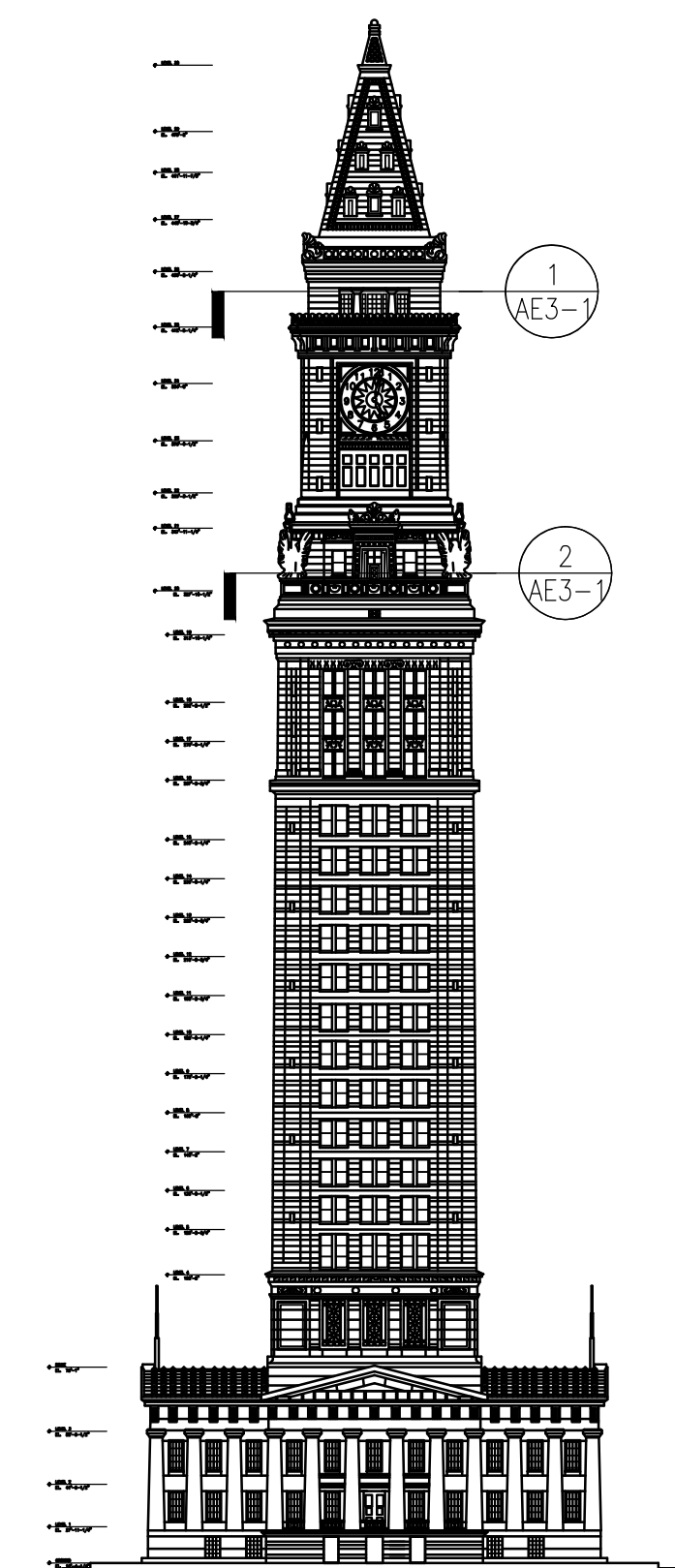
1 ROOF DEMOLITION AT LEVEL 25 OBSERVATION DECK
N.T.S.



2 ROOF DEMOLITION AT LEVEL 20
E-W EAGLE SUITE BALCONIES
N.T.S.



3 ROOF DEMOLITION AT LEVEL 20
N-S EAGLE SUITE BALCONIES
N.T.S.



KEY ELEVATION

LEGEND:

- OR □ (E) DRAIN LOCATION
- FULLY-ADHERED PVC MEMBRANE; SEE DETAIL
1/AE3-2
- ▨ FLUID-APPLIED WATERPROOFING; SEE DETAIL
5/AE3-2
- FULLY-SOLDERED METAL FLASHING

OBSERVATION DECK AND EAGLE SUITE BALCONY
SCOPE OF WORK:

- OBSERVATION DECK ROOF (LEVEL 25): At observation deck roof (Level 25), remove (E) bituthene membrane, protection layer, pedestals, and, precast concrete pavers. Provide new fully-adhered PVC membrane, protection layer, adjustable pedestals, and reinstall concrete pavers. Replace existing metal counter-flashing at building rising wall and cladding at parapet as required to install new roof membrane. Paint Observation Deck fence.
- EAGLE SUITE BALCONY ROOFS (LEVEL 20):
 - At east and west Eagle Suite balcony roofs (Level 20), remove (E) bituthene membrane, protection layer, concrete blocks, pedestals, and, precast concrete pavers. Provide new fully-adhered PVC membrane, protection layer, adjustable pedestals, and reinstall concrete pavers. Replace existing metal counter-flashing at building rising wall and cladding at parapet as required to install new roof membrane.
 - Remove and replace waterproofing coating at the north and south Eagle Suite balcony roofs (Level 20). Replace existing metal counter-flashing at parapet and building rising wall as required to install new roof membrane.

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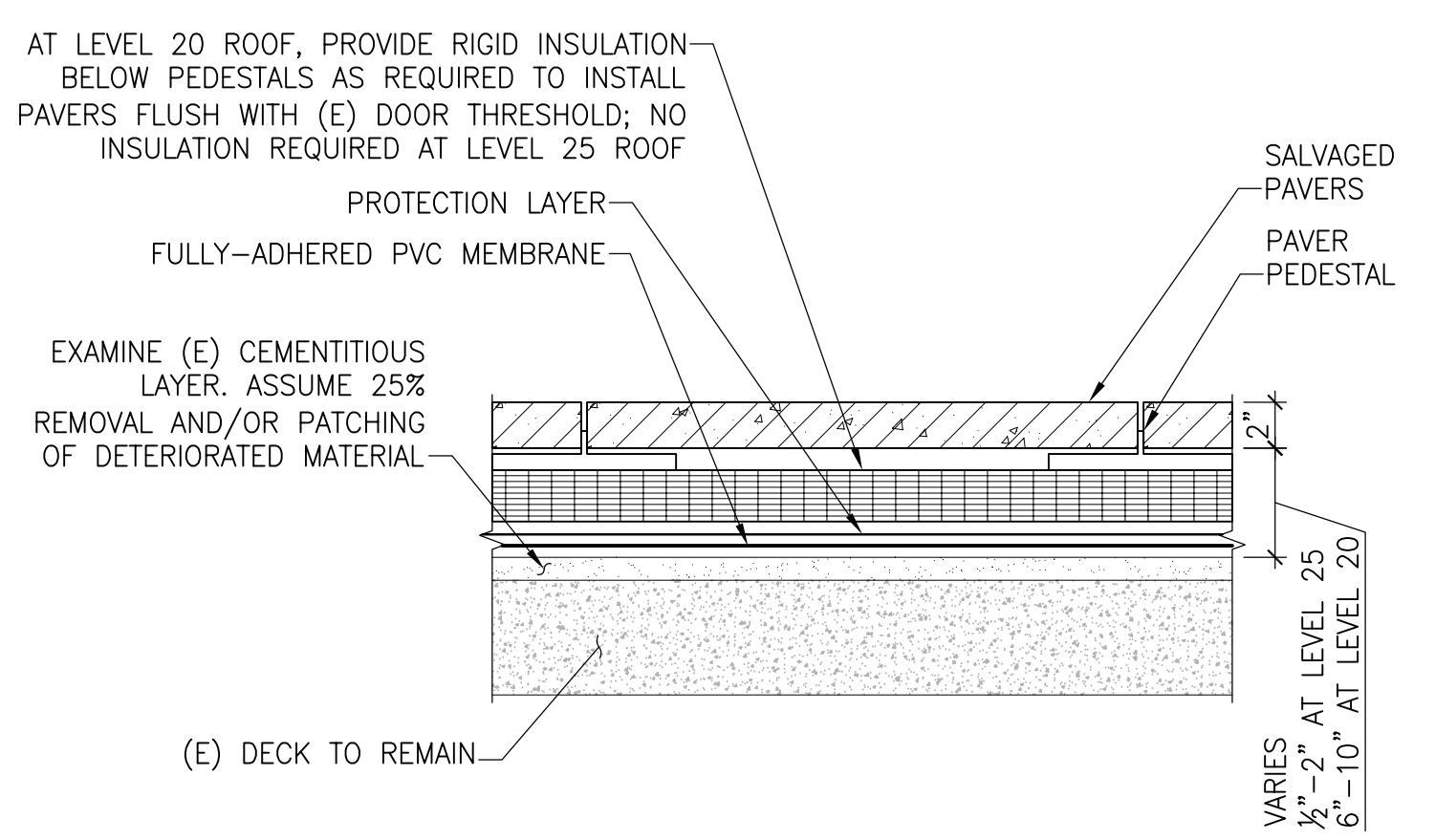
OBSERVATION AND
EAGLE SUITE ROOF
PLANS

Drawing Title

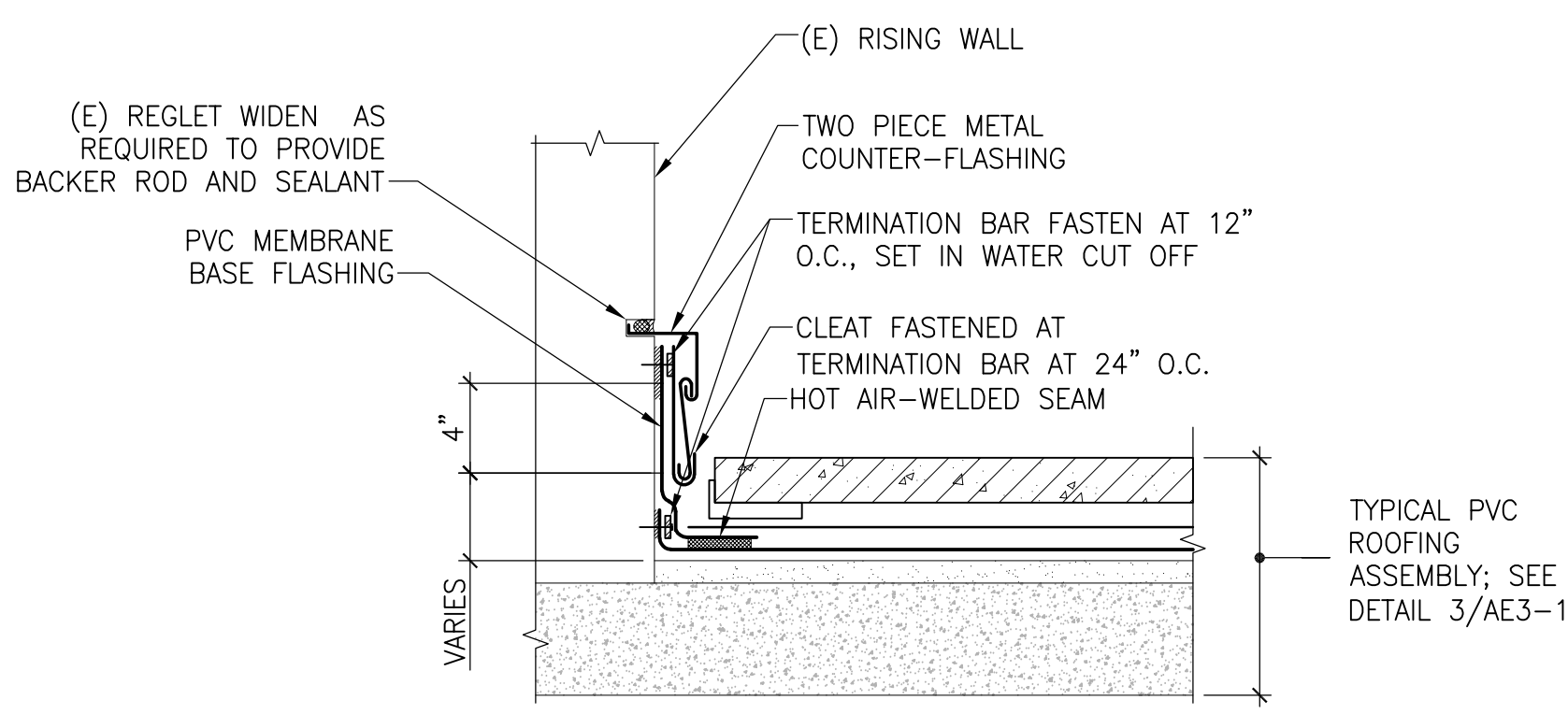
Project No. 180838.01	Checked NTF	Date 4 JUNE 2019
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Seal

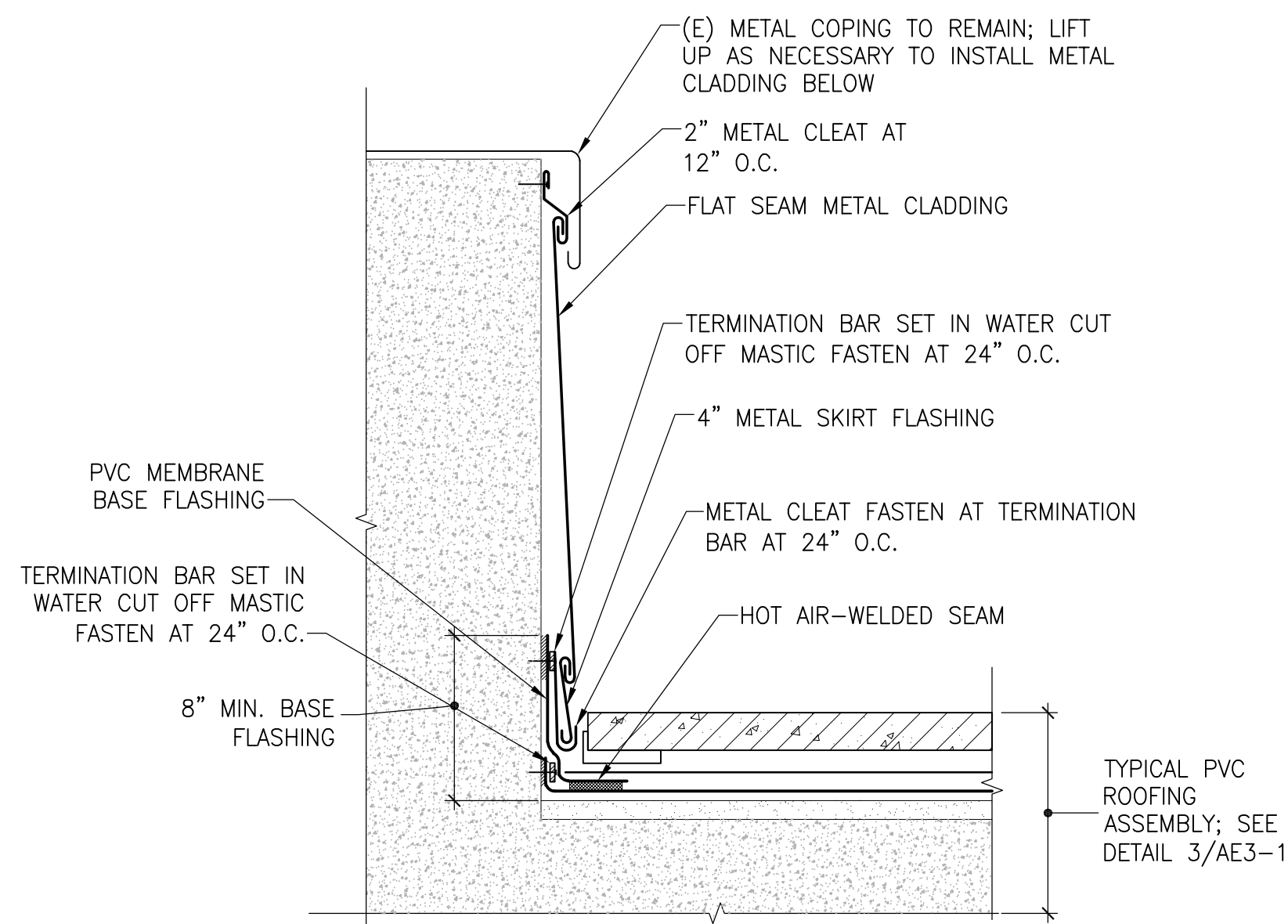
Drawing No.
AE3-1



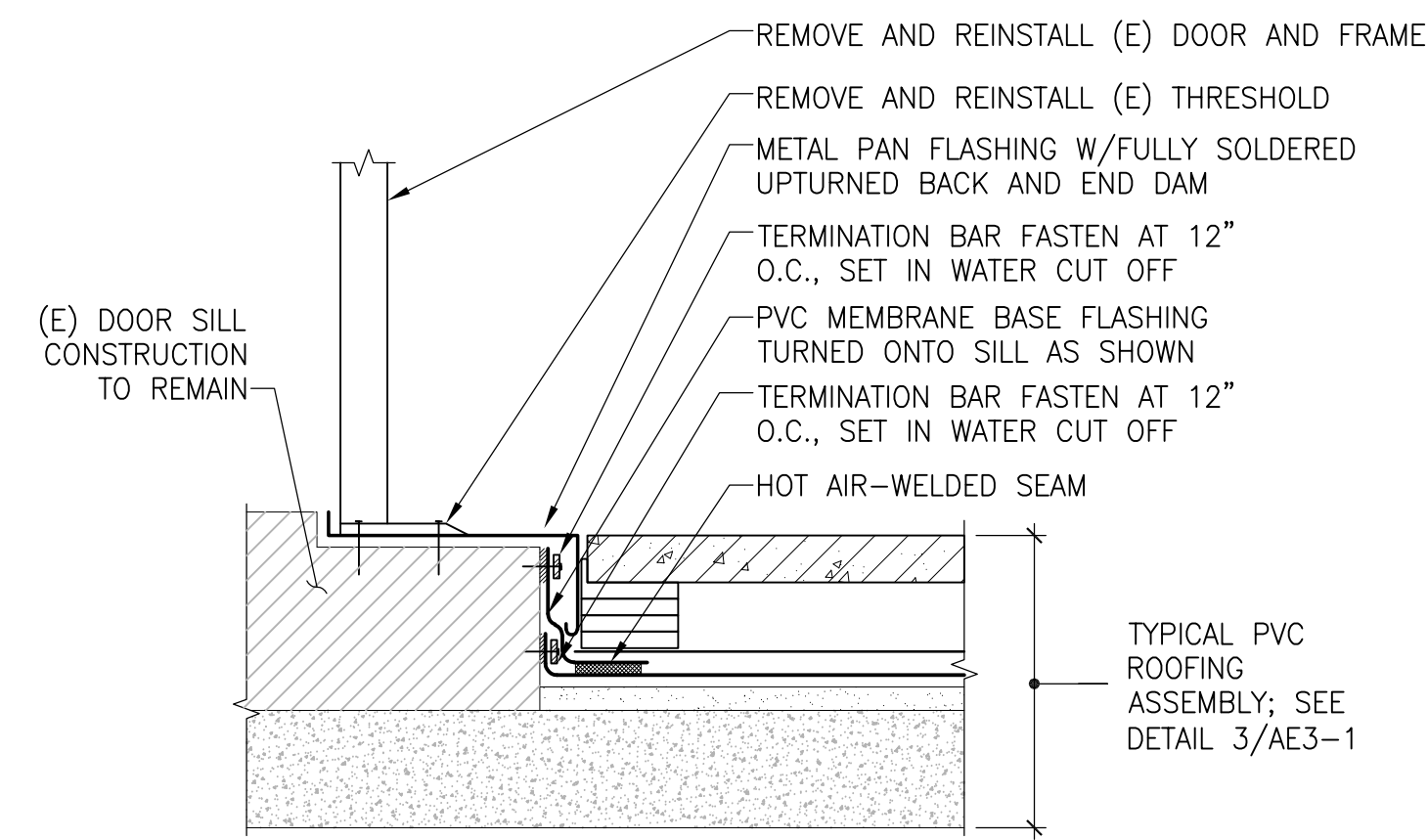
1 TYPICAL PVC ROOFING ASSEMBLY N.T.S.



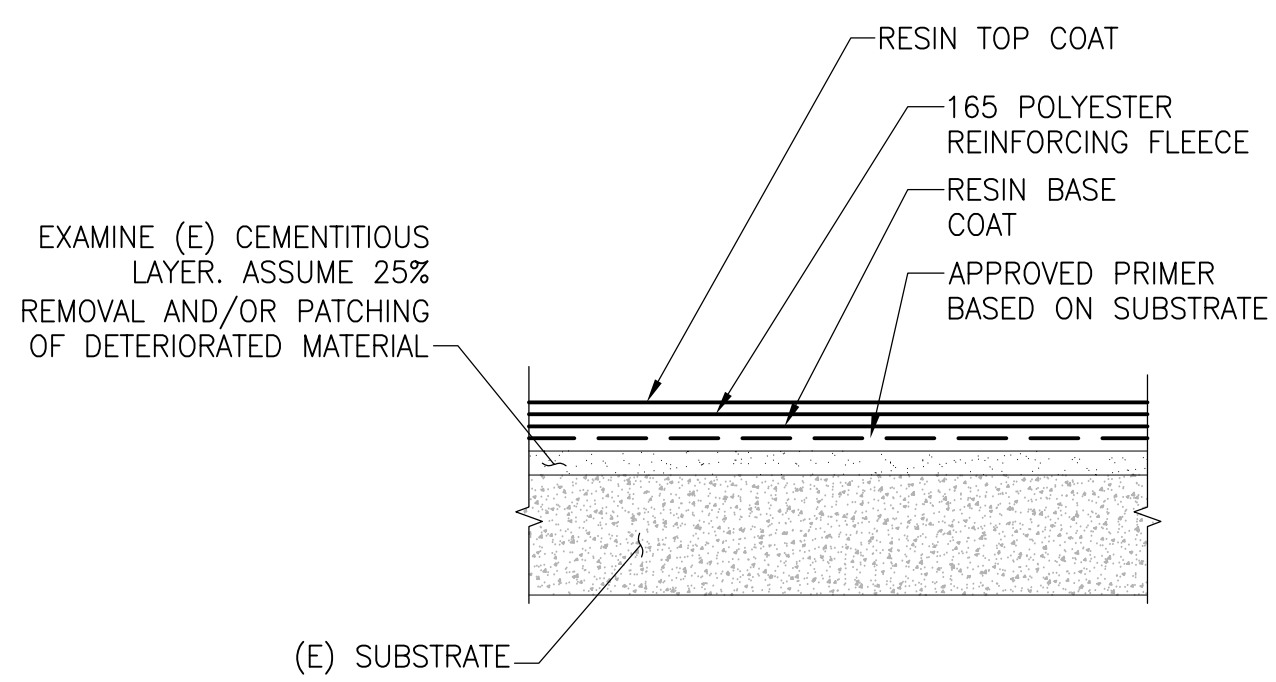
2 TYPICAL PVC MEMBRANE BASE FLASHING N.T.S.



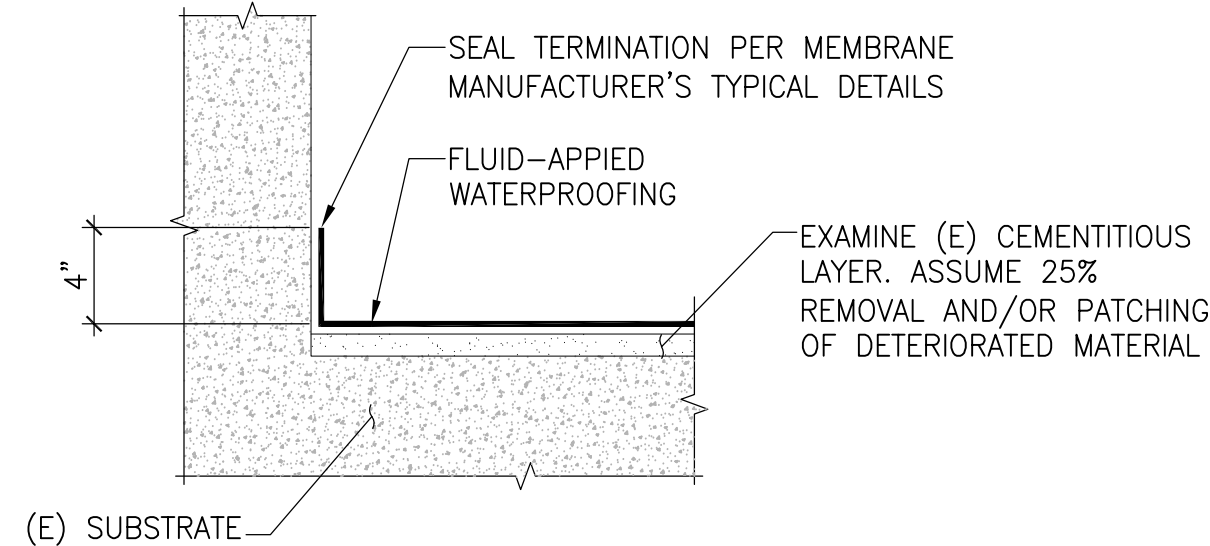
3 TYPICAL PVC MEMBRANE PARAPET FLASHING N.T.S.



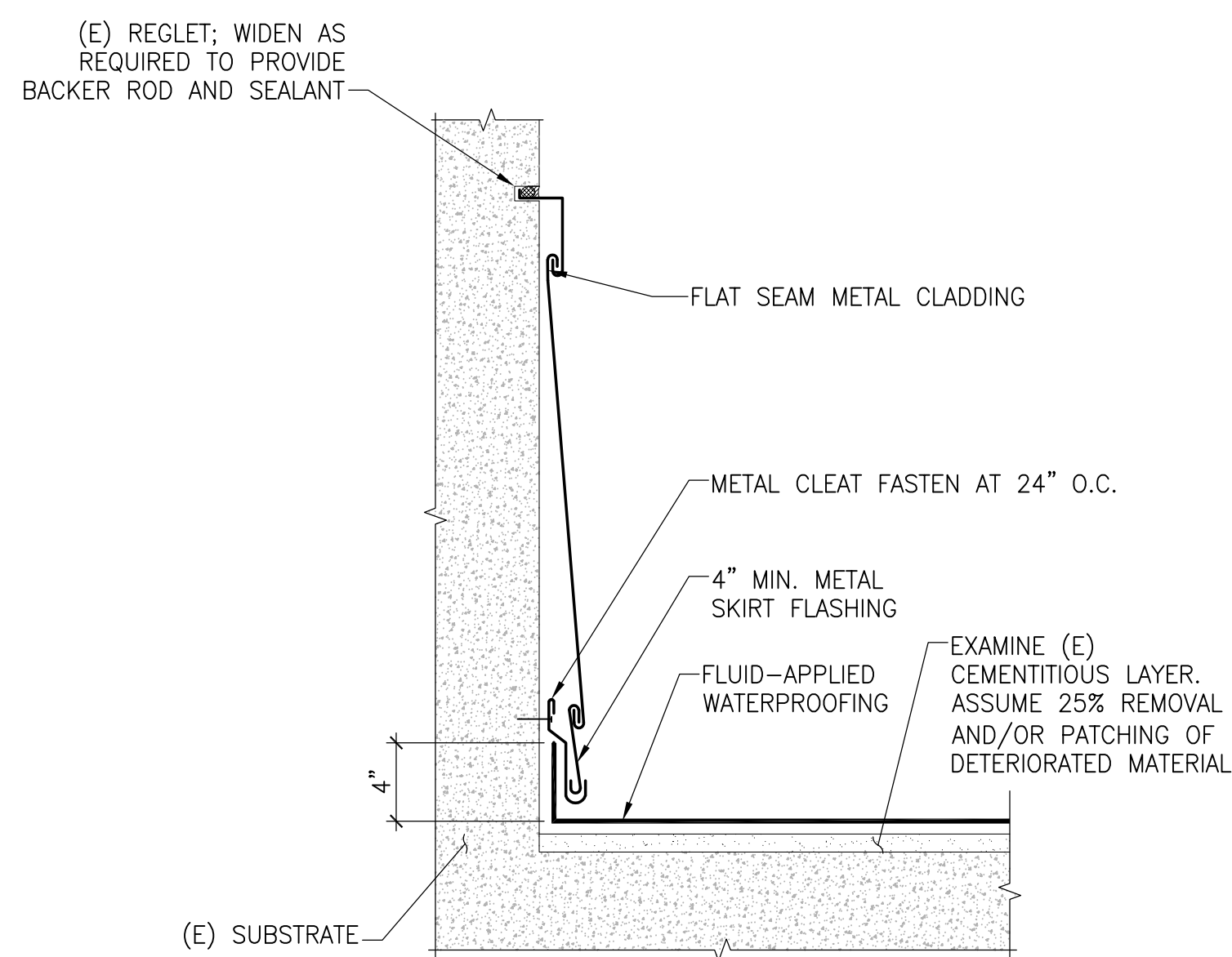
4 PVC ROOFING DOOR DETAIL N.T.S.



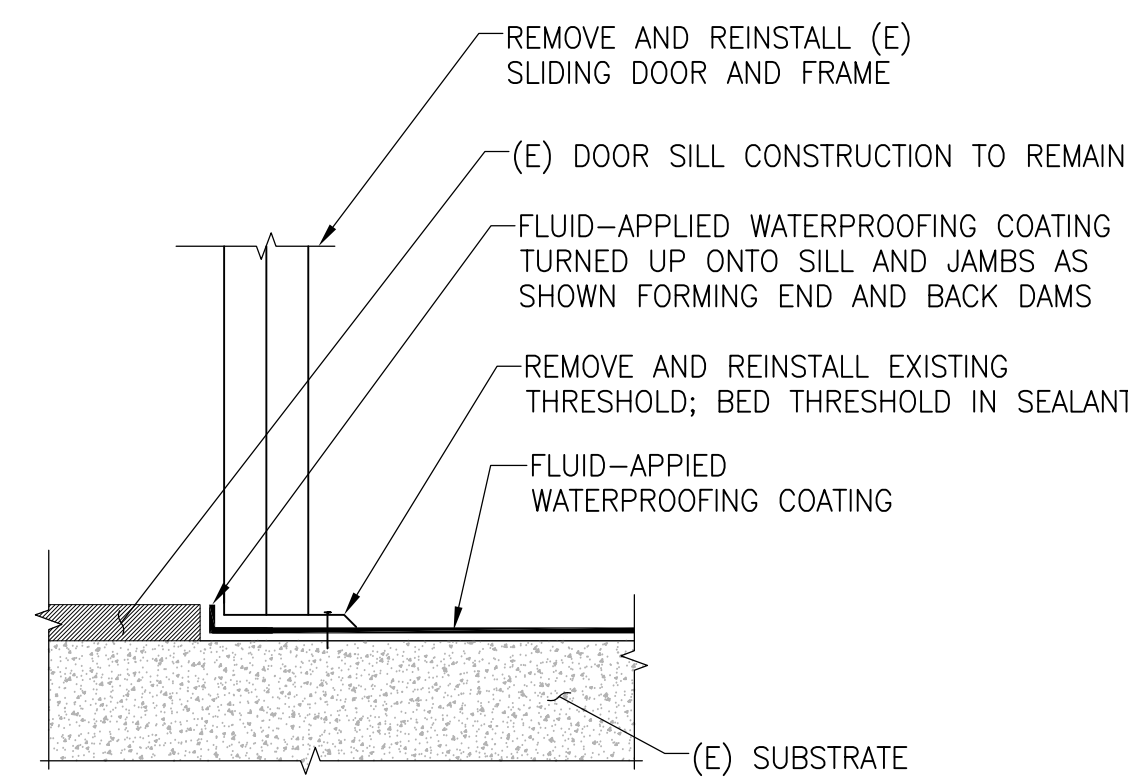
5 FLUID-APPLIED WATERPROOFING N.T.S.



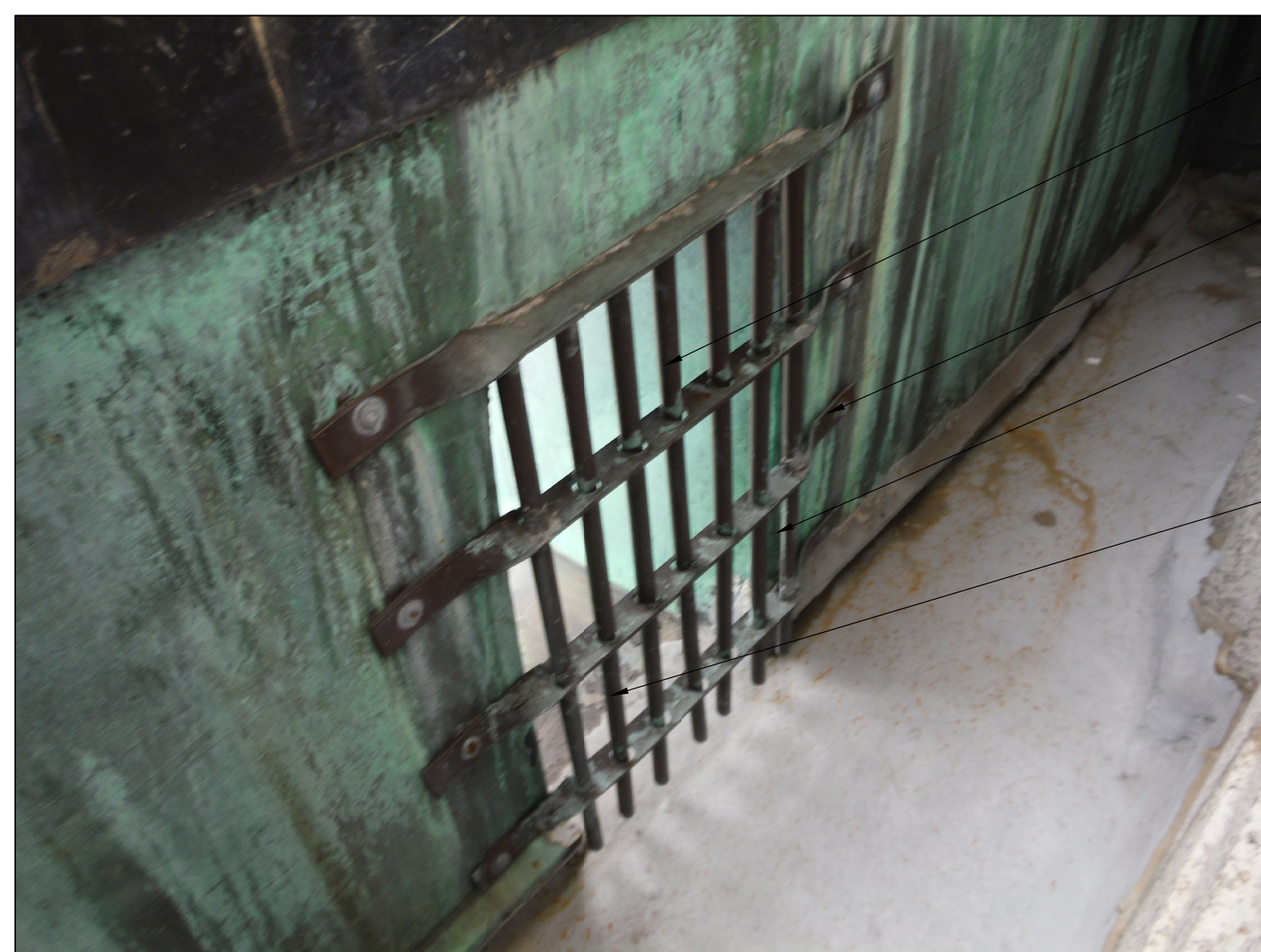
6 EAGLE SUITE N-S BALCONY FLUID-APPLIED WATERPROOFING BASE FLASHING N.T.S.



7 EAGLE SUITE N-S BALCONY FLUID-APPLIED WATERPROOFING PARAPET DETAIL N.T.S.



8 EAGLE SUITE N-S BALCONY FLUID-APPLIED DOOR DETAIL N.T.S.



- (E) METAL CLADDING WITHIN SCUPPER TO REMAIN
- REMOVE AND REINSTALL (E) GRATE
- REMOVE AND REPLACE (E) METAL PARAPET CLADDING AROUND SCUPPER PER DETAIL 3/AE7-2; RIVET AND SOLDER NEW METAL CLADDING TO (E) METAL WITHIN SCUPPER.
- EXTEND FLUID-APPLIED WATERPROOFING INTO SCUPPER 4" MIN.

9 EAGLE SUITE N-S BALCONY SCUPPER N.T.S.

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**OBSERVATION AND
EAGLE SUITE ROOF
DETAILS**

Drawing Title

Project No. 180838.01	Checked NTF	Date 4 JUNE 2019
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Drawing No.

AE3-2

Seal

Photographs of Existing Conditions – May 2019

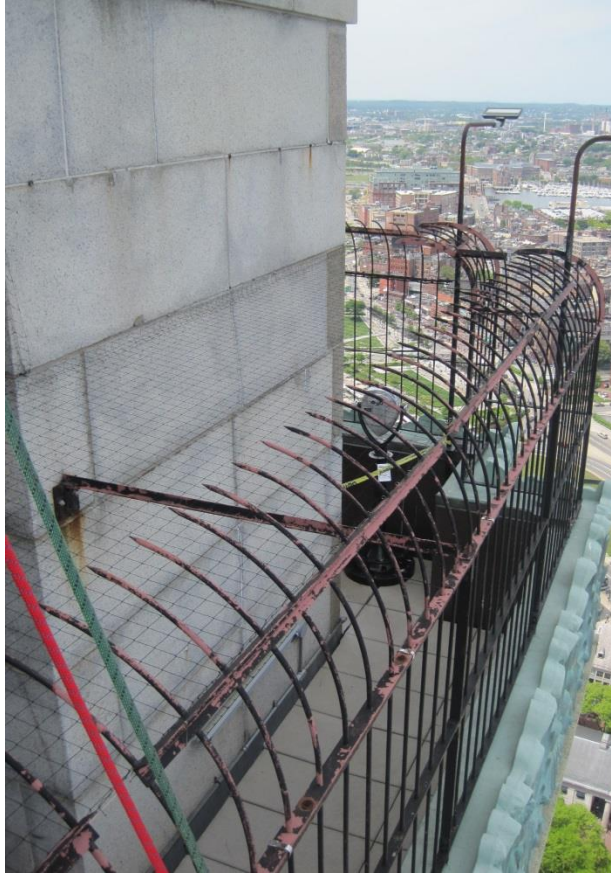


Photo 1

Observation Deck

Existing fence and bird netting. Copper parapet coping and cladding.



Photo 2

Observation Deck

Copper cladding. Small holes on east and west elevation.



Photo 3

Clock Area

Top of clock face and marble surround.

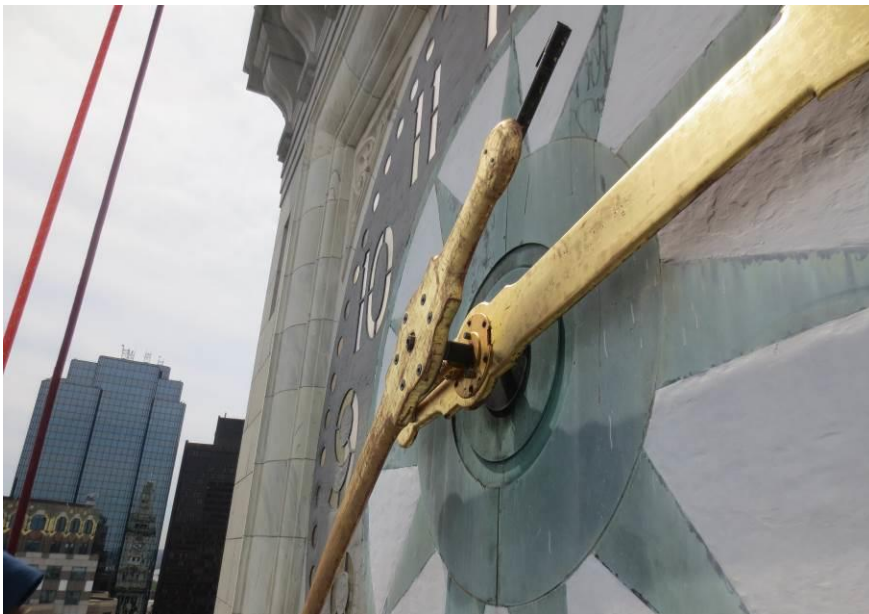


Photo 4

Clock Area

Clock face and hands.



Photo 5

Clock Area

Bottom of clock face and decorative marble frieze.



Photo 6

Clock Area

Level 22 window and clock face above.



Photo 7

Level 20

Eagle Suite transom window.

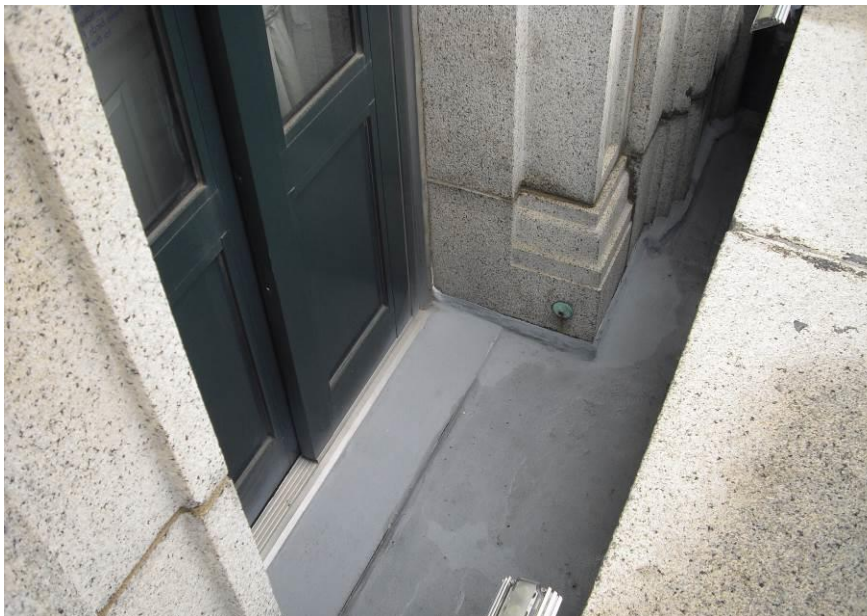


Photo 8

Level 20

Eagle Suite door and balcony with existing coating on north and south elevation.



Photo 9

Clock Area

East and west Eagle Suite balcony with membrane roofing and pavers.



Photo 10

Level 20

Eagle Suite balcony end on north and south elevation.



Photo 11

Dome Level

Copper surround over louver
at Dome Level.

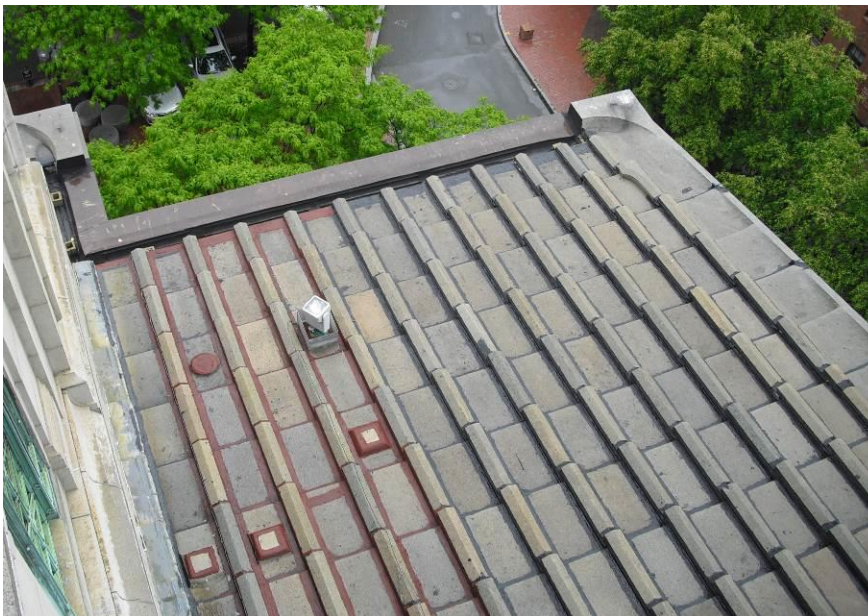


Photo 12

Dome Level Roof

North and south granite
panel roof with mastic at
joints.



Photo 13

Dome Level Roof

East and West granite panel roof with mastic at joints.



Photo 14

Dome Level Roof

Typical existing copper gutter and EPDM gutter liner.

Custom House
Historic Photos
Clock Hands

India Street Facade, 1986
Photo Credit: Carol Huggins - BLC
U.S. Custom House - Boston Landmarks Commission Study Report





GLOBE FILE PHOTOS

A man holds the the huge hands being raised
to the clock on the Custom House tower in
1916.